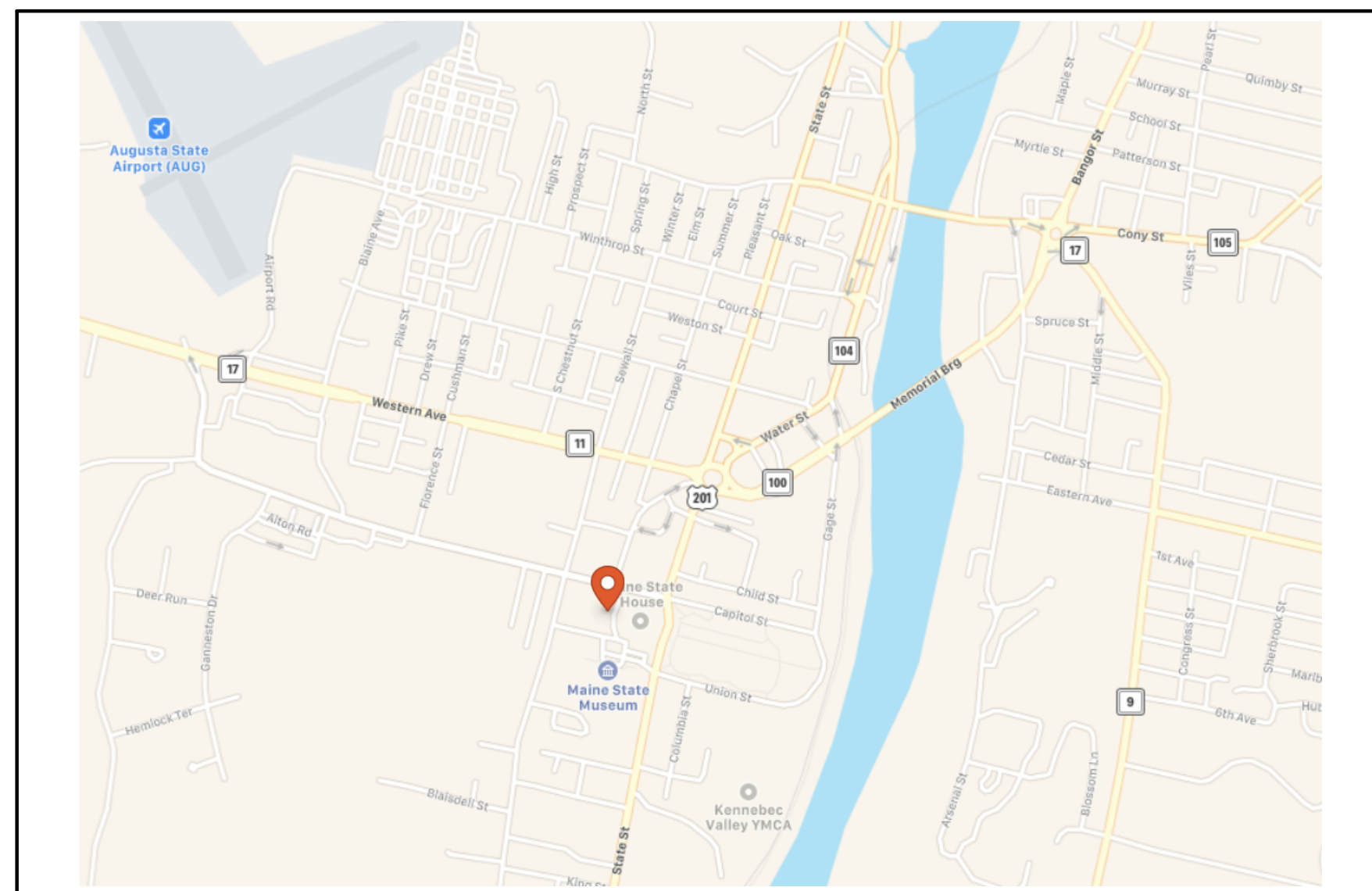


# MAINE CULTURAL BUILDING - ENVELOPE REPAIRS

## AUGUSTA, ME

ALLIED PROJECT #19041

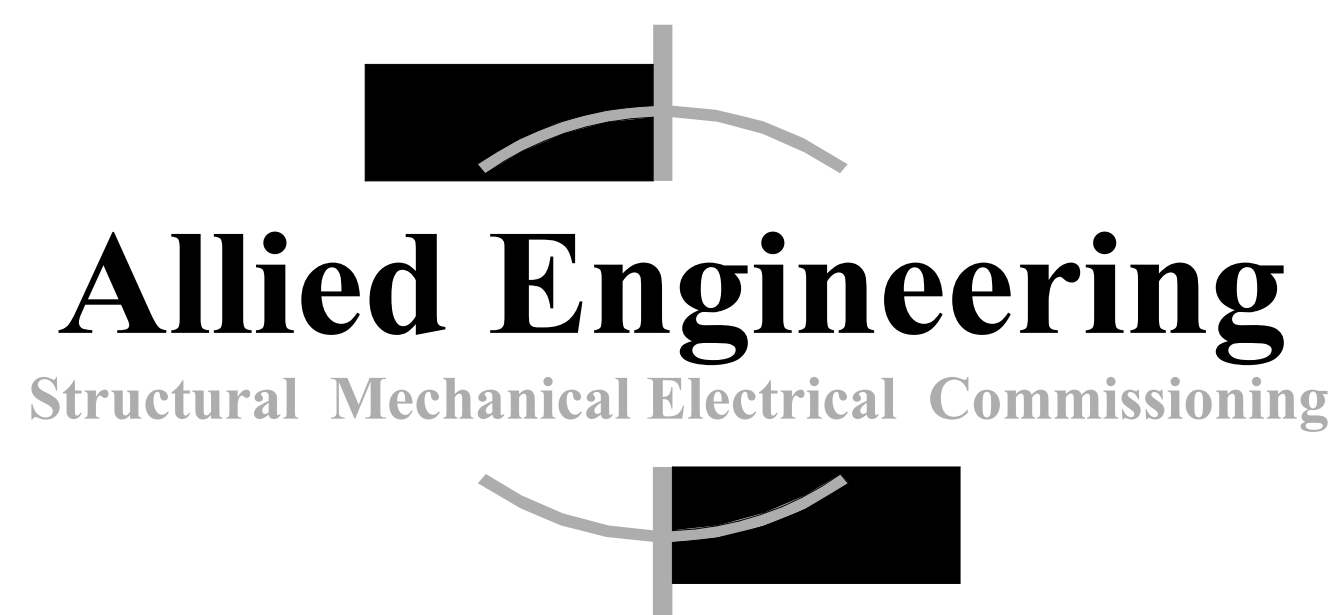
BREM #2670



LOCATION MAP

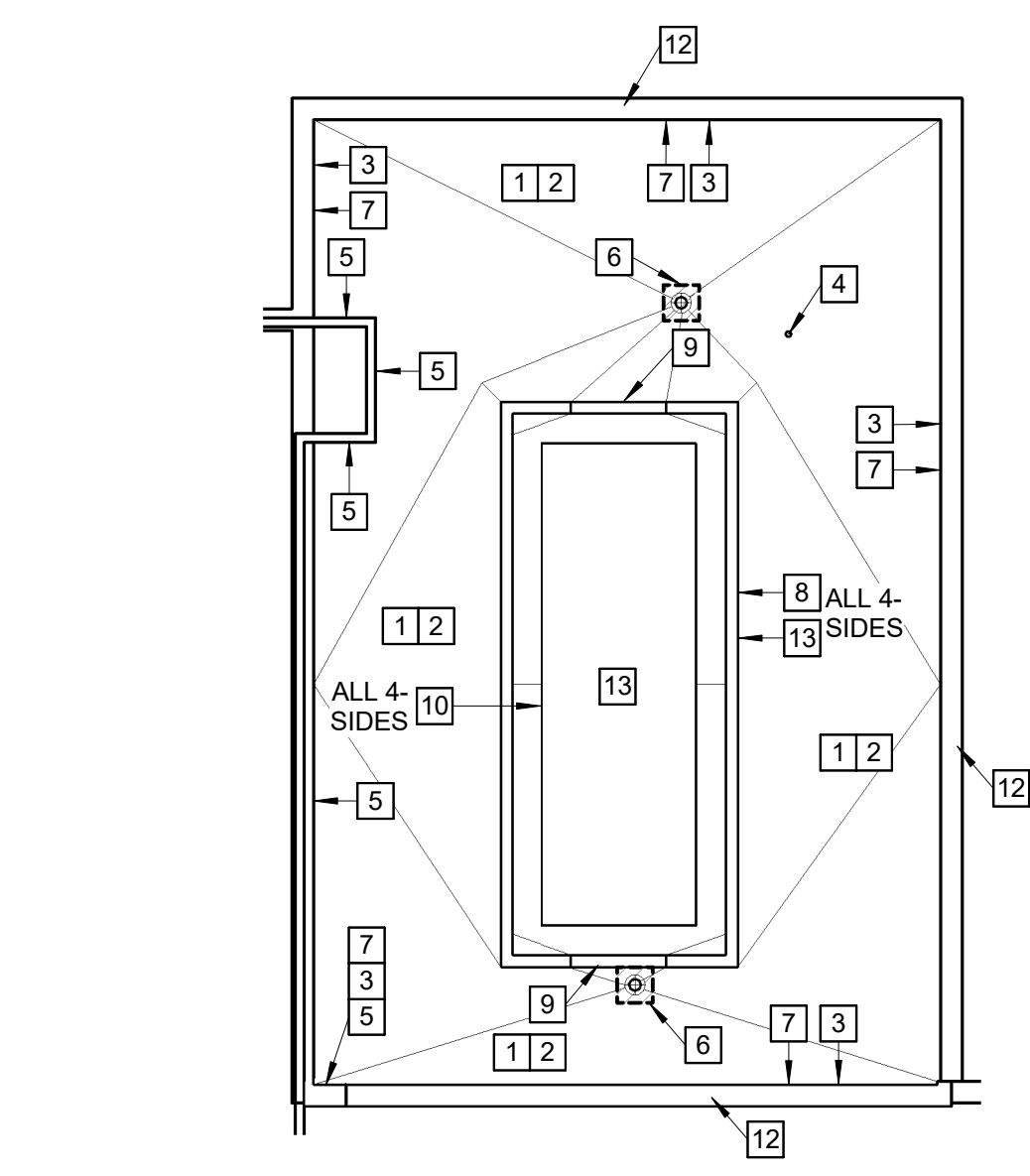
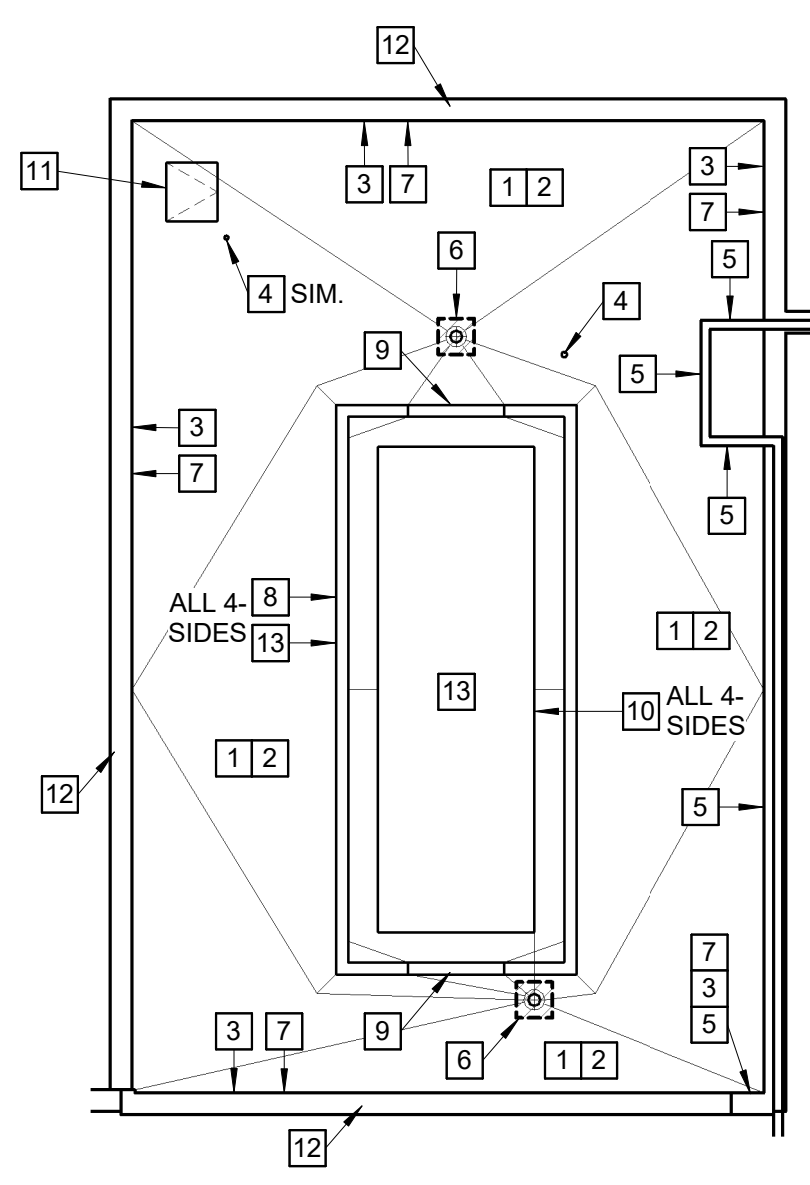
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**28 JUNE 2019**  
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DRAWINGS		ISSUE		DATE	
		DESCRIPTION	DATE	DESCRIPTION	DATE
G-000	COVER SHEET	50% OWNER REVIEW	06-05-2019	90% OWNER REVIEW	06-16-2019
RD-1	ROOF DEMOLITION PLANS	ISSUED FOR BID	06-28-2019		
RD-2	ROOF DEMOLITION PLANS				
R-1	ROOF PLAN				
R-2	ROOF PLAN				
R-3	ROOF DETAILS				
R-4	ROOF DETAILS				



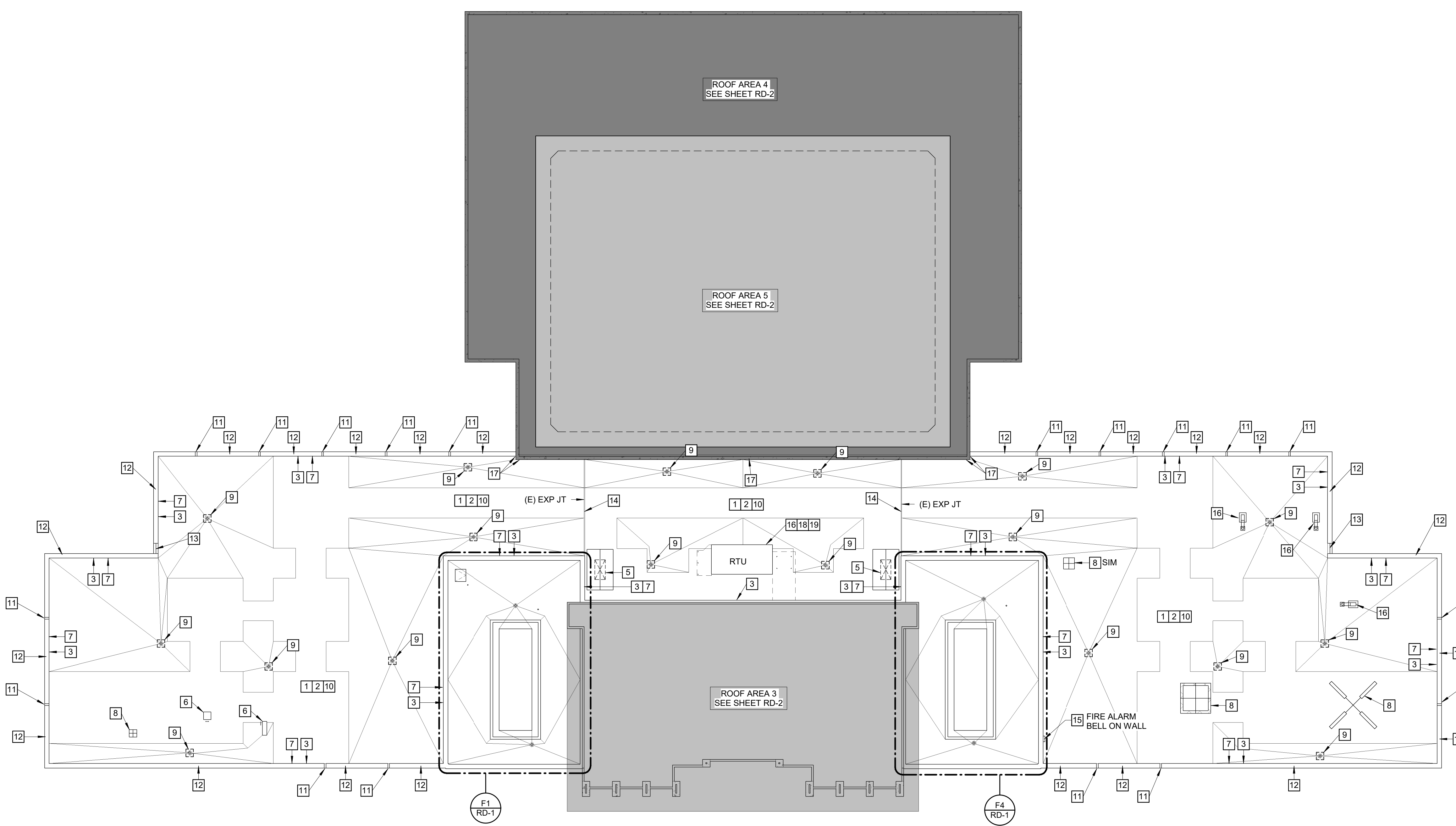
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F1 ROOF AREA 2: ROOF DEMOLITION PLAN  
3/32" = 1'-0"

