

Date: March 13th, 2023

To: Prospective Bidders

RE: Addendum #2 to the Issued for Bid Package

This Addendum forms a part of the Contract Documents and modifies the original Issued for Bid package dated February 27th, 2023.

This Addendum consists of five pages plus attachments.

Sincerely,



Aaron S. Wilson, PE

Associated Design Partners Inc.

PRE-BID QUESTIONS AND ANSWERS

Q: Foundation plans depict tie beams, not typically req'd with 40' wide buildings.

A: As noted, plan is preliminary and final foundation design will be completed upon receipt of the PEMB building reactions. Please Bid per the current plan.

Q: Is 3:12 roof slope required or can the eave be raised, keeping the same ridge height? 3:12 is custom building, will require more time for quoting, and will cost more. Recommend keeping the slope at 2:12 max.

A: 2:12 roof pitch is acceptable.

Q: No canopies over the passdoors located under the eaves.

A: No canopies at this time.

Q: Confirm that the State of ME Fire Marshal permitting has been secured by the Owner-A/E.

A: SFM permit application will be sent to SFM after bid phase.

Claim #:2022519876

ADP Job #: 23042

Q: Building Permit Fee – Will the Town waive the building permit fee?

A: No

Q: MEP Permit Fees – Will the Town waive the MEP permit fees?

A: No

Q: Does the Town have their own Electrical Inspector or do they rely on the State of ME Inspector?

A: Contact the town to answer this question.

Q: Spec Section 024119 – Selective Demolition & Alterations – Where is this spec section applicable?

A: Section would apply to any new work that was installed and found to be unacceptable and therefore would require “demolition” to correct it or install it per the documents

Q: 13. Division 03 – Furnish spec for concrete.

A: On-plan

Q: 14. Division 06 – Furnish carpentry specs.

A: On-plan

Q: 15. Division 07 – Furnish Thermal and Moisture Protection specs.

A: On-plan

Q: 16. Division 08 – Furnish specs for all doors and windows.

A: On-plan

Q: 17. Division 10 – Furnish specs for toilet accessories and fire extinguishers.

A: On-plan

Q: 18. Division 13 – Furnish specs for the PEMB.

A: On-plan

Q: Any bollards at the overhead doors or building corners?

A: No bollards at this time.

Q: A/E to furnish slab plan depicting trench drains, slab control joints, etc.

A: There is no slab plan. Control joints are specified on the Structural drawings (note #10 A1/S1). There are no internal floor drains.

Q: Is the intent to have the Garage heated only with the “Office Area” air conditioned?

A: Refer to MEP performance specification. There is no air conditioning to be provided at this time.

Claim #:2022519876

ADP Job #: 23042

Q: Since the MEP's are Design/Build, are they locked into the Div 23 & 26 specs?

A: Yes

Q: 23500-1.1.A references Fire Protection. Is the building receiving a fire protection system? Plan A0 clearly states that Sprinklers are not required.

A: Sprinkler system is not required at this time.

Q: 261000-2.4.A – Lists a 400A 208 3 PH Panel. While 2.06.A Lists Service at 400A 120/240V 1 PH. Which is correct?

A: 400A 120/208V 3 phase.

Q: 260000-1.01.B.4 – Notes see site plan for layout and fixture types. Need to issue the civil drawings.

A: Refer to Addendum #1.

Q: 26000 – Owner to forward their CMP information for project coordination. It has been assumed that any CMP charges will be by Owner.

A: CMP fees will be paid by owner.

Q: 26000 – Does the Owner have any specific IT requirements, electrical requirements, tel/data jacks, etc.?

A: New fiber optic line to be installed in conduit from utility pole to building per revised drawing C2.1. Service Provider is Spectrum. Provide and install a Data switch and access point at the mezzanine (final location TBD). Install (2) Cat. 6 Cables from the mezzanine to the office for the Phone/Data connection.

Q: 26000-1.01.C – Telephone Service – Owner to forward their telephone company information for project coordination.

A: There is no telephone service to be provided. Only Fiber Optic Internet Service via Spectrum.

Q: Plan A1 notes – Provide Electrical Service to (1) Owner supplied and installed floor mounted bus lift at this bay. Refer to MEP performance spec.

a. Owner to furnish Owner's lift information for mechanical and electrical requirements.

A: The bus lifts require 240v/20A.

b. Will the lift require separate foundations or slab reinforcement? Does the slab need to be level in the lift area or will it be installed sloping with the floor?

A: Lift will be installed on sloped slab, no special foundations required at this time.

Q: Will there be any other Owner provided equipment? Any welding plugs? Any compressors?

A: The owner will be installing a compressor and a welder which are accounted for in the electrical specification.

Claim #:2022519876

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Q: No mechanical Room. Advise as to where mechanical and electrical equipment will be located.

A: Refer to plan.

Q: What is the door sill elevation of the overhead doors?

A: Refer to plan S1.

Q: A1/A2 – A/E to issue clear detail of how the concrete curb wall will be covered with plywood.

A: Refer to SK1 (attached).

Q: What covers the top of the insulation? What fills the 1” gap noted at the bottom of the plywood?

A: Refer to SK1.

Q: A1/A2 – Bottom of joist to top of Mezz plywood depicts 8”. A1/S2 calls out for 2x10 joists. Which is correct? Also, what lumber will be used?

A: Floor will be framed with 2X10's. Refer to S3 for lumber spec. See revised section A1/A2 (attached).