F4 ROOF AREA 2: ROOF DEMOLITION PLAN  
3/32" = 1'-0"



A1 ROOF AREA 1: DEMOLITION PLAN  
1/16" = 1'-0"

- ROOF AREA 2 (2 STAND ALONE AREAS - APPROXIMATE TOTAL 3,200 SF)**  
**ROOF COMPOSITION (INSTALLED 1991)**  
 1. CONCRETE ROOF DECK  
 2. 2" INSULATION (TAR MOPPED)  
 3. 0.045 EPDM MEMBRANE  
 4. 1 1/2" STONE BALLAST
- DEMO NOTES**
- REMOVE EPDM AND STONE BALLAST IN ITS ENTIRETY
  - REMOVE INSULATION DOWN TO CONCRETE DECK.
  - REMOVE EPDM TERMINATION BAR AND INTERIOR EXPOSED PARAPET SIDE-WALL FLASHING FLUSH TO BLOCK WALL SURFACE AND ANY DISCOVERED PERIMETER BLOCKING.
  - REMOVE VENT PIPE BOOTS
  - CUT EPDM AT SIDE WALL FLUSH AT EXISTING FLAT ROOF SURFACE TO ALLOW FOR PROPOSED EPDM INSTALLATION TO WRAP UP WALL WHILE USING FLAP OF EXISTING TO LAP OVER AND ADHERE TO NEW ROOFING.
  - REMOVE EXISTING ROOF DRAINS AND DRAINPIPE AS NECESSARY TO FACILITATE INSTALLATION OF THE RETRO-ROOF DRAIN UNITS. DEVELOP 2'0" x 2'0" x 2" DEEP SUMP AT EACH ROOF DRAIN, EXTENDING INTO CONCRETE TOPPING LAYER AS REQUIRED.
  - REMOVE DAMAGED BLOCK FACES, APPLY MORTAR GROUT AS REQUIRED TO DEVELOP A NEAR FLUSH VERTICAL SURFACE.
  - PREPARE ALL EXPOSED CONCRETE SURFACES FOR COATING APPLICATIONS PER CONCRETE RESTORATION SPECIFICATION SECTION 030130 - MAINTENANCE OF CAST-IN-PLACE CONCRETE.
  - REMOVE 10 INCHES OF CONCRETE WALL UP FROM BASE OF CURRENT DRAINAGE OPENING IN CONCRETE MECHANICAL CURTAIN WALL AT EACH END (2 LOCATIONS EACH AREA 2 ROOF SECTION FOR TOTAL OF 4)
  - CUT EPDM AT ALL 4 SIDES OF MECHANICAL LOUVER FLUSH AT EXISTING FLAT ROOF SURFACE TO ALLOW FOR PROPOSED EPDM INSTALLATION TO WRAP UP AT CURB WHILE USING FLAP OF EXISTING TO LAP OVER AND ADHERE TO NEW ROOFING.
  - REMOVE/DISPOSE OF EXISTING 2'6" x 3'0" ROOF HATCH.
  - REMOVE/DISPOSE OF GRANITE COPING CAP.
  - PREPARE ALL CONCRETE SURFACE TO REMAIN EXPOSED PER COATING MANUFACTURER'S REQUIREMENTS.

- ROOF AREA 1 (APPROXIMATE TOTAL 20,400 SF)**  
**ROOF COMPOSITION (INSTALLED 1991)**  
 1. CONCRETE ROOF DECK  
 2. 3" INSULATION (TAR MOPPED)  
 3. EPDM MEMBRANE  
 4. 1 1/2" STONE BALLAST
- DEMO NOTES**
- REMOVE EPDM AND STONE BALLAST IN ITS ENTIRETY
  - REMOVE INSULATION DOWN TO CONCRETE DECK.
  - REMOVE EPDM TERMINATION BAR AND PARAPET SIDE-WALL FLASHING FLUSH TO CERAMIC BLOCK WALL SURFACE AND ANY DISCOVERED PERIMETER BLOCKING.
  - NOT USED.
  - REMOVE/STORE GRAVITY VENT HOODS
  - REMOVE/STORE SLEEPERS AND CONDENSER UNIT (CU)
  - REMOVE DAMAGED BLOCK FACES, APPLY MORTAR GROUT AS REQUIRED TO DEVELOP A NEAR FLUSH VERTICAL SURFACE. (CONTRACT ALLOWANCE 800 SF)
  - REMOVE/DISPOSE OF DISH AND BALLASTED BASE. UNIT IS NO LONGER ACTIVE AND WILL NOT BE REPLACED. SAME FOR STAND-ALONE ANTENNA.
  - REMOVE EXISTING ROOF DRAINS AND DRAINPIPE AS NECESSARY TO FACILITATE INSTALLATION OF THE RETRO-ROOF DRAIN UNITS. DEVELOP 2'0" x 2'0" x 2" DEEP SUMP AT EACH ROOF DRAIN, EXTENDING INTO CONCRETE TOPPING LAYER AS REQUIRED.
  - REMOVE/REPLACE DAMAGED CONCRETE DECK SLOPE TOPPING DISCOVERED BENEATH INSULATION (CONTRACT ALLOWANCE OF 500 SF)
  - REMOVE MEMBRANE IN LIMITS OF SCUPPER ZONES. MAINTAIN EXISTING COPPER SUB-FLASHING IN PLACE BENEATH THE MEMBRANE APPLICATION.
  - REMOVE/DISPOSE OF GRANITE COPING CAP.
  - REMOVE FIXED GATE AND ANCHORAGE, MEMBRANE AND ANY DISCOVERED FLASHING/BLOCKING IN PLACE THROUGH THIS OPENING.
  - ONCE ROOFING IS EXPOSED TO DECK, CONFIRM PRESENCE OF EXPANSION JOINT IN CONCRETE DECK. IF ONE EXISTS, REMOVE BLOCKING EITHER SIDE OF JOINT IF DAMAGED AND REPLACE. IF FOUND TO BE IN GOOD CONDITION, SUPPLEMENT HEIGHT OF BLOCKING TO ACCOMMODATE NEW INSULATION.
  - REMOVE FIRE ALARM DEVICE. UNIT IS NO LONGER ACTIVE AND WILL NOT BE REPLACED.
  - TEMPORARILY REMOVE, AND LIFT CURBS/PIPE PENETRATION BASES TO MAINTAIN 12" ABOVE PROPOSED ROOFING ELEVATION. REINSTALL CURBS / PIPE BOOTS ONCE ROOFING ACTIVITIES ARE COMPLETE.
  - CUT EPDM AT SIDE WALL FLUSH AT EXISTING FLAT AREA 1 ROOF SURFACE TO ALLOW FOR PROPOSED EPDM ON ROOF AREA 1 INSTALLATION TO WRAP UP WALL WHILE USING FLAP OF EXISTING TO LAP OVER AND ADHERE TO NEW ROOFING.
  - TEMPORARILY DISCONNECT/STORE/PROVIDE REVISIONS TO THE EXISTING SUPPLY AND RETURN DUCTWORK AS REQUIRED TO RAISE THE EXISTING ROOFTOP UNIT 8" TO FACILITATE INSTALLATION OF THE NEW CURB AND FLASHING SYSTEM. SHEETMETAL REVISIONS SHALL BE COMPLETED IN STRICT ACCORDANCE WITH SMACNA STANDARDS. RE-INSULATE THE DUCT TO MATCH EXISTING SYSTEM AND RESTORE THE WEATHERPROOF MEMBRANE TO MATCH EXISTING CONDITIONS ONCE THE REVISIONS HAVE BEEN COMPLETED. CUT DUCT SUPPORT LEGS TO ACCOMMODATE 8" EQUIPMENT LIFT. MODIFY DUCT WORK, INSULATION, MEMBRANE RESURFACING AS REQUIRED.
  - DISCONNECT/RECONNECT/REPIPE AS REQUIRED TO EXTEND THE EXISTING STEAM AND CONDENSATE PIPING TO FACILITATE THE RELOCATION OF THE EXISTING HVAC UNIT TO FACILITATE THE INSTALLATION OF THE NEW ROOF, CURB, AND FLASHING SYSTEM

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REVISIONS		DATE	BY	DESCRIPTION

Date: 28 JUNE 2019  
 Drawn By: PED  
 Checked By: WPF  
 Project Mgr: WPF  
 Project No: 19044  
 Cad File: 19044\_R-r19.rvt  
 Graphic Scale: 1" = 0'

ROOF DEMOLITION PLANS

MAINE CULTURAL BUILDING - ENVELOPE REPAIRS

AUGUSTA, ME

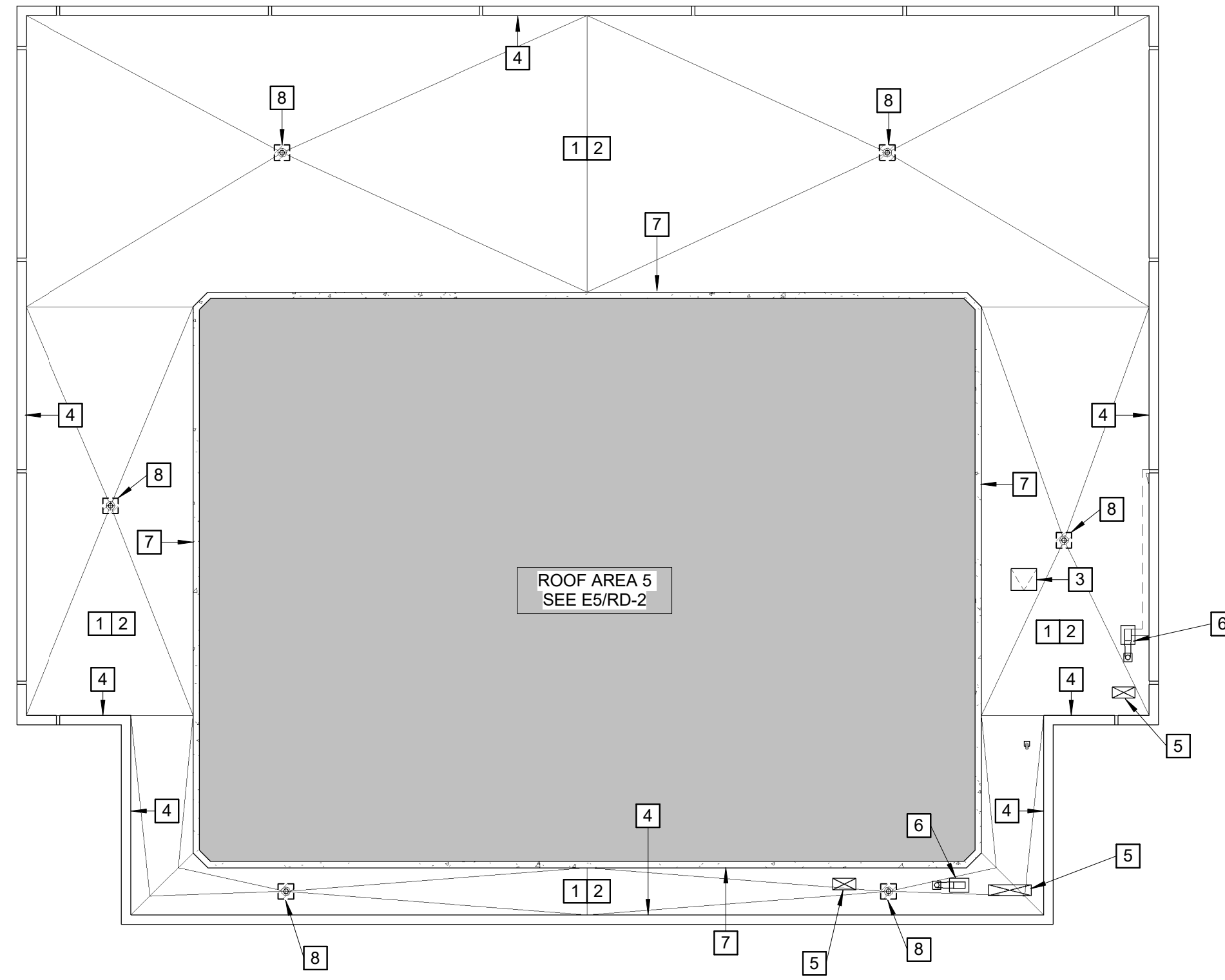
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**RD-1**