Q: A1/A1 – Storage Work Bench depicts what appears to be work benches. Also have what appears to be benches on the mezzanine on B1/A1. No details. Are these Owner furnished and Owner Installed?

A: Work benches and shelving will be furnished by owner.

Q: Please forward the HHE-200 report for the septic design referenced on C2.1 Site Plan.

A: See HHE-200 (attached) .

Q: Garage Trench Drain

- a. Does the trench drain connect to the sanitary system depicted on C2.1 Site Plan?
- b. Is there a sand/oil separator? If so, what size? Where is it to be located?

A: There is no garage trench drain to be provided.

Q: Advise as to the design of the Exterior Concrete Apron. Concrete design, reinforcement, etc.

A: Refer to S1 for Slab thickness and reinforcing.

Q: Typical edge of overhead door sill / slab is tipped down 1” to allow any rain/melt to flow away from the building. C4/S2 does not depict any tip down.

A: Provide 1” tip down at portion of slab from edge to overhead door face.

Q: Any embed angle req'd at the overhead door sills?

A: No

Claim #:2022519876

ADP Job #: 23042

CHANGES TO BID DOCUMENTS

1. Civil Drawings C1.1 and C2.1 revised with new underground electric/fiber conduit location.
2. Drawing A2, Section A1 revised.
3. HHE-200 Report added to bid documents.
4. SK-1 added to bid documents.

-End of Addendum #2

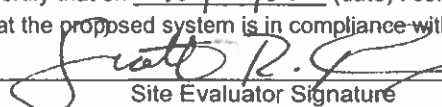
SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Maine Dept. Health & Human Services
Div. Environmental Health, 11S1S
(207) 287-2070 Fax: (207) 287-4172

PROPERTY LOCATION		>> CAUTION: LPI APPROVAL REQUIRED <<	
City, Town, or Plantation	Dixfield, Maine	Town/City _____	Permit # _____
Street or Road	off School Street	Date Permit Issued ___/___/___	Fee: \$ _____ Double Fee Charged []
Subdivision, Lot #	--	L.P.I. # _____	
OWNER/APPLICANT INFORMATION		Local Plumbing Inspector Signature _____	
Name (last, first, MI) RSU # 56		Fee: \$ _____ state min fee \$ _____ Locally adopted fee _____	
Mailing Address of Owner/Applicant 147 Weld Street Dixfield ME 04224		Copy: [] Owner [] Town [] State	
Daytime Tel. # C/o Kenny Robbins 207-357-7619		The Subsurface Wastewater Disposal System shall not be installed until a Permit is issued by the Local Plumbing Inspector. The Permit shall authorize the owner or installer to install the disposal system in accordance with this application and the Maine Subsurface Wastewater Disposal Rules.	
OWNER OR APPLICANT STATEMENT		CAUTION: INSPECTION REQUIRED	
I state and acknowledge that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Department and/or Local Plumbing Inspector to deny a Permit.		I have inspected the installation authorized above and found it to be in compliance with the Subsurface Wastewater Disposal Rules Application.	
Signature of Owner or Applicant _____ Date _____		(1st) date approved _____	
		Local Plumbing Inspector Signature _____ (2nd) date approved _____	

PERMIT INFORMATION		
TYPE OF APPLICATION <input checked="" type="checkbox"/> 1. First Time System 2. Replacement System Type replaced: _____ Year installed: _____ 3. Expanded System a. <25% Expansion b. ≥25% Expansion 4. Experimental System 5. Seasonal Conversion	THIS APPLICATION REQUIRES <input checked="" type="checkbox"/> 1. No Rule Variance 2. First Time System Variance a. Local Plumbing Inspector Approval b. State & Local Plumbing Inspector Approval 3. Replacement System Variance a. Local Plumbing Inspector Approval b. State & Local Plumbing Inspector Approval 4. Minimum Lot Size Variance 5. Seasonal Conversion Permit	DISPOSAL SYSTEM COMPONENTS <input checked="" type="checkbox"/> 1. Complete Non-engineered System 2. Primitive System (graywater & alt. toilet) 3. Alternative Toilet, specify: _____ 4. Non-engineered Treatment Tank (only) 5. Holding Tank, _____ gallons 6. Non-engineered Disposal Field (only) 7. Separated Laundry System 8. Complete Engineered System (2000 gpd or more) 9. Engineered Treatment Tank (only) 10. Engineered Disposal Field (only) 11. Pre-treatment, specify: _____ 12. Miscellaneous Components
SIZE OF PROPERTY ± 10 SQ. FT. ACRES <input checked="" type="checkbox"/>	DISPOSAL SYSTEM TO SERVE 1. Single Family Dwelling Unit, No. of Bedrooms: _____ 2. Multiple Family Dwelling, No. of Units: _____ <input checked="" type="checkbox"/> 3. Other: Maintenance Garage (Buses) (specify) Current Use Seasonal Year Round <input checked="" type="checkbox"/> Undeveloped	TYPE OF WATER SUPPLY 1. Drilled Well 2. Dug Well 3. Private <input checked="" type="checkbox"/> 4. Public 5. Other
SHORELAND ZONING Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		

DESIGN DETAILS (SYSTEM LAYOUT SHOWN ON PAGE 3)			
TREATMENT TANK <input checked="" type="checkbox"/> 1. Concrete <input checked="" type="checkbox"/> a. Regular b. Low Profile 2. Plastic 3. Other: _____ CAPACITY: 1,000 GAL.	DISPOSAL FIELD TYPE & SIZE <input checked="" type="checkbox"/> 1. Stone Bed 2. Stone Trench 3. Proprietary Device a. cluster array c. Linear b. regular load d. H-20 load <input checked="" type="checkbox"/> 4. Other: 10' x 20' SIZE: 200 sq. ft. lin. ft.	GARBAGE DISPOSAL UNIT <input checked="" type="checkbox"/> 1. No 2. Yes 3. Maybe If Yes or Maybe, specify one below: a. multi-compartment tank b. _____ tanks in series c. increase in tank capacity d. Filter on Tank Outlet	DESIGN FLOW 60 gallons per day BASED ON: <input checked="" type="checkbox"/> 1. Table 4A (dwelling unit(s)) <input checked="" type="checkbox"/> 2. Table 4C (other facilities) SHOW CALCULATIONS for other facilities 5 empl. max. x 12 gpd/empl = 60 gpd
SOIL DATA & DESIGN CLASS PROFILE CONDITION 5 / B at Observation Hole # TB-1 Depth > 48" of Most Limiting Soil Factor	DISPOSAL FIELD SIZING <input checked="" type="checkbox"/> 1. Medium--2.6 sq. ft. / gpd 2. Medium--Large 3.3 sq. ft / gpd 3. Large--4.1 sq. ft / gpd 4. Extra Large--5.0 sq. ft. / gpd	EFFLUENT/EJECTOR PUMP <input checked="" type="checkbox"/> 1. Not Required 2. May Be Required 3. Required Specify only for engineered systems: DOSE: _____ gallons	3. Section 4G (meter readings) ATTACH WATER METER DATA LATITUDE AND LONGITUDE at center of disposal area Lat. 44 d 32 m 52.80 s N Lon. 70 d 27 m 05.95 s W if g.p.s, state margin of error: _____

SITE EVALUATOR STATEMENT	
I certify that on 10/31/22 (date) I completed a site evaluation on this property and state that the data reported are accurate and that the proposed system is in compliance with the State of Maine Subsurface Wastewater Disposal Rules (10-144A CMR 241).	
Site Evaluator Signature  Scott R. Dixon Site Evaluator Name Printed	SE # 406 Date 10/31/22 Telephone Number 207-897-6752 E-mail Address scott@maine-landdei.com

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Department of Health & Human Services
 Division of Environmental Health
 (207) 287-5672 Fax: (207) 287-3165