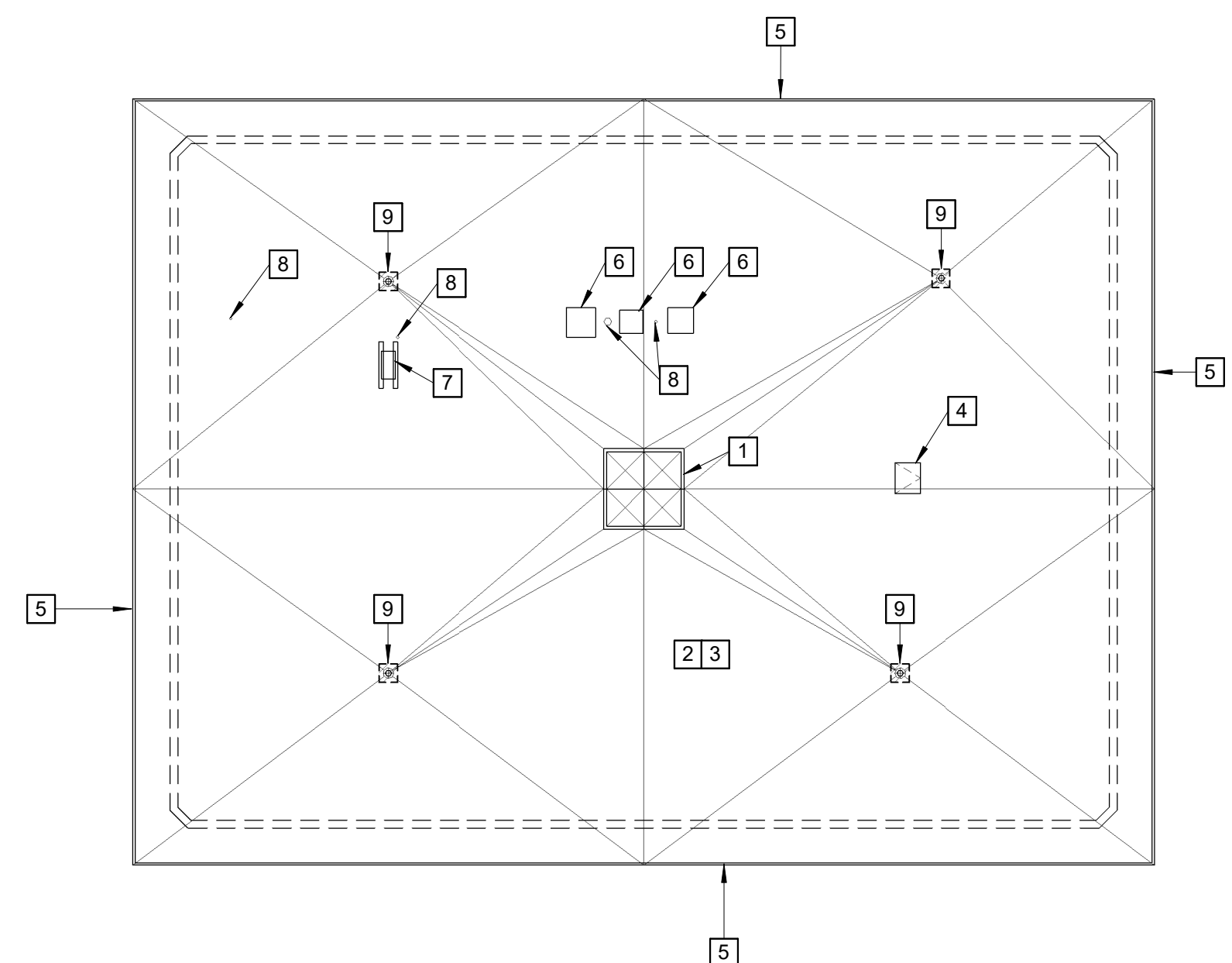
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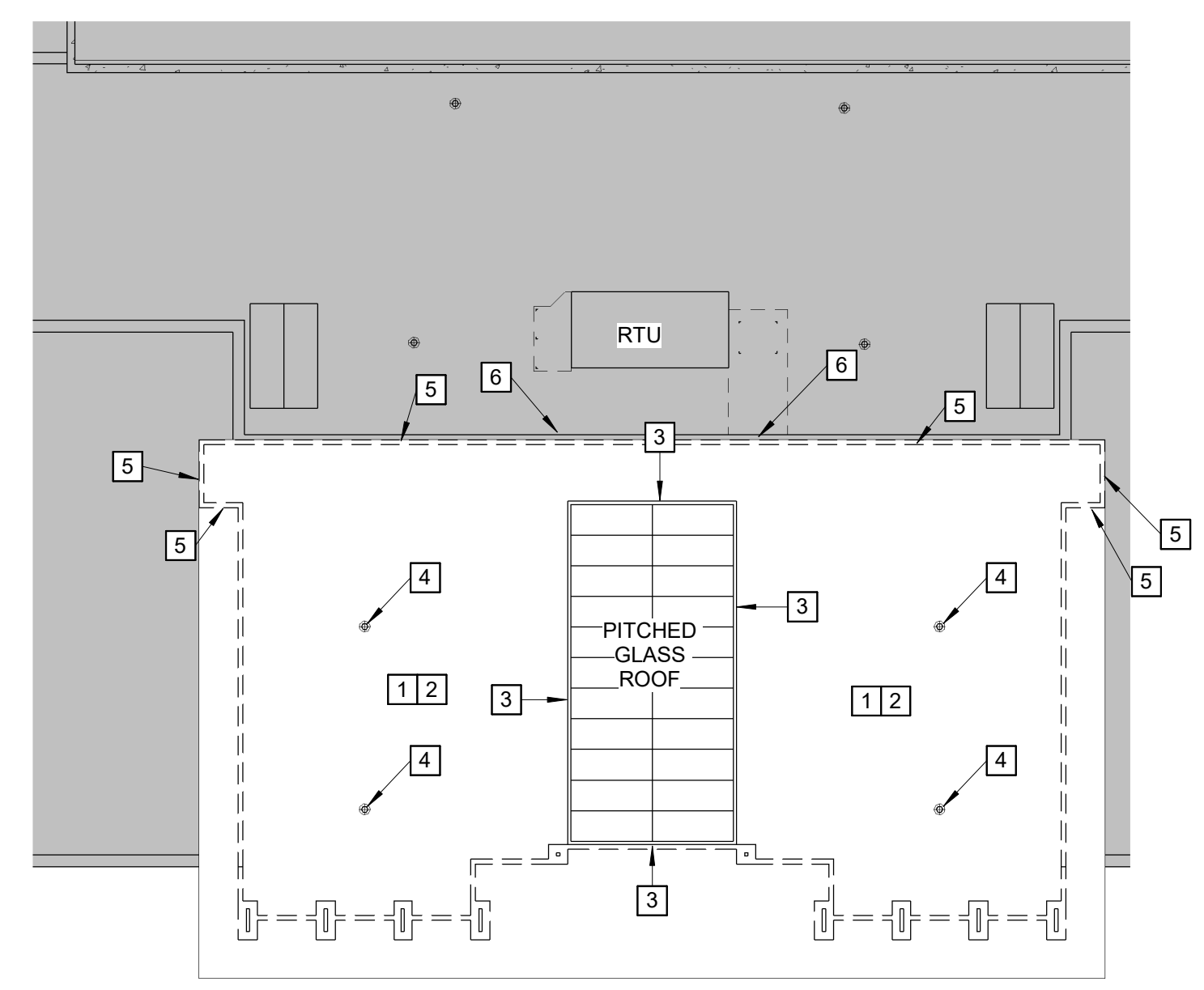
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E1 ROOF AREA 4: ROOF DEMOLITION PLAN  
1/16" = 1'-0"



E5 ROOF AREA 5: ROOF DEMOLITION PLAN  
1/16" = 1'-0"



A5 ROOF AREA 3: ROOF DEMOLITION PLAN  
1/16" = 1'-0"

**ROOF AREA 5 (APPROXIMATE 9,000 SF)**  
**ROOF COMPOSITION (INSTALLED 1994)**  
 1. CONCRETE ROOF DECK  
 2. 4" POLYISOCYANURATE INSULATION (TAR MOPPED)  
 3. EPDM MEMBRANE ADHERED (CELOTEX)

- DEMO NOTES**
- 1 REMOVE/DISPOSE OF EXISTING SKYLIGHT
  - 2 REMOVE EPDM IN ITS ENTIRETY
  - 3 REMOVE DAMAGED POLYISO ONLY (CONTRACT ALLOWANCE OF 400 SF)
  - 4 REMOVE/DISPOSE OF EXISTING 2'6" x 3'0" ROOF HATCH
  - 5 REMOVE PERIMETER FLASHING AND ANY DISCOVERED DAMAGED PERIMETER BLOCKING.
  - 6 REMOVE/STORE GRAVITY VENT HOODS
  - 7 REMOVE/STORE SLEEPERS AND CONDENSER UNIT (CU)
  - 8 REMOVE VENT PIPE BOOTS
  - 9 REMOVE EXISTING ROOF DRAINS AND DRAINPIPE AS NECESSARY TO FACILITATE INSTALLATION OF THE RETRO-ROOF DRAIN UNITS. DEVELOP 2'0" x 2'0" x 2" DEEP SUMP AT EACH ROOF DRAIN, EXTENDING INTO CONCRETE TOPPING LAYER AS REQUIRED.

**ROOF AREA 4 (APPROXIMATE 8,600 SF)**  
**ROOF COMPOSITION (INSTALLED 1994)**  
 1. CONCRETE ROOF DECK  
 2. 4" POLYISOCYANURATE INSULATION (TAR MOPPED)  
 3. EPDM MEMBRANE ADHERED (CELOTEX)

- DEMO NOTES**
- 1 REMOVE EPDM IN ITS ENTIRETY
  - 2 REMOVE DAMAGED POLYISO ONLY (CONTRACT ALLOWANCE OF 300 SF)
  - 3 REMOVE/DISPOSE OF EXISTING 2'6" x 3'0" ROOF HATCH.
  - 4 REMOVE INTERIOR EXPOSED PARAPET SIDE-WALL FLASHING FLUSH TO BLOCK WALL SURFACE AND ANY DISCOVERED PERIMETER BLOCKING.
  - 5 REMOVE/STORE EXISTING GRAVITY VENT HOODS
  - 6 TEMPORARILY REMOVE, AND LIFT CURBS/PIPE PENETRATION BASES TO MAINTAIN 8" ABOVE PROPOSED ROOFING ELEVATION. REINSTALL CURBS/BOOTS ONCE ROOFING ACTIVITIES ARE COMPLETE.
  - 7 CUT EPDM AT SIDE WALL FLUSH AT EXISTING FLAT ROOF SURFACE TO ALLOW FOR PROPOSED EPDM INSTALLATION TO WRAP UP WALL WHILE USING FLAP OF EXISTING TO LAP OVER AND ADHERE TO NEW ROOFING.
  - 8 REMOVE EXISTING ROOF DRAINS AND DRAINPIPE AS NECESSARY TO FACILITATE INSTALLATION OF THE RETRO-ROOF DRAIN UNITS. DEVELOP 2'0" x 2'0" x 2" DEEP SUMP AT EACH ROOF DRAIN, EXTENDING INTO CONCRETE TOPPING LAYER AS REQUIRED.

**ROOF AREA 3 (APPROXIMATE TOTAL 4,600 SF)**  
**ROOF COMPOSITION (INSTALLED 1988)**  
 1. 4" CONCRETE ROOF ON 20 GAGE TYPE METAL DECK  
 2. 2" URETHANE (TAR MOPPED)  
 3. 2 1/2" URETHANE (TAR MOPPED)  
 4. 3" URETHANE (TAR MOPPED)  
 5. EPDM MEMBRANE ADHERED (CELOTEX)

- DEMO NOTES**
- 1 REMOVE EPDM IN ITS ENTIRETY
  - 2 REMOVE URETHANE INSULATION IN ITS ENTIRETY DOWN TO CONCRETE DECK.
  - 3 CUT EPDM AT BENEATH SKYLIGHT FLASHING FLUSH AT EXISTING FLAT ROOF SURFACE TO ALLOW FOR PROPOSED EPDM INSTALLATION TO WRAP UP WALL WHILE USING FLAP OF EXISTING TO LAP OVER AND ADHERE TO NEW ROOFING.
  - 4 REMOVE EXISTING ROOF DRAINS AND DRAINPIPE AS NECESSARY TO FACILITATE INSTALLATION OF THE RETRO-ROOF DRAIN UNITS. DEVELOP 2'0" x 2'0" x 2" DEEP SUMP AT EACH ROOF DRAIN, EXTENDING INTO CONCRETE TOPPING LAYER AS REQUIRED.

**ATRIUM WALL SYSTEM PANELS: (APPROXIMATE TOTAL 1,000 SF)**

**WALL COMPOSITION**  
 1. COLD-FORMED METAL STUD FRAMING  
 2. 5/8" GYPSUM BOARD SHEATHING  
 3. 1/4" FIBER CEMENT BOARD SIDING.

- DEMO NOTES**
- 5 REMOVE 1/4" FIBER CEMENT BOARD SIDING AND 5/8" GYPSUM BOARD SHEATHING.
  - 6 REMOVE METAL FLASHINGS AT AND AROUND SUPPLY DUCT AND AIR INTAKE OPENINGS AND PIPING.

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No.	DATE	BY	DESCRIPTION

Date: 28 JUNE 2019  
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 Graphic Scale: 1" = 16'-0"

**ROOF DEMOLITION PLANS**

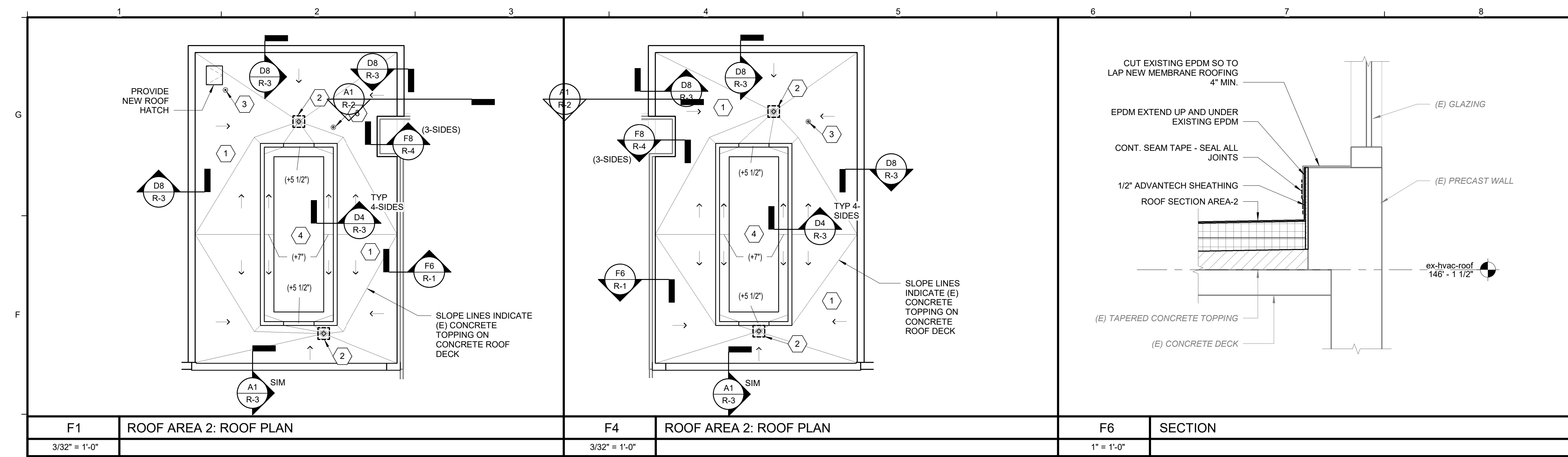
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 AUGUSTA, ME

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**RD-2**

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**DESIGN NOTES**

- THIS BUILDING IS DESIGNED TO COMPLY WITH THE 2015 EDITIONS OF BOTH THE INTERNATIONAL BUILDING CODE (IBC) AND INTERNATIONAL EXISTING BUILDING CODE (IEBC), ASCE 7-10 "MINIMUM DESIGN LOADS FOR BUILDINGS & OTHER STRUCTURES."
- DEAD LOADS: DESIGN INCLUDES THE SELF WEIGHT OF STRUCTURAL COMPONENTS PLUS 5 PSF ALLOWANCE FOR MISCELLANEOUS DUCTWORK, SPRINKLER PIPING AND OTHER HUNG ITEMS.
- SNOW LOAD:
 

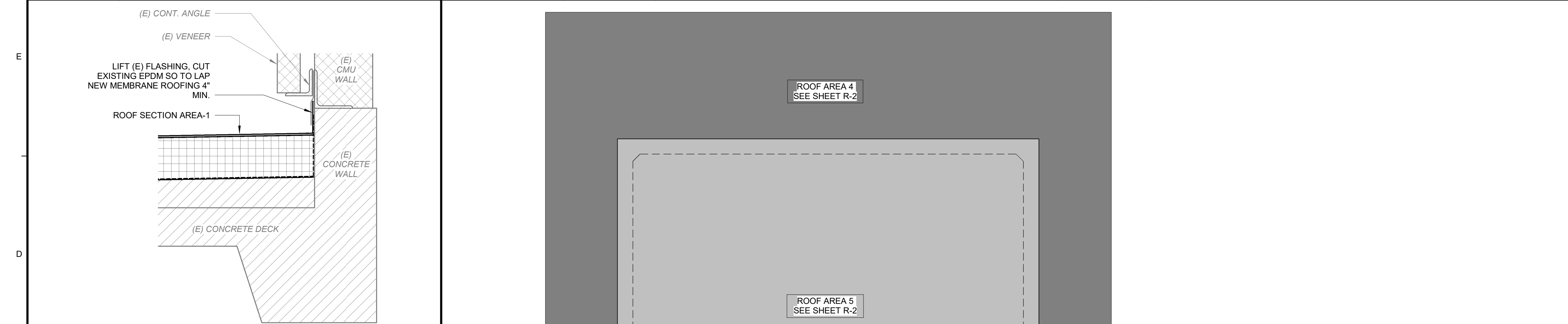
A. GROUND SNOW LOAD	Pg = 70 PSF
B. FLAT ROOF SNOW LOAD	Pf = 53.9 PSF
C. SNOW LOAD IMPORTANCE FACTOR	Is = 1.0
D. SNOW EXPOSURE FACTOR	Ce = 1.0
E. SNOW THERMAL FACTOR	Ct = 1.1
F. SNOW DRIFTING IN ACCORDANCE WITH ASCE7	
- WIND LOAD:
 

A. BASIC WIND SPEED	V = 115 MPH
B. RISK CATEGORY	II
C. WIND EXPOSURE	EXPOSURE C
D. WIND INTERNAL PRESSURE COEFFICIENT	GCPi = ±0.18
E. DESIGN WIND LOADS:	