Town, City, Plantation

Dixfield, ME

Street, Road, Subdivision

off School Street

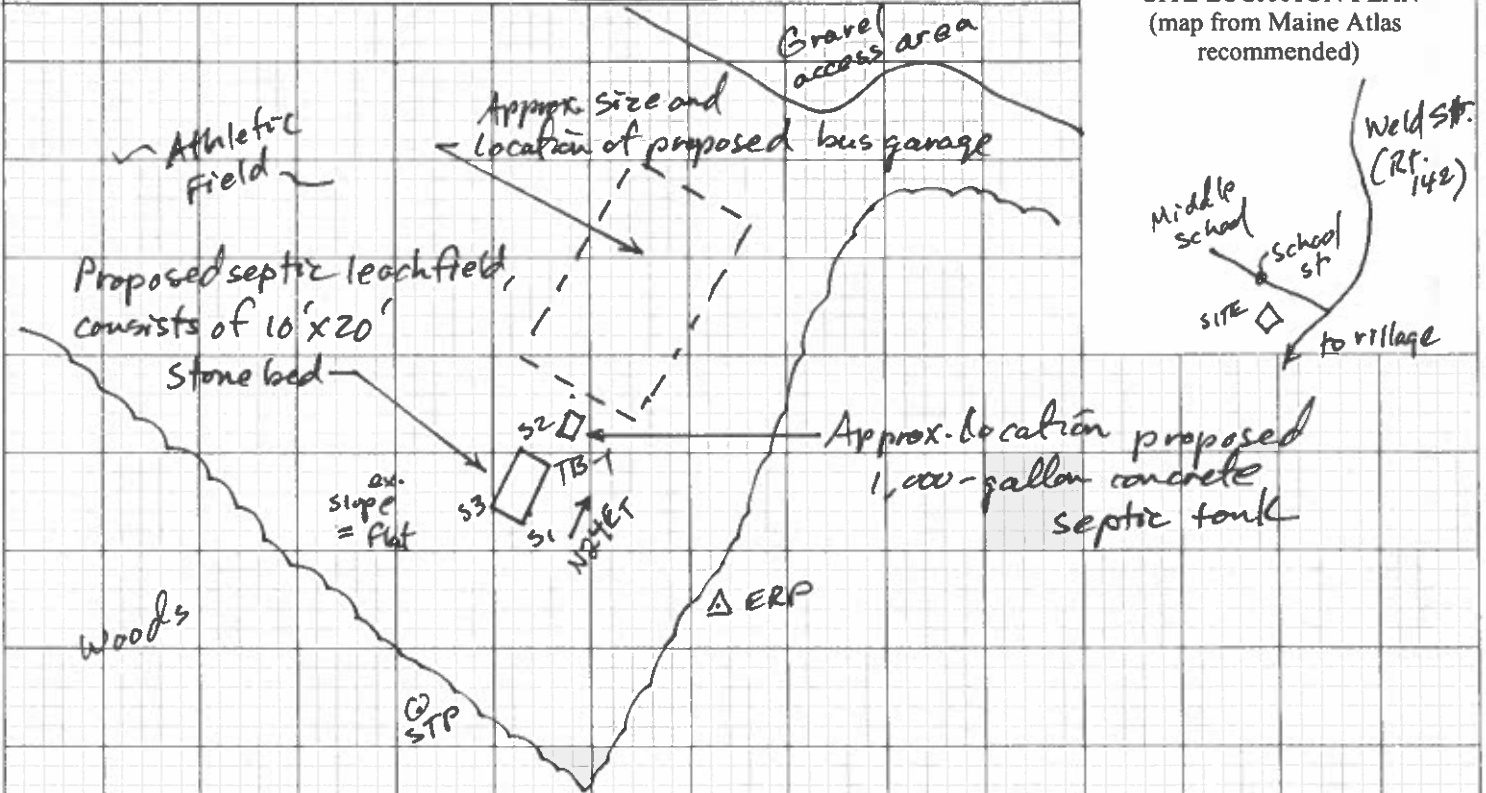
Owner's Name

RSU #56

SITE PLAN

Scale 1" = 60 ft. or as shown

SITE LOCATION PLAN
 (map from Maine Atlas recommended)



SOIL DESCRIPTION AND CLASSIFICATION (Location of Observation Holes Shown Above)

Observation Hole TB-1 Test Pit Boring
 1" Depth of Organic Horizon Above Mineral Soil

Observation Hole N/A Test Pit Boring
 " Depth of Organic Horizon Above Mineral Soil

Depth Below Mineral Soil Surface (inches)	Texture	Consistency	Color	Mottling
0-10	Fine sand, trace loam Loam	Friable	Brown Light yellow-brown Dark brown	None
10-20	Loamy fine sand	Friable	Orange-brown	
20-30	Fine sand, traces silt, with seams of c-f sand	to loose	Light yellow-brown	
30-40			brown	
40-50				

Depth Below Mineral Soil Surface (inches)	Texture	Consistency	Color	Mottling
0-10				
10-20				
20-30				
30-40				
40-50				

Soil Classification	Slope	Limiting Factor	<input type="checkbox"/> Ground Water
5 B	0 %	>48"	<input type="checkbox"/> Restrictive Layer
Profile Condition			<input type="checkbox"/> Bedrock
			<input checked="" type="checkbox"/> Pit Depth

Soil Classification	Slope	Limiting Factor	<input type="checkbox"/> Ground Water
			<input type="checkbox"/> Restrictive Layer
			<input type="checkbox"/> Bedrock
			<input type="checkbox"/> Pit Depth

[Signature] 406
 Site Evaluator Signature SE #

10/31/22
 Date

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Maine Department of Human Services
Division of Health Engineering, Station 10
(207) 287-3672 Fax: (207) 287-3165

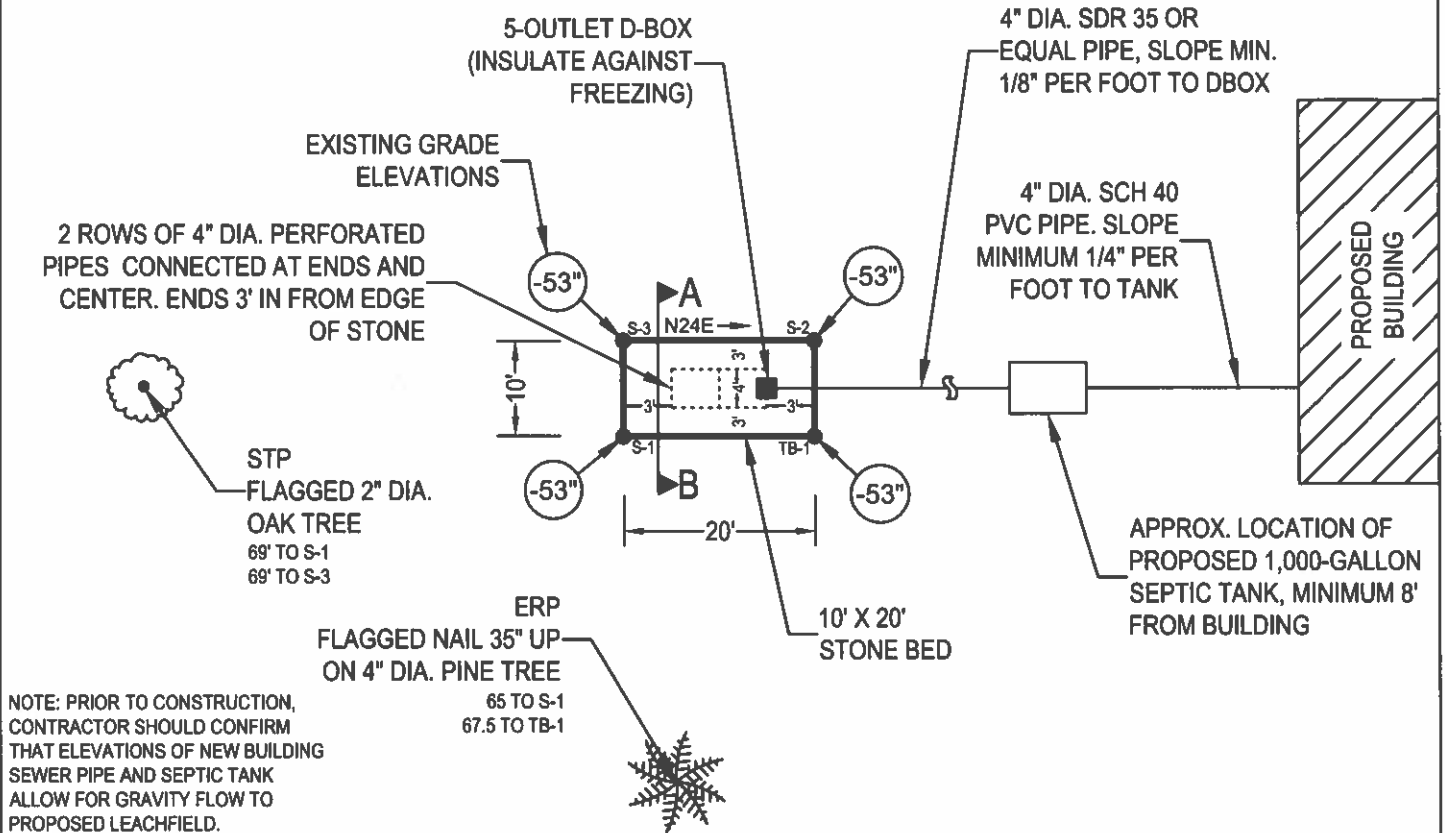
Town, City, Plantation
DIXFIELD

Street, Road, Subdivision
OFF SCHOOL STREET

Owner or Applicant Name
RSU #56

SUBSURFACE WASTEWATER DISPOSAL PLAN

Scale: 1" = 20 ft



BACKFILL REQUIREMENTS

Depth of Backfill (upslope) 0"±
Depth of Backfill (downslope) 0"±

CONSTRUCTION ELEVATIONS

Finished Grade Elevation -52"±
Top of Perforated Pipe -72"
Bottom of Stone -83"

ELEVATION REFERENCE POINT

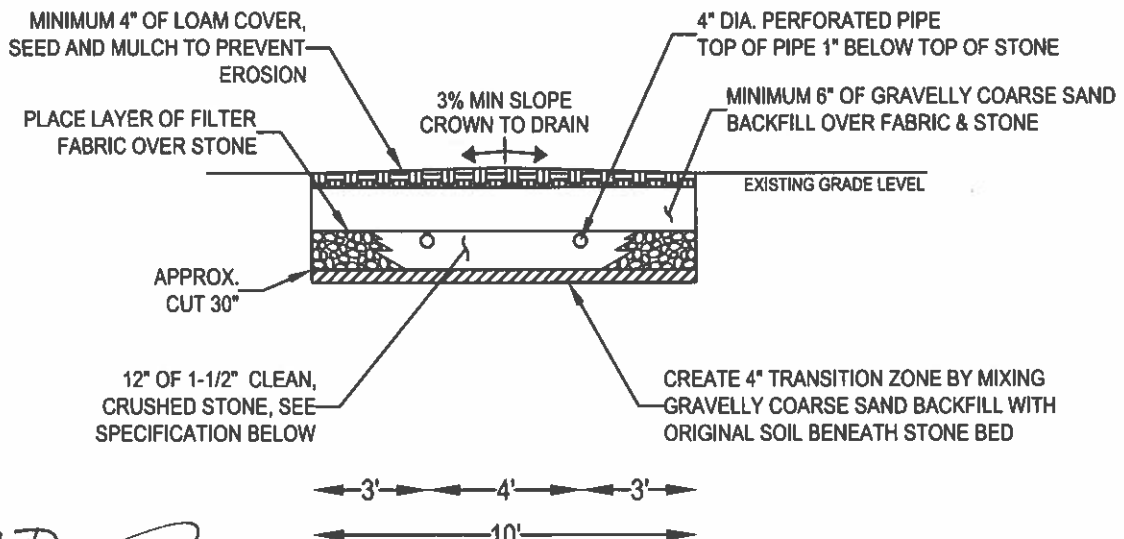
Location & Description: FLAGGED NAIL 35" UP ON 4" DIA. PINE TREE
Reference Elevation: 0.0"

1-1/2" STONE TO BE CLEAN AND FREE OF FINES. STONE SHALL MEET THE FOLLOWING SIEVE SIZE REQUIREMENT:
100% PASSING 2"
95-100% PASSING 1-1/2"
0-40% PASSING 3/4"
0-20% PASSING 1/2"
0-8% PASSING 3/8"
0-5% PASSING #4
0-2% PASSING #200
NOTE: BACKFILL MEANS GRAVELLY COARSE SAND