  - COMPONENTS AND CLADDING IN ROOF CONSTRUCTION (ASSUMING EFFECTIVE WIND AREA > 40 SQUARE FEET)
 

1. ZONE 1 (FIELD)	= -36.0 PSF
2. ZONE 2 (PERIMETER)	= -50.0 PSF
3. ZONE 3 (CORNERS)	= -62.5 PSF
a = 12'	
  - COMPONENTS AND CLADDING IN ROOF CONSTRUCTION (ROOF AREAS 1, 2 AND 3 - EFFECTIVE WIND AREA > 40 SF)
 

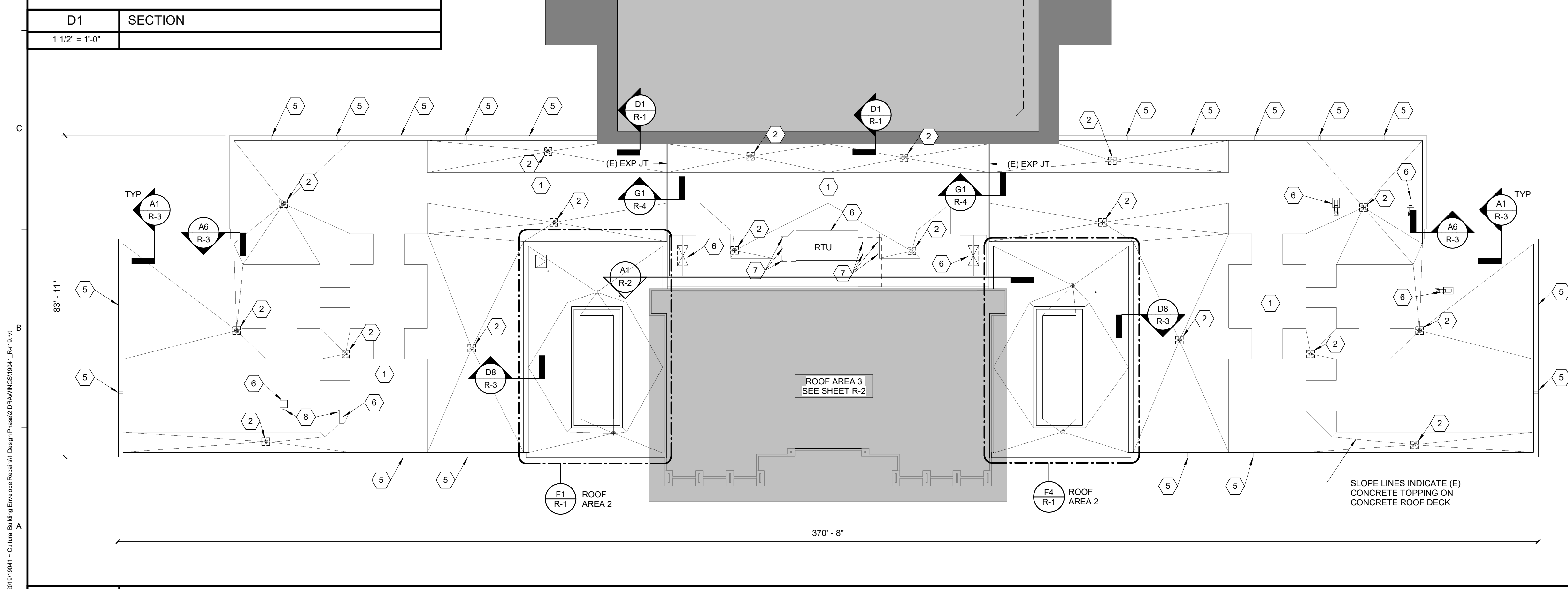
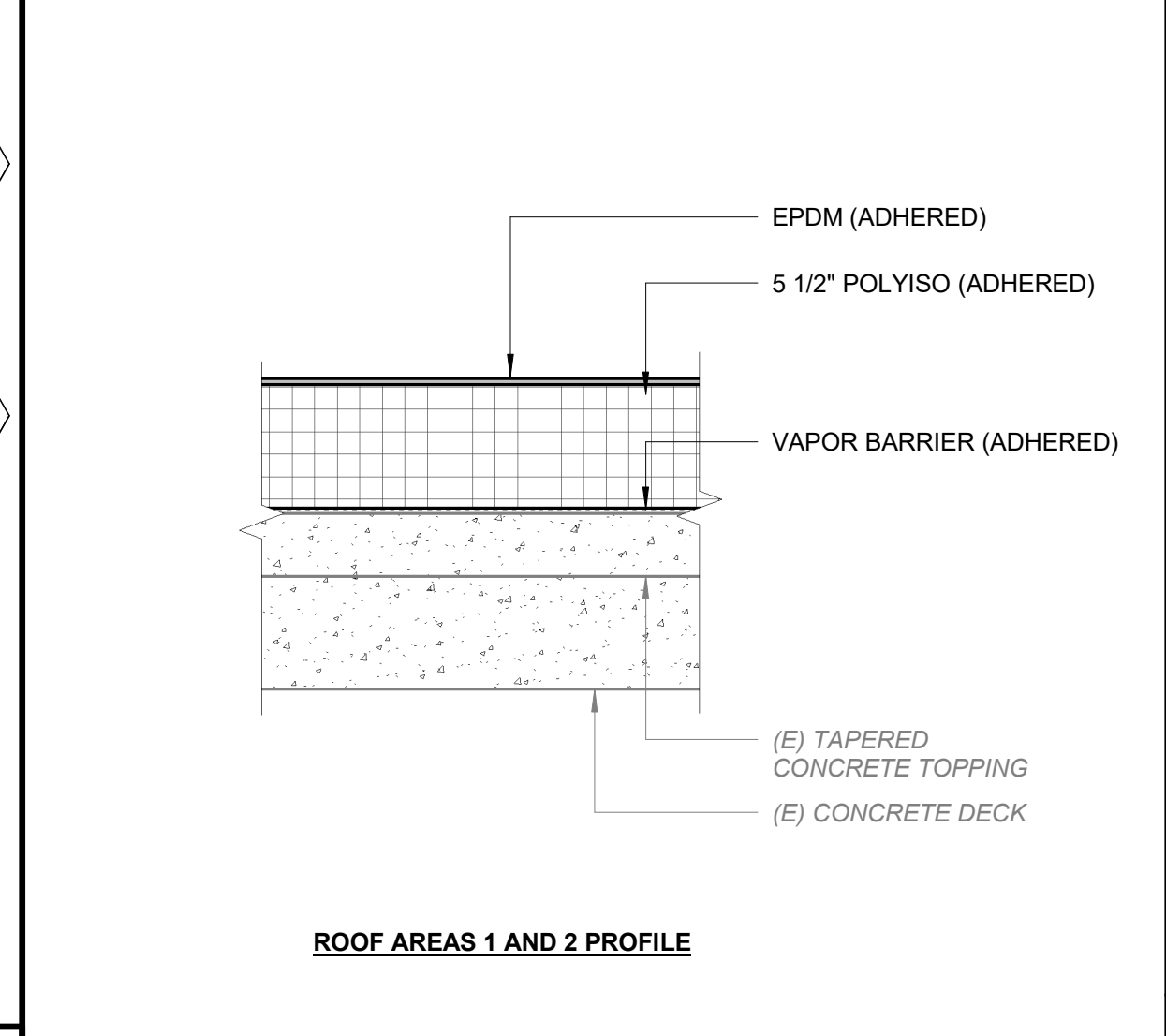
1. ZONE 1 (FIELD)	= -36.4 PSF
2. ZONE 2 (PERIMETER)	= -50.7 PSF
3. ZONE 3 (CORNERS)	= -63.6 PSF
a = 8'	



**GENERAL NOTES:**

- THE NOTES ON THESE DRAWINGS ARE NOT INTENDED TO REPLACE THE SPECIFICATIONS. SEE SPECIFICATIONS FOR REQUIREMENTS IN ADDITION TO THE GENERAL NOTES. INCONSISTENCIES BETWEEN THE DRAWINGS AND THE SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING WITH THE AFFECTED PORTION OF THE WORK.
- ALL DIMENSIONS AND COORDINATES SHALL BE FIELD VERIFIED. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE AFFECTED PORTION OF THE WORK.
- IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCE TO ENSURE THE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING ERECTION. THIS INCLUDES THE ADDITION OF NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUYS OR TIEDOWNS. SUCH MATERIAL SHALL REMAIN THE PROPERTY OF THE CONTRACTOR AFTER COMPLETION OF THE PROJECT.
- SECTIONS AND DETAILS SHOWN ON ANY STRUCTURAL DRAWINGS SHALL BE CONSIDERED TYPICAL FOR SIMILAR CONDITIONS.
- THE CONTRACTOR SHALL PERFORM ALL WORK IN CONFORMANCE WITH ALL APPLICABLE FEDERAL, STATE AND MUNICIPAL REGULATIONS.

- ROOF AREAS 1 AND 2 KEYED NOTES LEGEND:**
- PROVIDE EPDM ROOF MEMBRANE ADHERED TO 5 1/2" POLYISO ATOP ADHERED VAPOR BARRIER ADHERED TO CONCRETE DECK
  - RETRO DRAIN ROOF DRAIN - DETAIL A1/R-4
  - PIPE BOOT - DETAIL E1/R-4
  - APPLY FINISH COATING PER SPEC SECTION 030130 (ALL EXPOSED CONCRETE SURFACES THIS AREA)
  - INFILL SCUPPER OPENING PROVIDE THRU WALL SCUPPER PER DETAIL F4/R-3
  - LIFT CURBS TO MAINTAIN 12" CLEAR ABOVE EPDM - DETAIL C1/R-4
  - CUT DUCT SUPPORT LEGS AND PROVIDE BLOCKING BELOW PER DETAIL D5/R-4
  - FOR MULTIPLE CONDUIT / PIPE PENETRATION SEE DETAIL D1/R-3



**A1 ROOF AREA 1: ROOF PLAN**  
1/16" = 1'-0"

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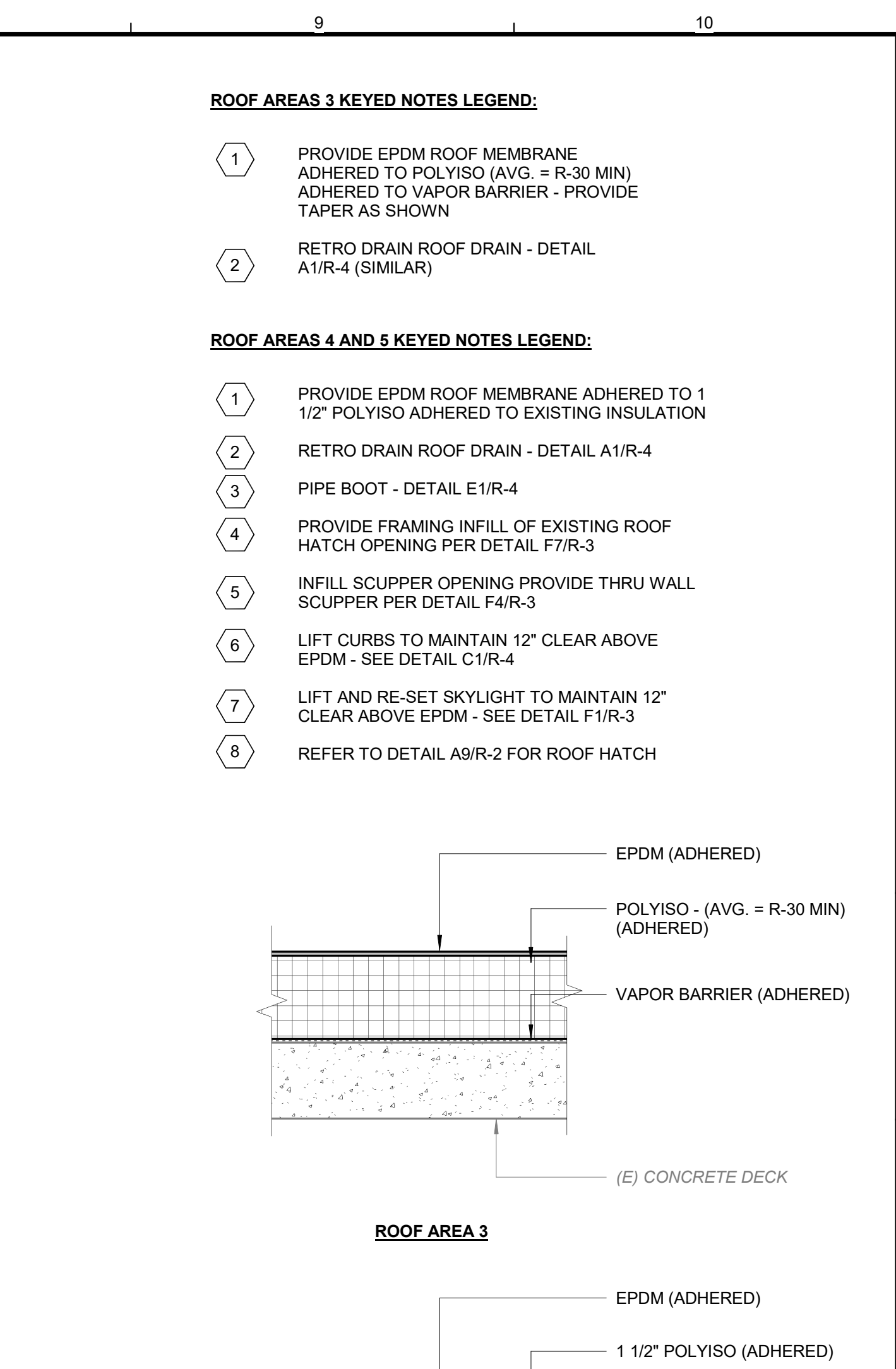
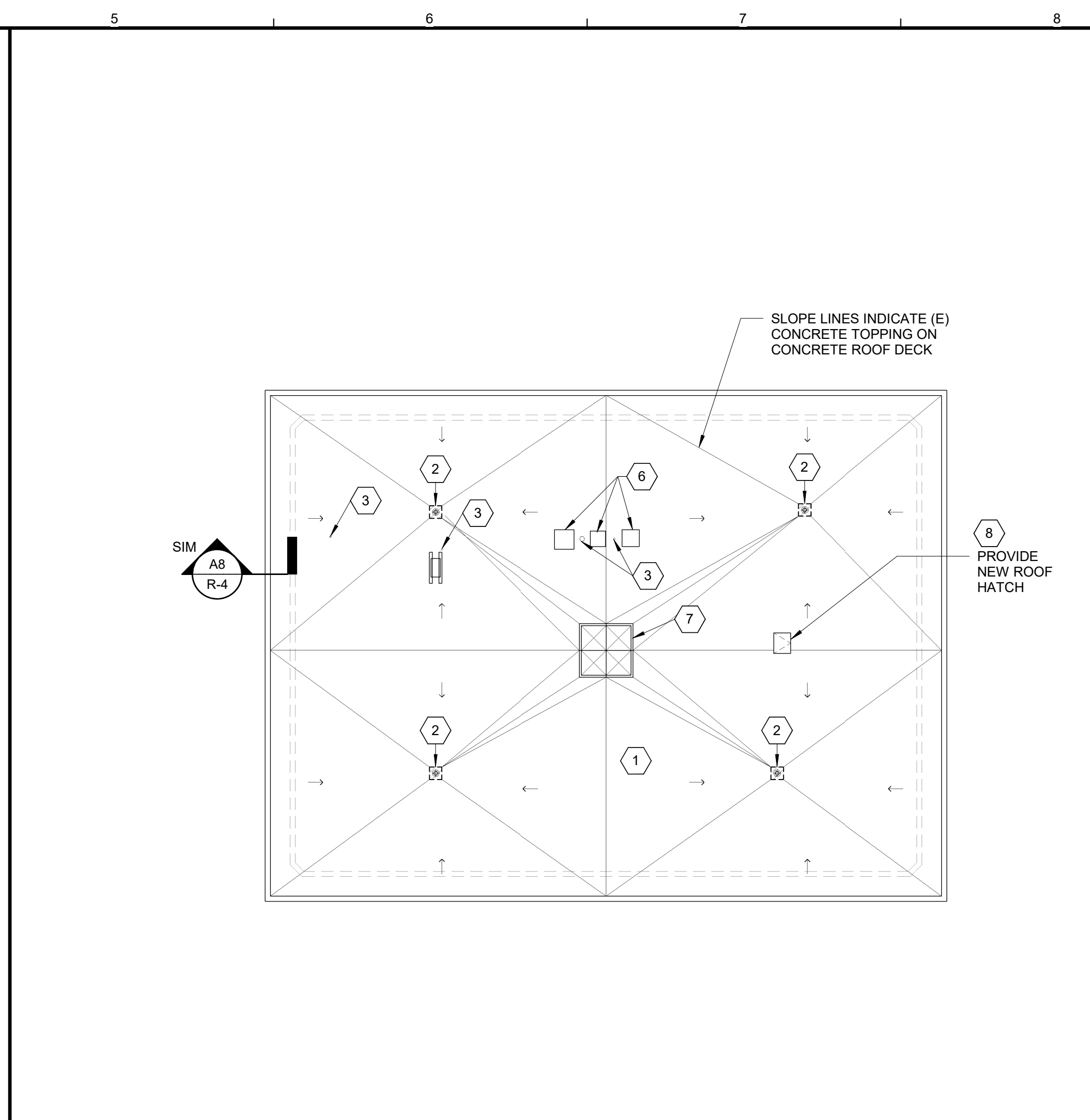
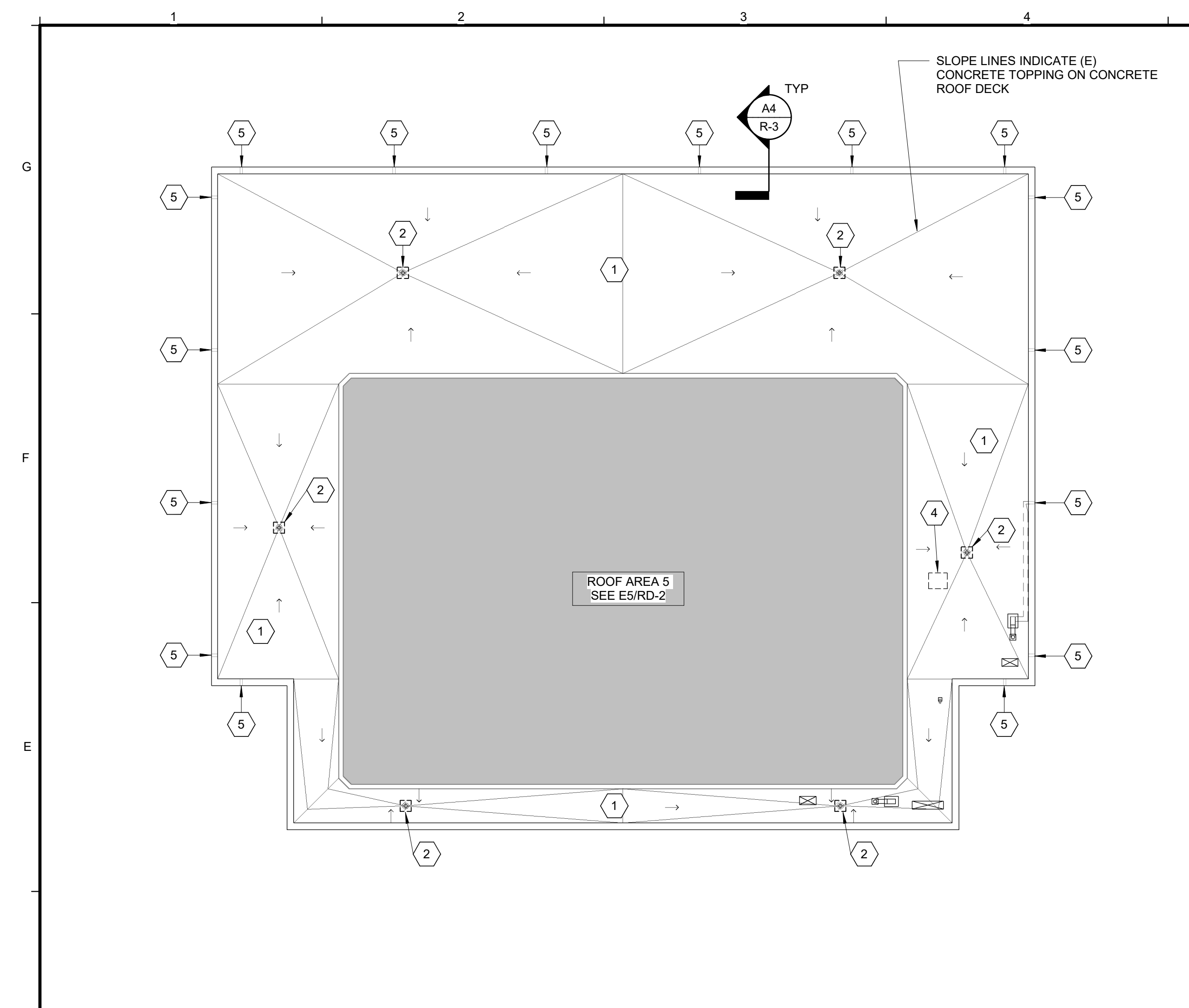
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Project Mgr: WPF  
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Graphic Scale: 1" = 0'