DISPOSAL FIELD CROSS SECTION

ANY QUESTIONS IN CONSTRUCTION OF SEPTIC SYSTEM CONTACT:
SCOTT DIXON

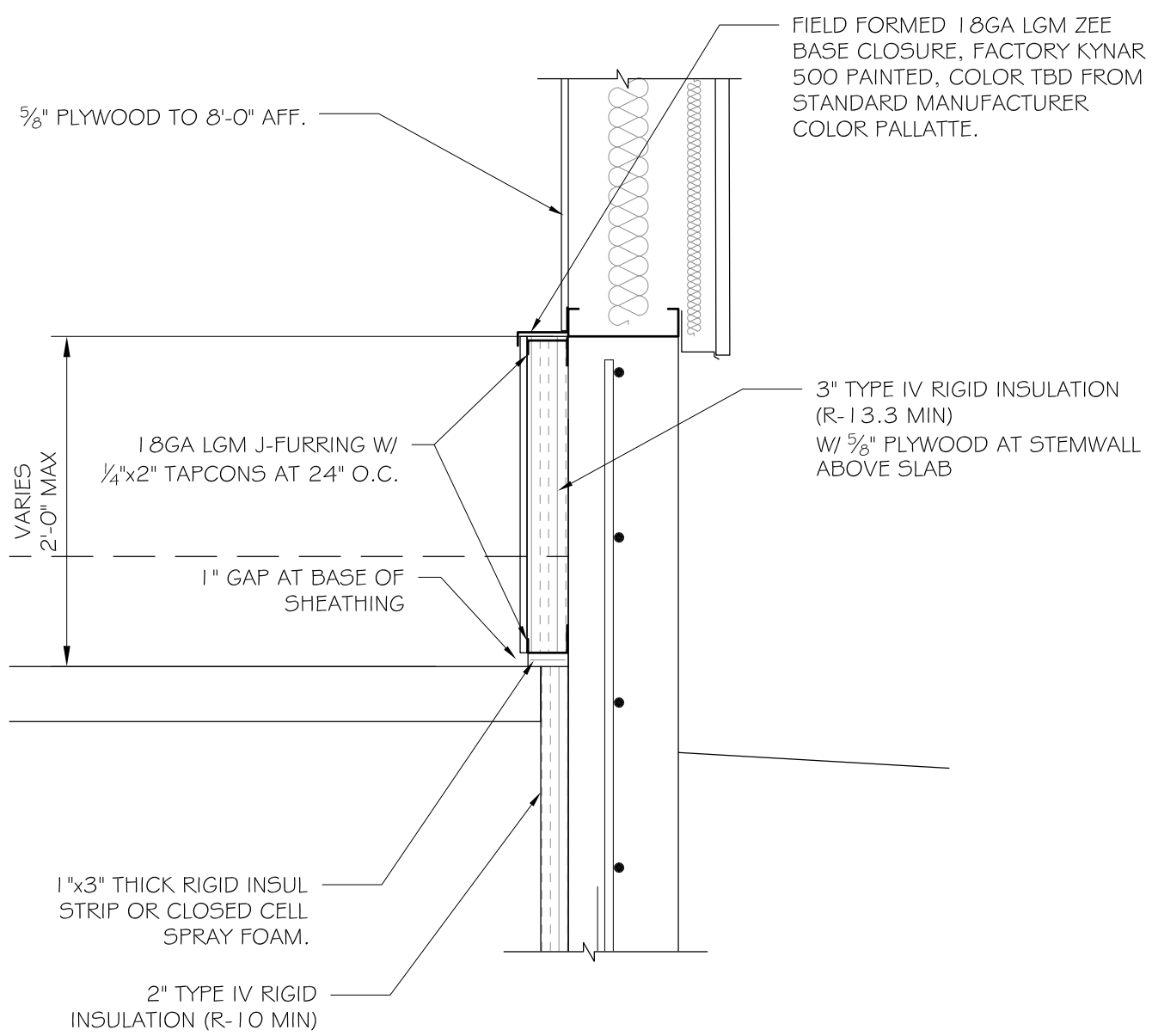
Scales:
Vertical: 1" = 5
Horizontal: 1" = 5



Scott Dixon
Site Evaluator Signature

406
SE #

10/31/22
Date



ASSOCIATED DESIGN PARTNERS INC.

80 Leighton Road
Falmouth, Maine 04105

Office: (207) 878-1751
Fax: (207) 878-1788
E-Mail: adp@adpengineering.com

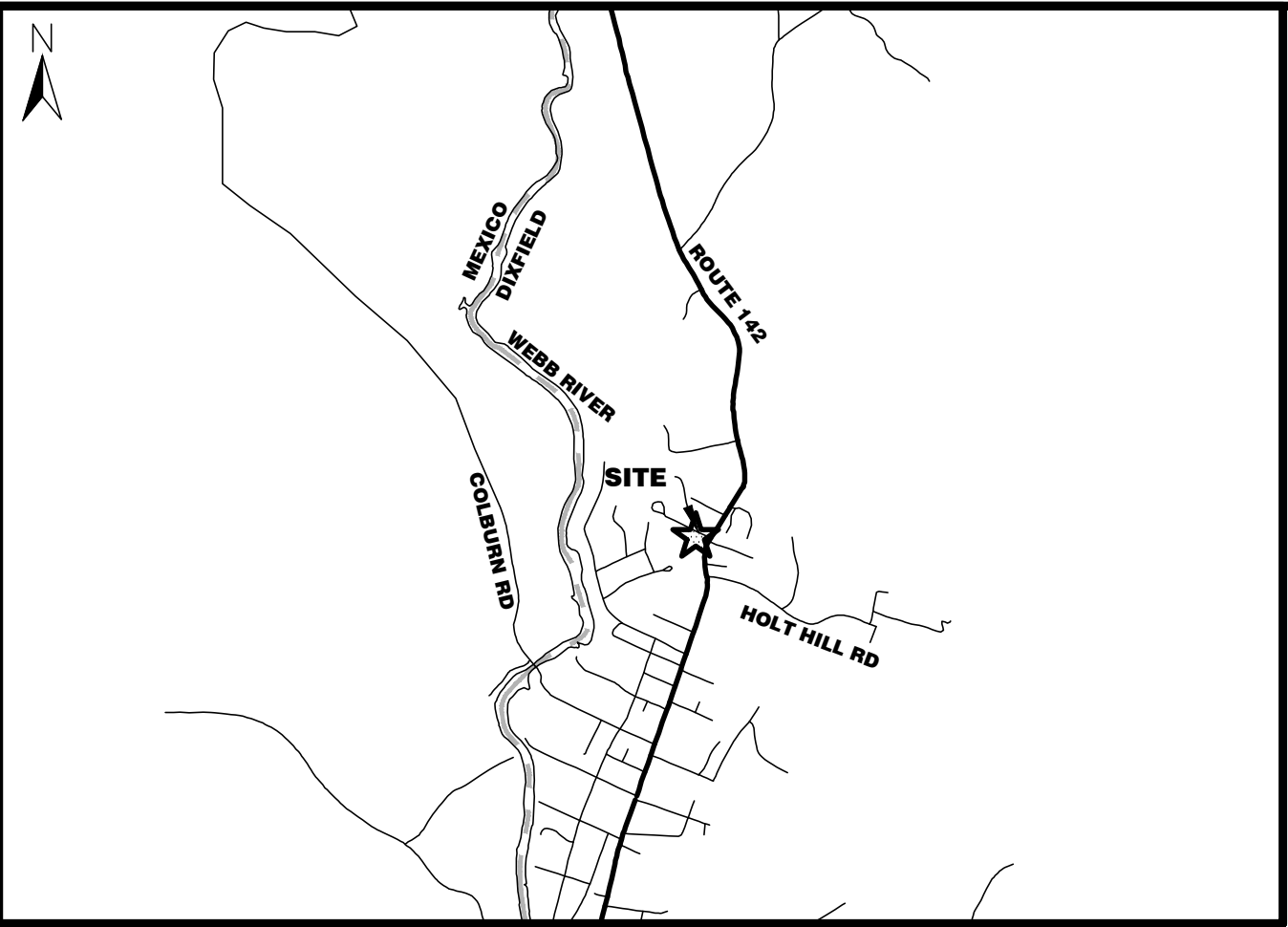
PROJECT: **RSU 56 BUS GARAGE**
DIXFIELD, ME
FOR:

SHEET TITLE:
DETAIL AT FOUNDATION STEMWALL

REVISIONS			
No.	BY	DESCRIPTION	DATE
△			
△			
△			
△			

DATE : 3/13/23
SCALE : NTS
DESIGN BY: ASW
DRAWN BY: ASW
FILE #:
PROJECT NUMBER:
22017
SHEET NO:
SK-1

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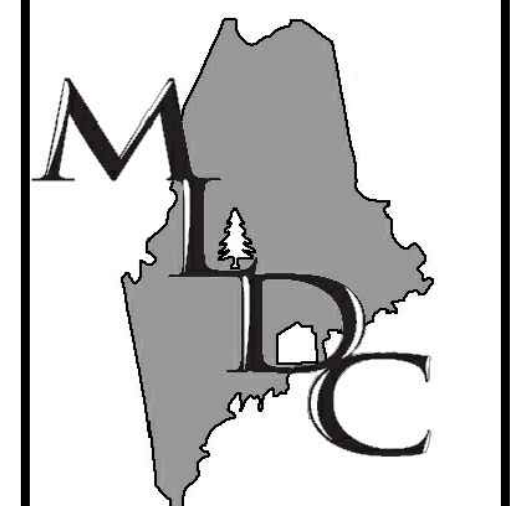
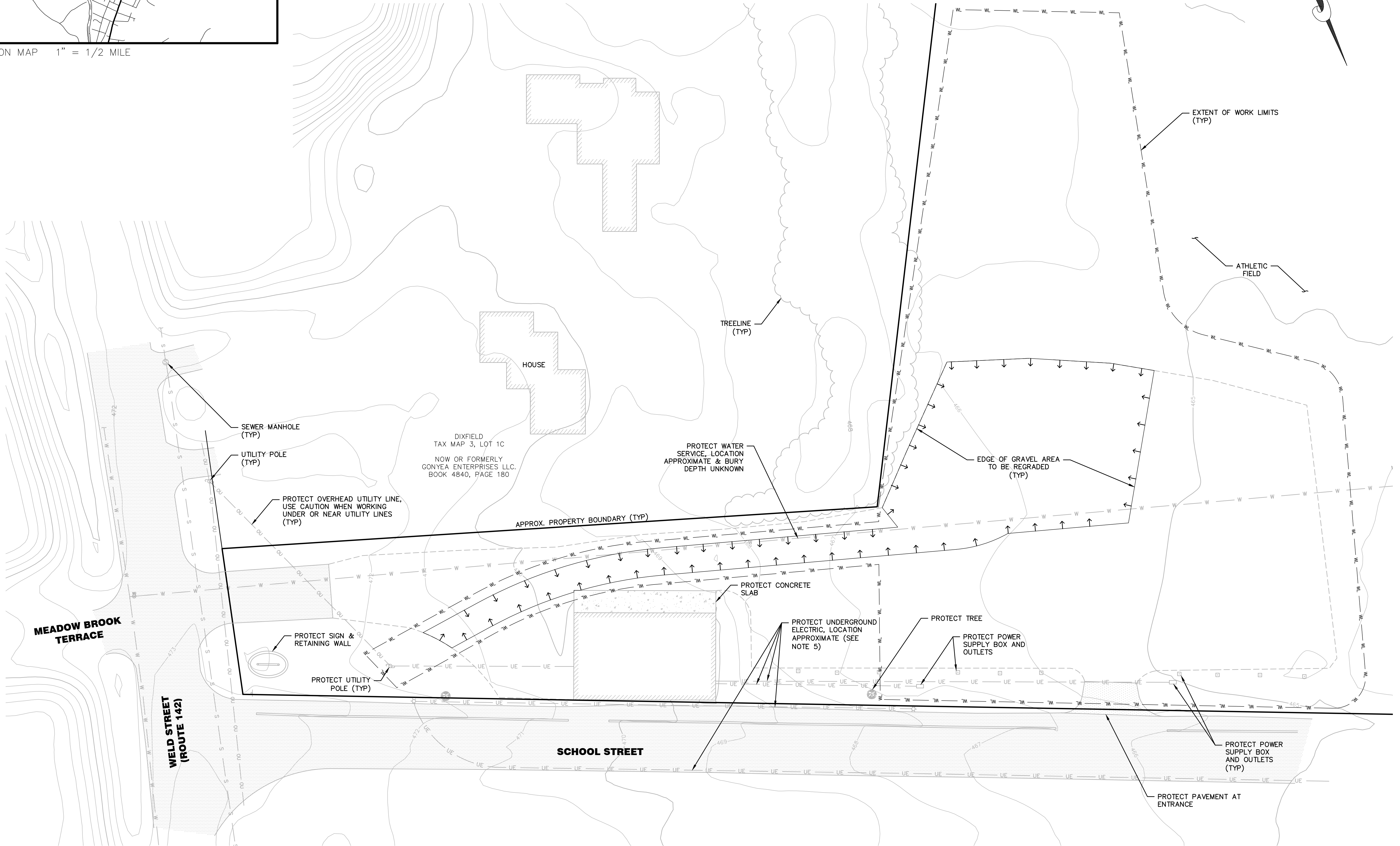
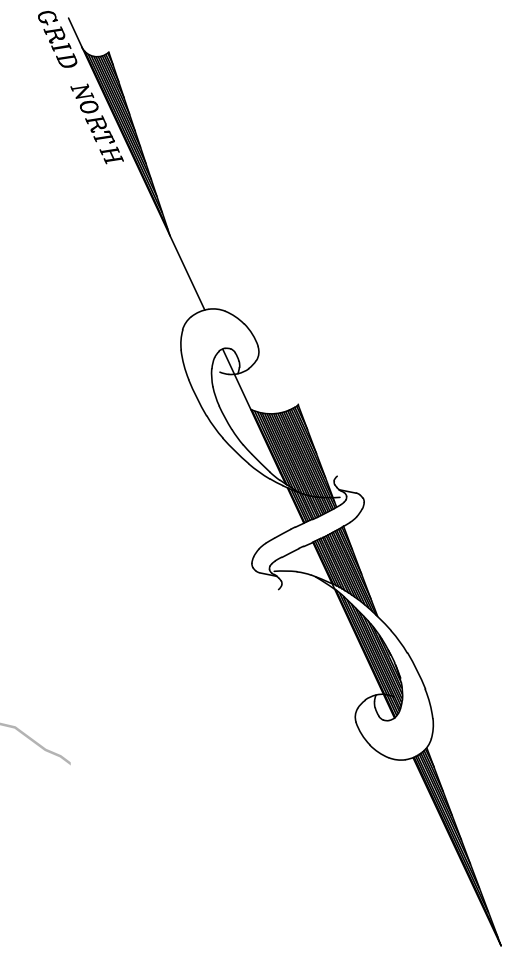
LOCATION MAP 1" = 1/2 MILE

NOTES

1. TOWN OF DIXFIELD: PORTION OF TAX MAP 3, LOT 1B.
2. OWNER OF RECORD AT TIME OF SURVEY: REGIONAL SCHOOL UNIT NO. 56: BOOK 5374, PAGE 381.
3. ALL BOOK AND PAGES REFER TO THE OXFORD COUNTY REGISTRY OF DEEDS.
4. CONTOURS SHOWN WITHIN DEVELOPED BUILDING AND GRAVEL AREAS ON SITE ARE BASED ON A TOPOGRAPHIC SURVEY COMPLETED BY MAIN-LAND DEVELOPMENT CONSULTANTS, INC ON FEBRUARY 2, 2022 WITH