**ROOF PLAN**

MAINE CULTURAL BUILDING - ENVELOPE REPAIRS  
AUGUSTA, ME

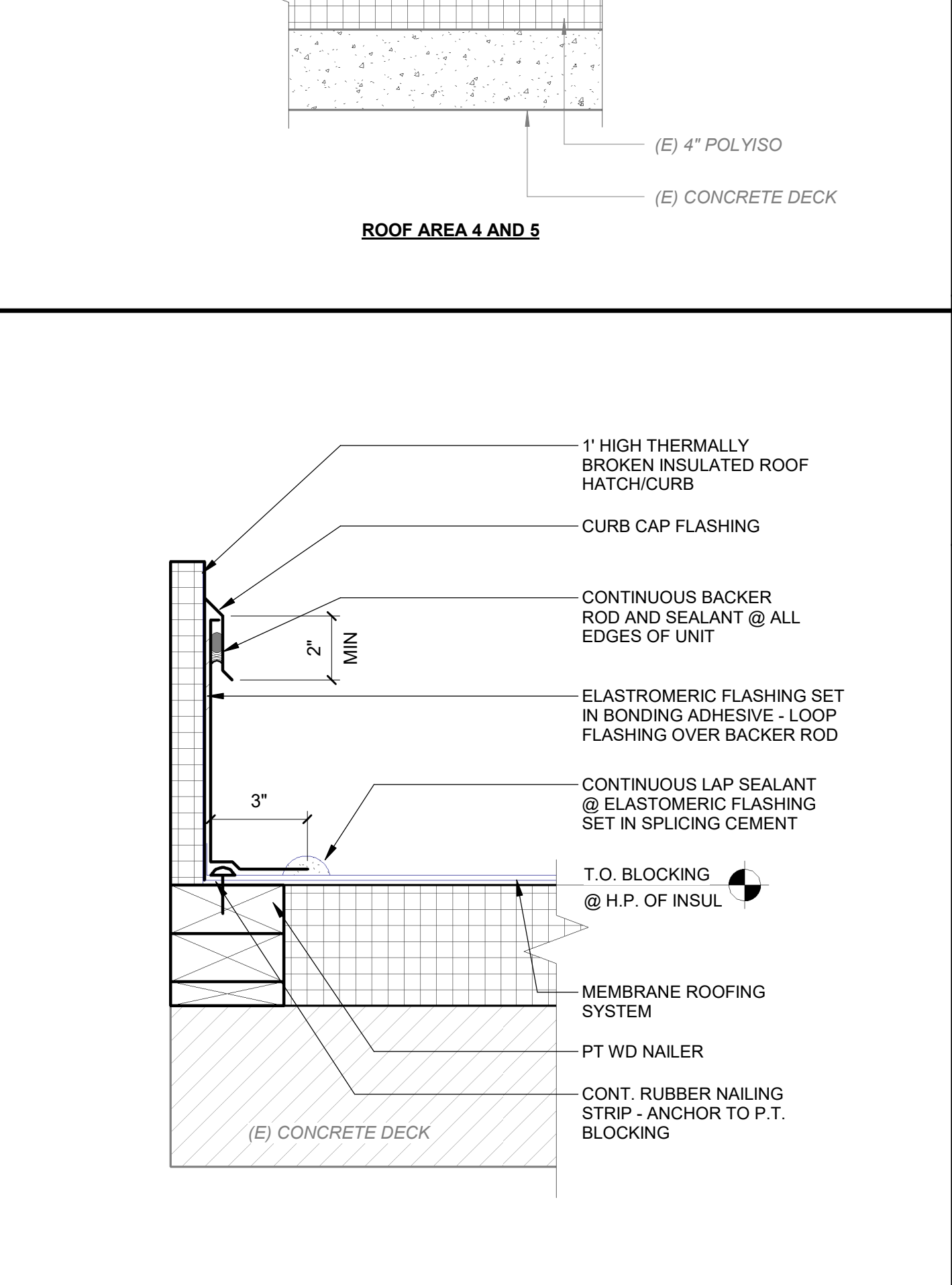
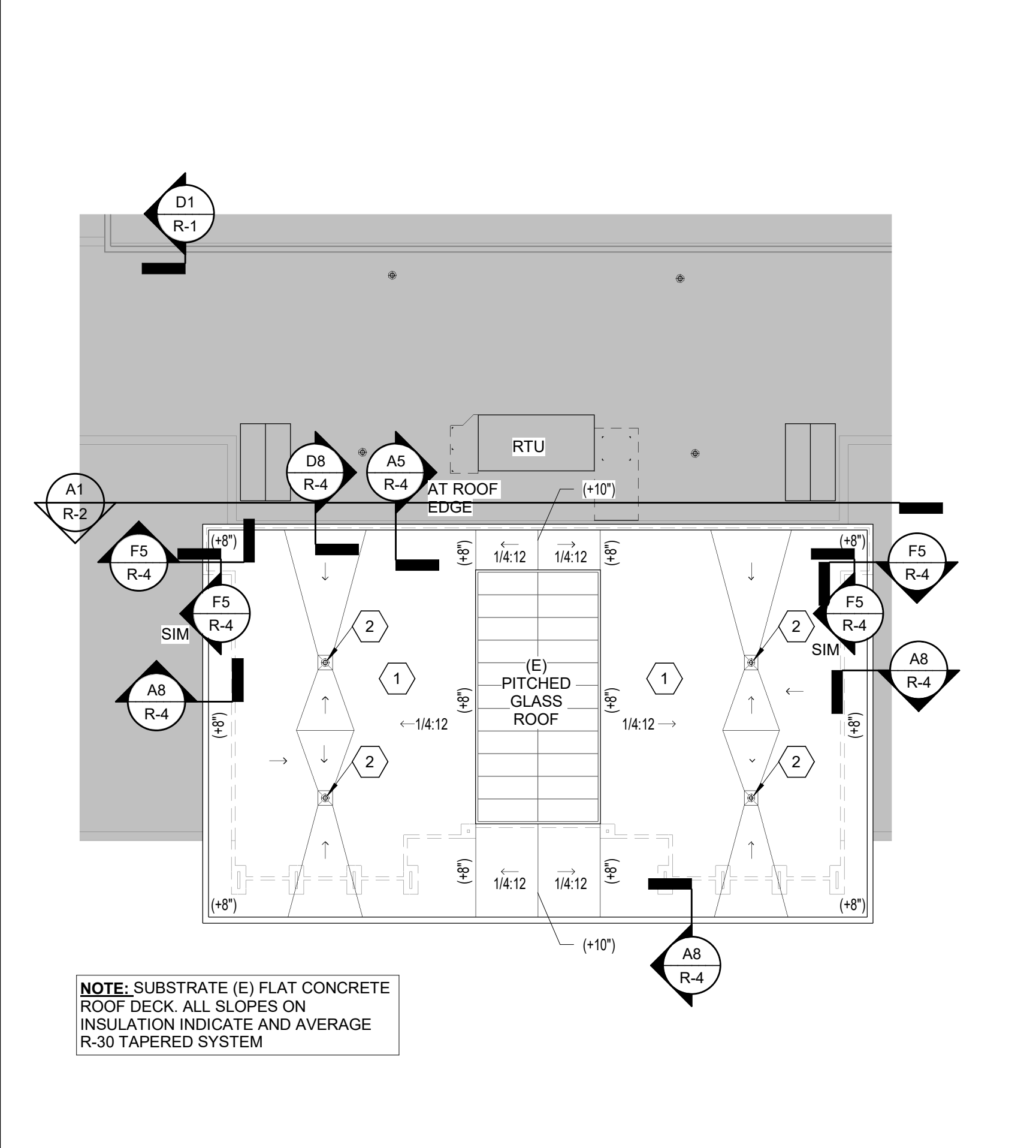
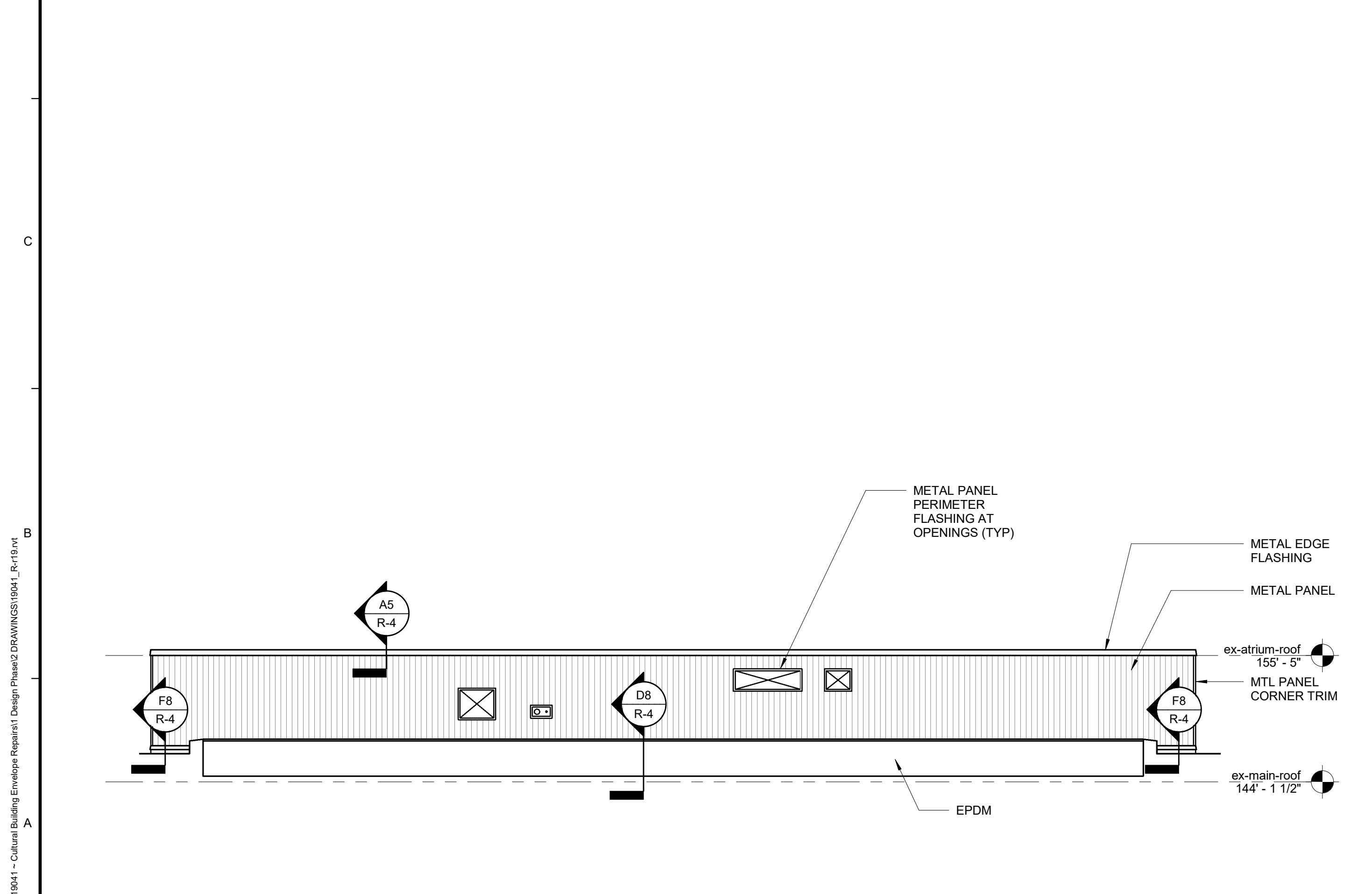
**R-1**

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D1 ROOF AREA 4: ROOF PLAN  
1/16" = 1'-0"

D5 ROOF AREA 5: ROOF PLAN  
1/16" = 1'-0"



A1 REAR WALL ELEVATION  
1/8" = 1'-0"

A5 ROOF AREA 3: ROOF PLAN  
1/16" = 1'-0"

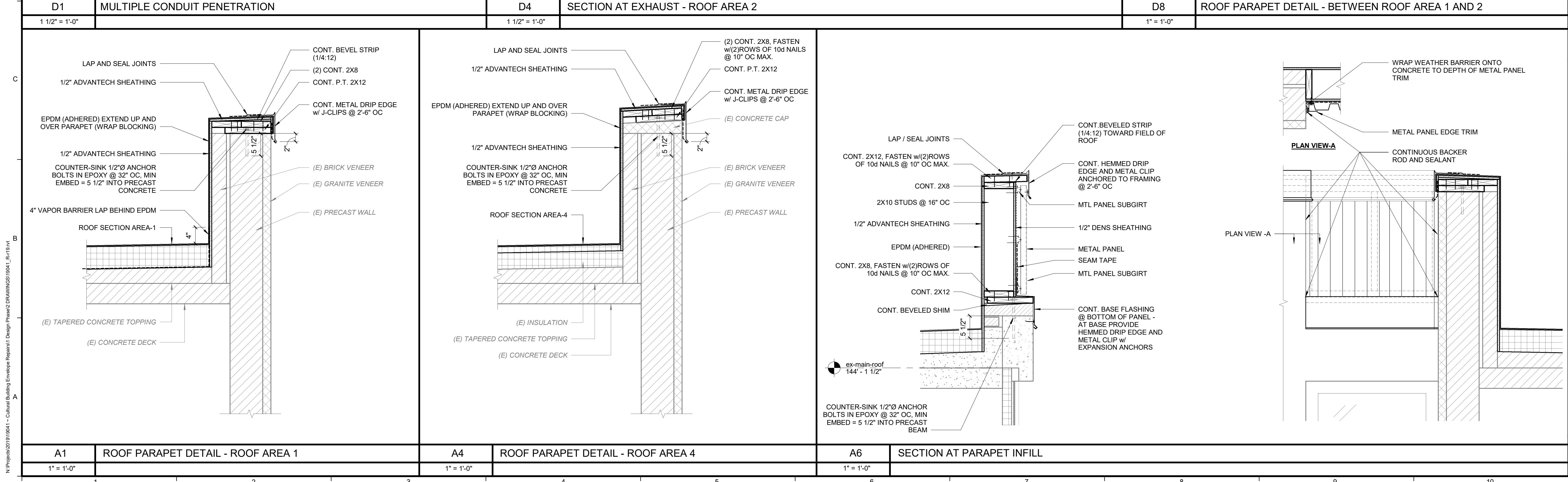
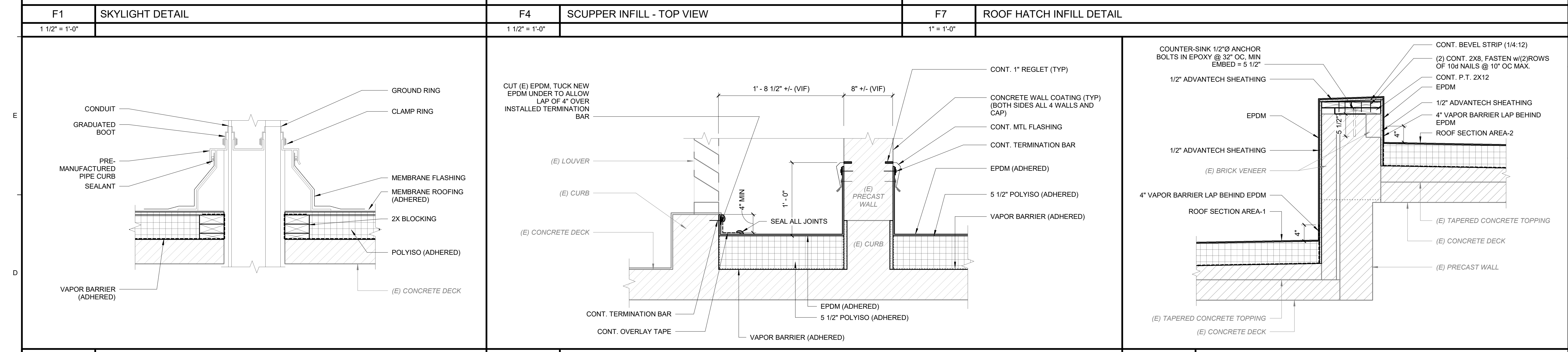
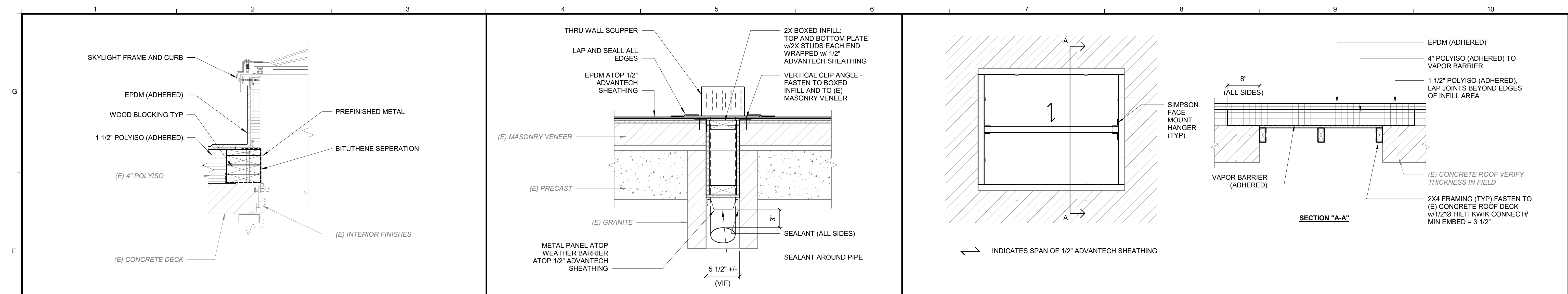
A9 ROOF HATCH DETAIL  
3" = 1'-0"

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<p><b>R-2</b></p>																	

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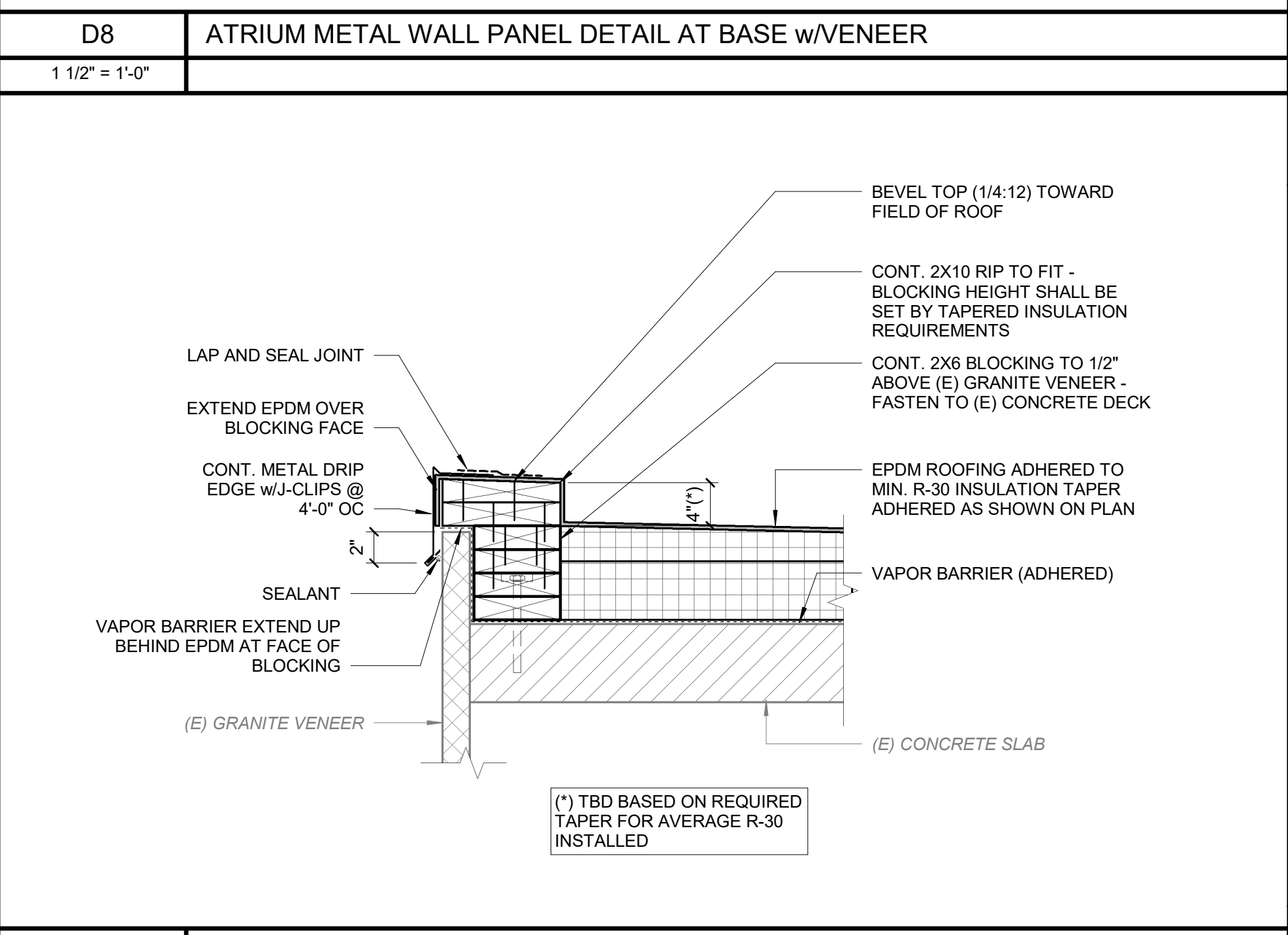
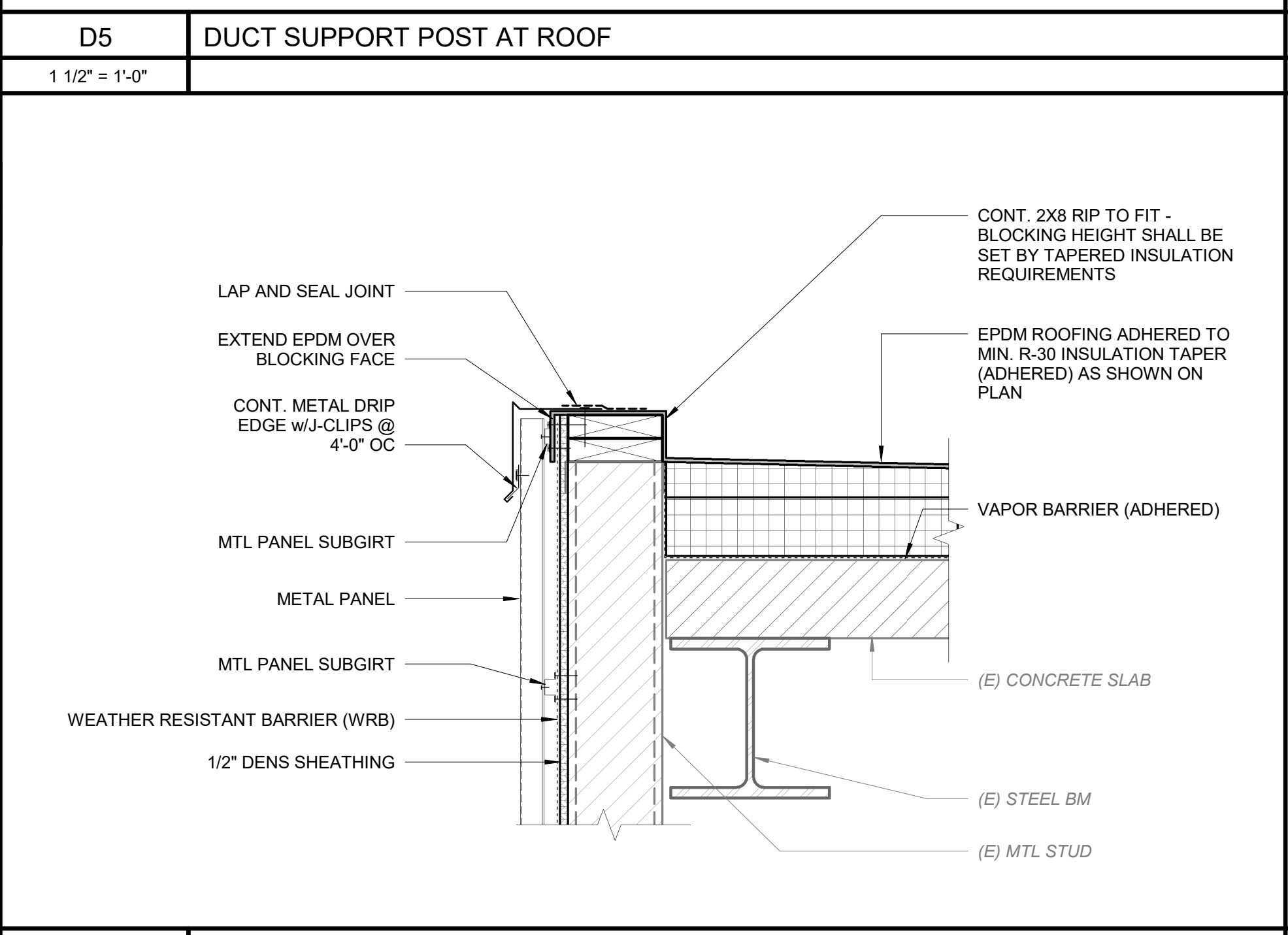
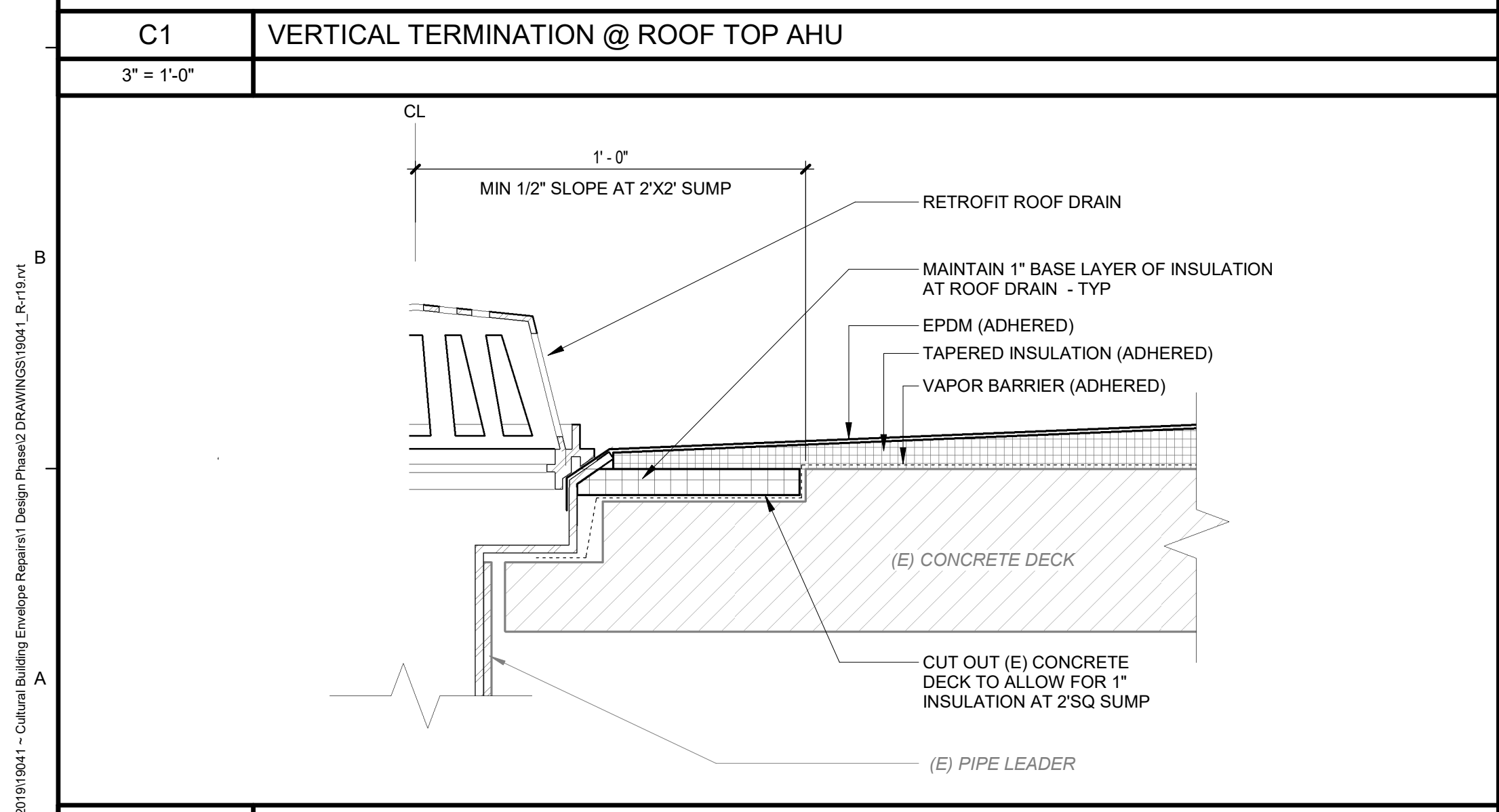
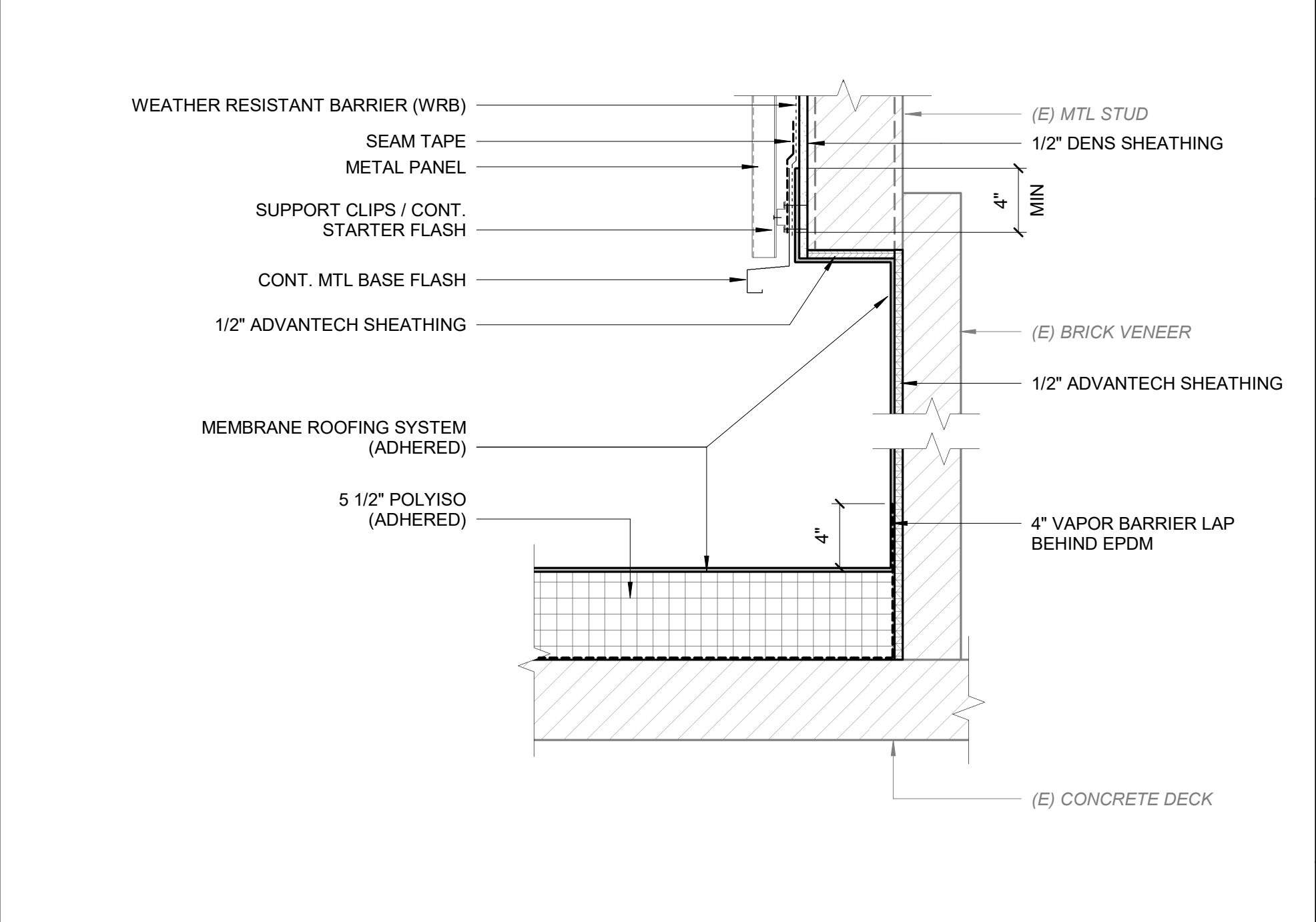
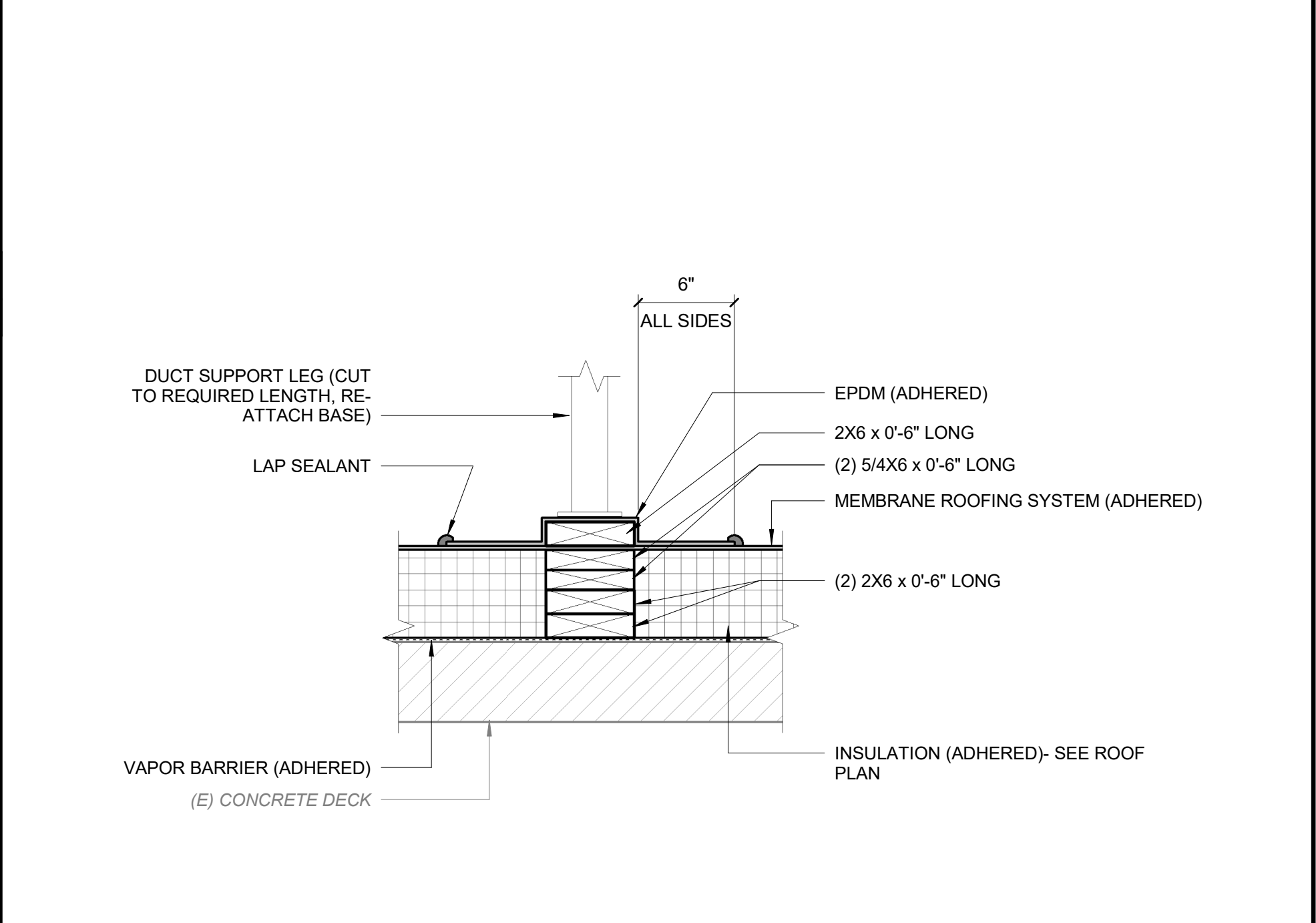
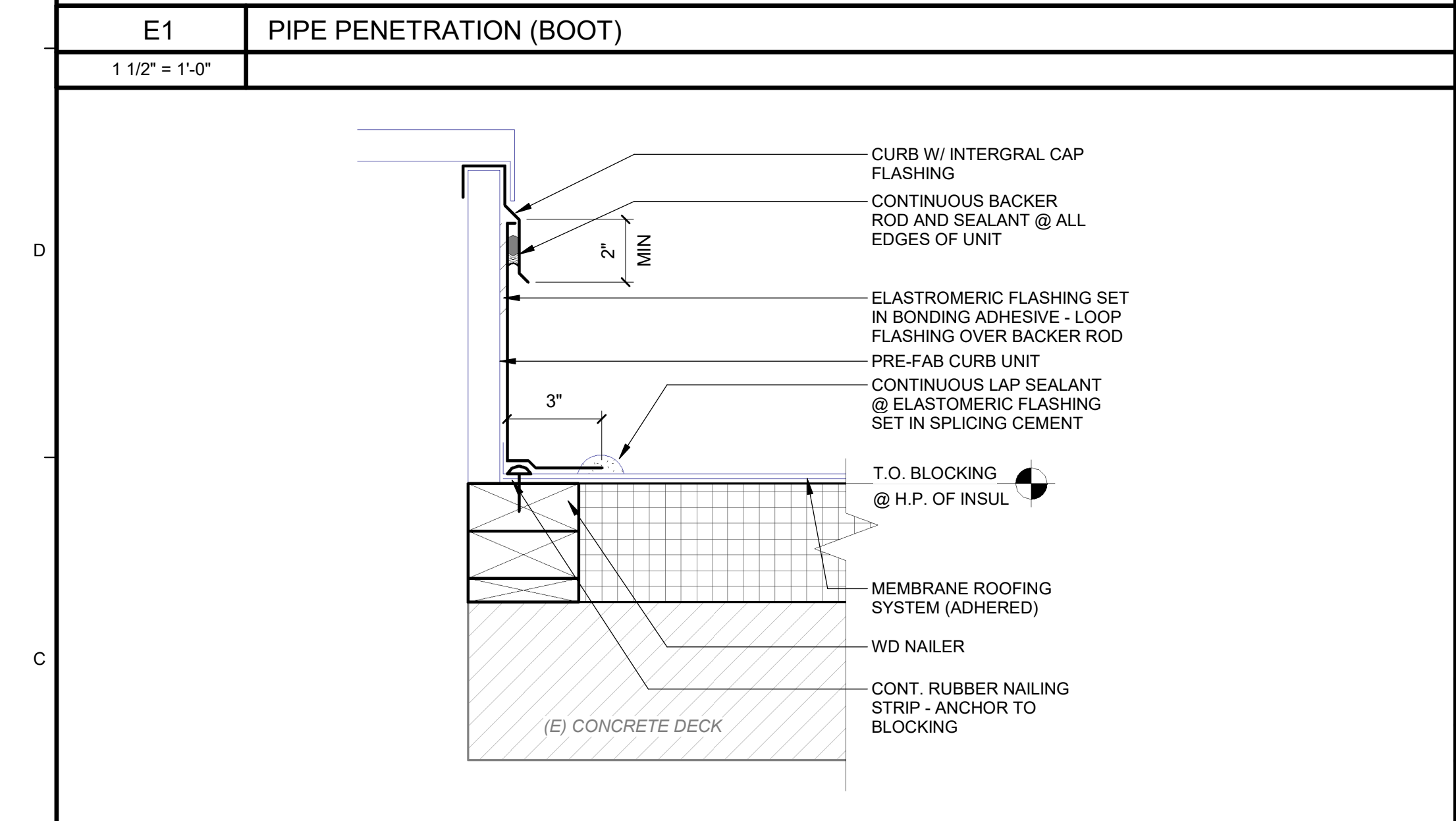
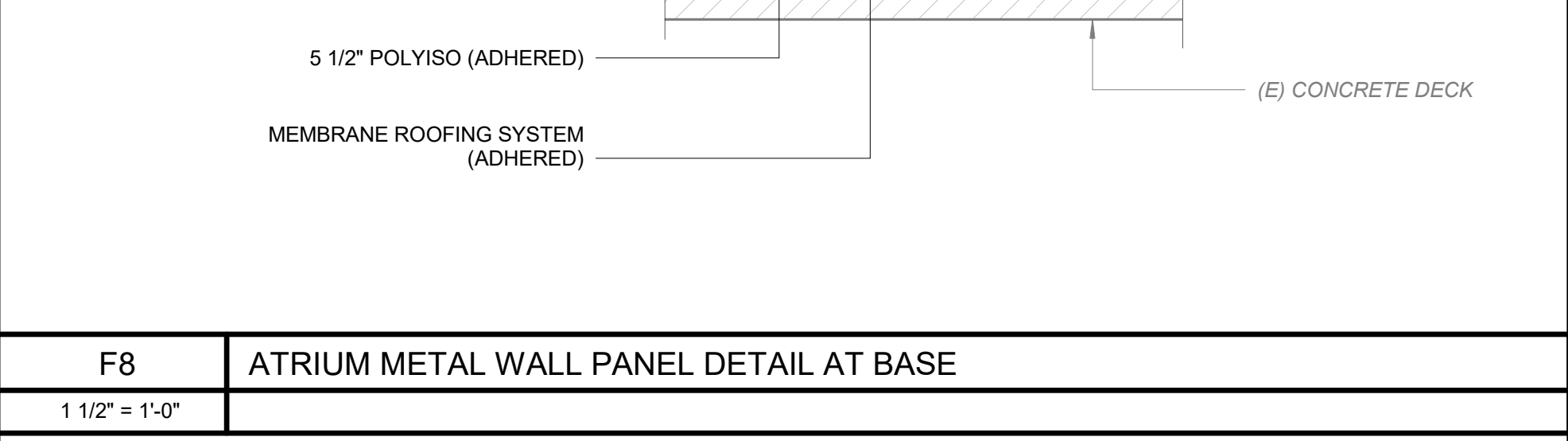
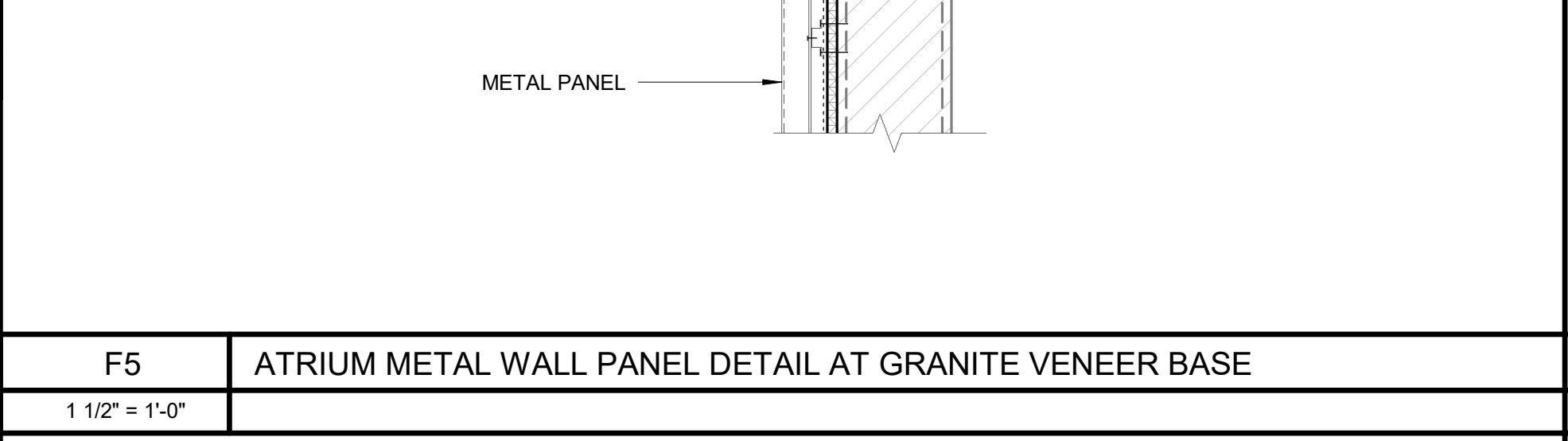
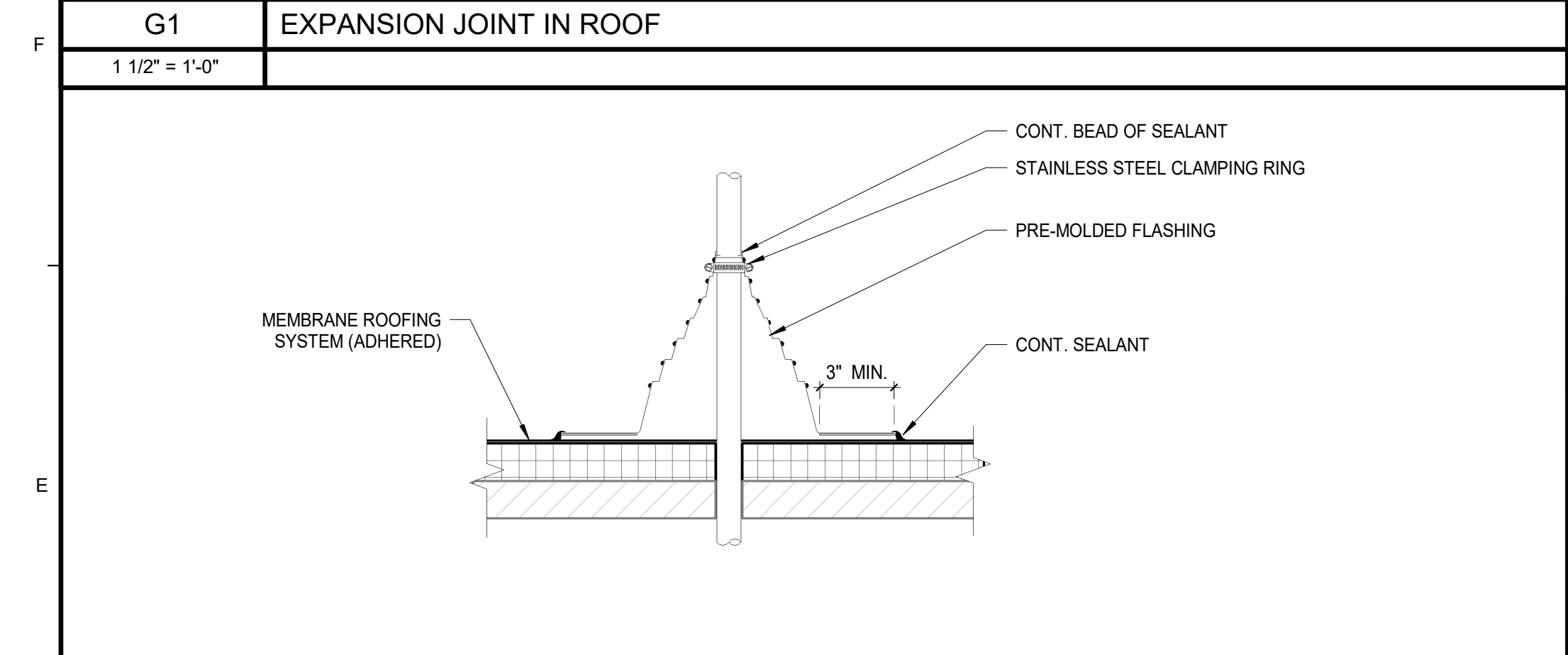
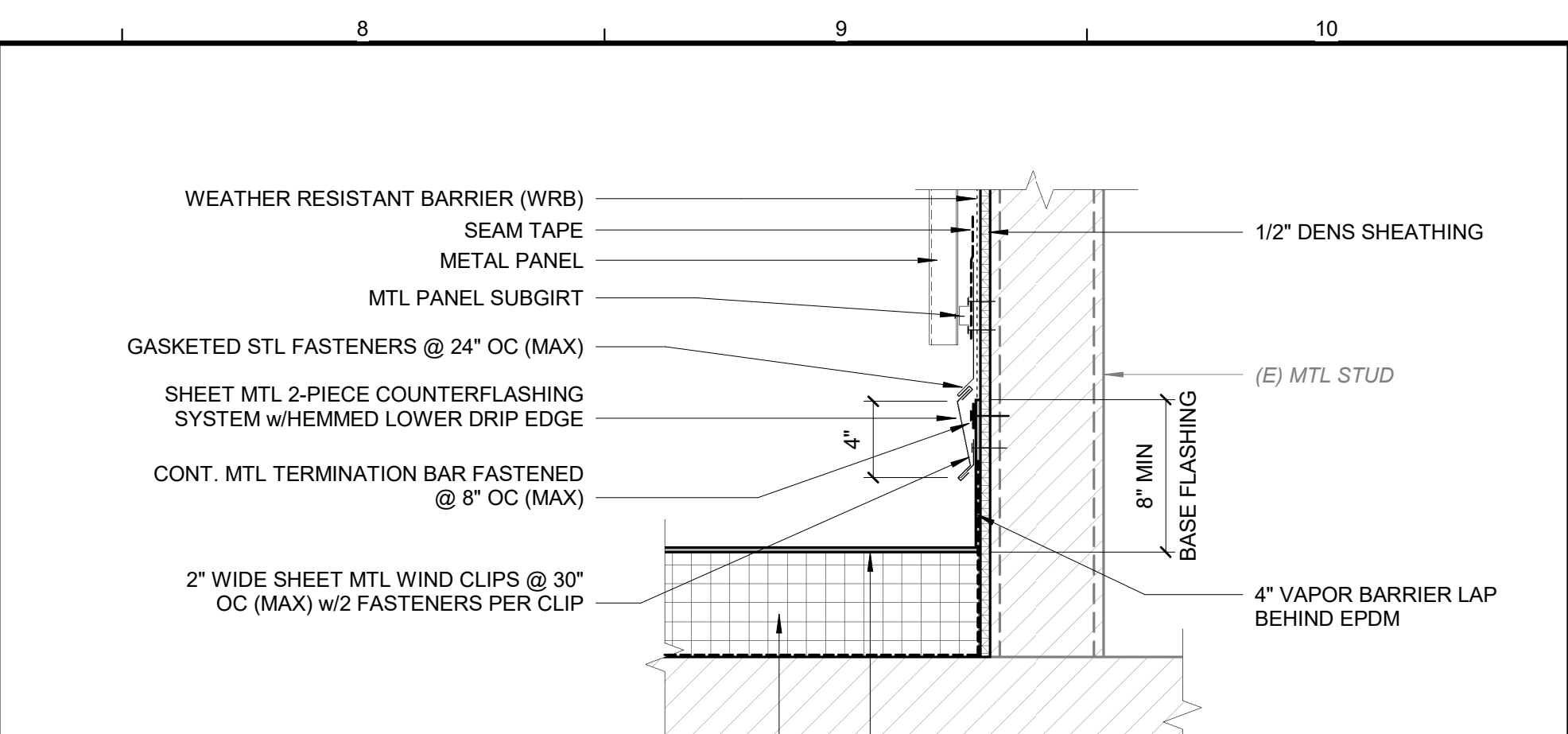
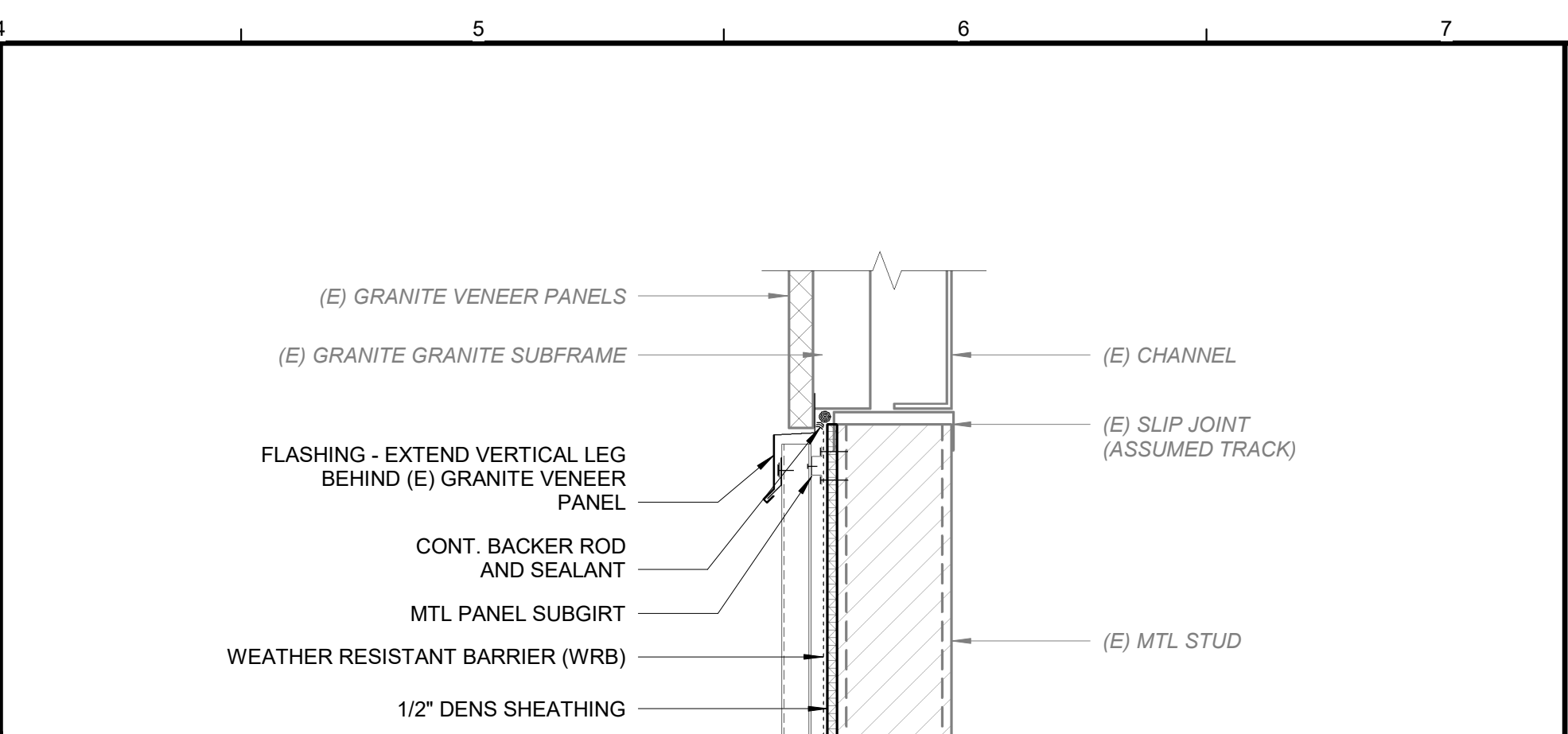
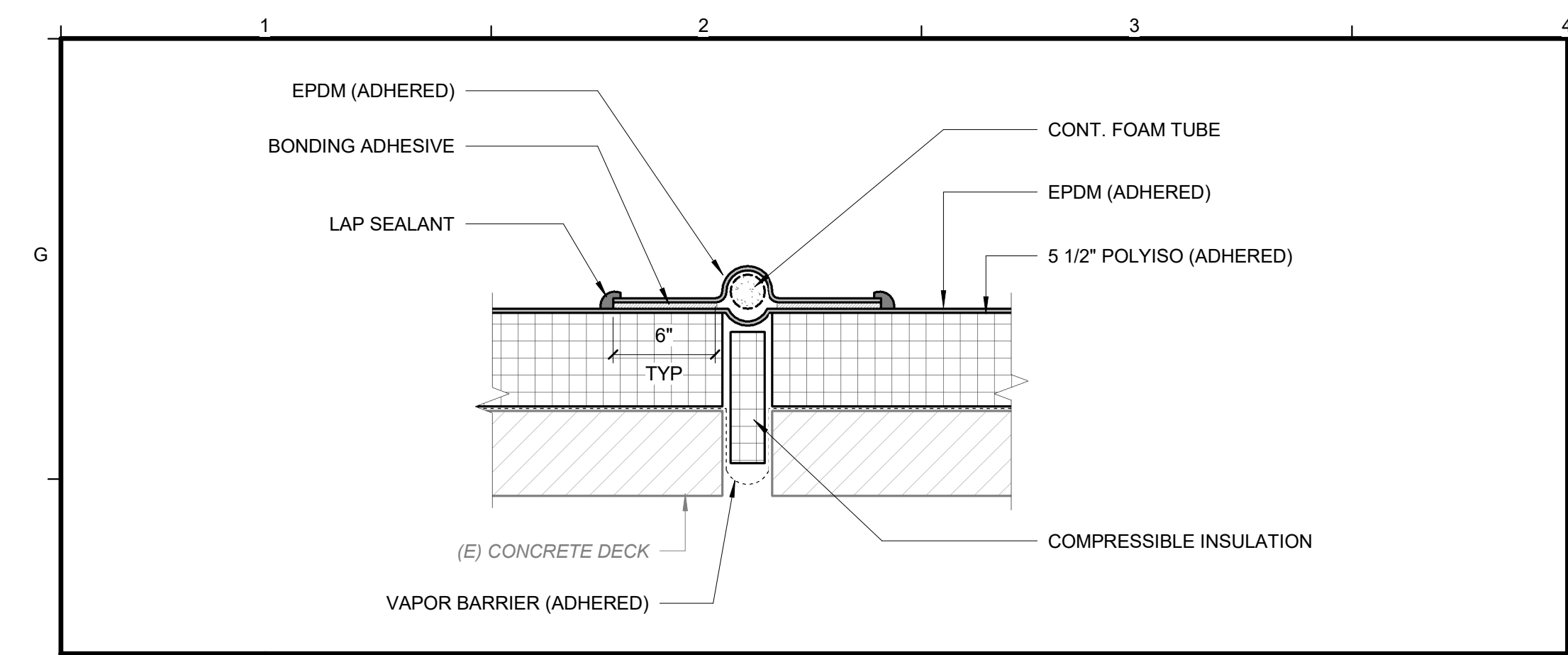
**ROOF DETAILS**

MAINE CULTURAL BUILDING - ENVELOPE REPAIRS  
 AUGUSTA, ME

**R-3**

ISSUED FOR BID ~ NOT FOR CONSTRUCTION

N:\Projects\2019\19041 - Cultural Building Envelope Repairs\1 - Design\Phase2 Drawings\19041\_R-19.rvt



A1 TYP. MEMBRANE @ ROOF DRAIN  
3" = 1'-0"

A5 ATRIUM ROOF EDGE DETAIL AT METAL PANEL  
1 1/2" = 1'-0"

A8 ATRIUM ROOF EDGE DETAIL AT GRANITE VENEER  
1 1/2" = 1'-0"

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**Allied Engineering**  
Structural Mechanical Electrical Commissioning

REVISIONS	
No.	DESCRIPTION

Date: 28 JUNE 2019  
Drawn By: PED  
Checked By: WPF  
Project Mgr: WPF  
Project No: 19044  
Cad File: 19044\_R-19.rvt  
Graphic Scale: 1" = 0'  
1" = 0'

**ROOF DETAILS**

**MAINE CULTURAL BUILDING - ENVELOPE REPAIRS**  
AUGUSTA, ME

**R-4**

**ISSUED FOR BID ~ NOT FOR CONSTRUCTION**

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