A CONTOUR INTERVAL OF 1-FOOT. CONTOURS SHOWN IN FIELD AREAS WERE DOWNLOADED FROM [HTTP://COAST.NOAA.GOV](http://COAST.NOAA.GOV) WITH A CONTOUR INTERVAL OF 1-FOOT. THE VERTICAL DATUM IS NAVD88 AND BASED ON GPS OBSERVATIONS NEAR THE SURVEYED PARCEL.
5. THE LOCATION OF UNDERGROUND UTILITIES WAS NOT PERFORMED AS PART OF THE SURVEY AND LOCATIONS OF UNDERGROUND WATER, SEWER AND ELECTRIC ARE ASSUMED AND APPROXIMATE. MAIN-LAND RECOMMENDS THE USE OF DIG SMART OR OTHER ENTITIES TO MARK ANY UNDERGROUND UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION.
6. BOUNDARY LINES ARE APPROXIMATE AND BASED ON TAX MAP PARCEL DATA.

LEGEND

	PROPERTY BOUNDARY LINE (APPROX.)		PAVED SURFACE
	ABUTTING BOUNDARY LINES (APPROX.)		CONCRETE SLAB
	MAJOR CONTOUR LINE		UTILITY POLE
	MINOR CONTOUR LINE		SEWER MANHOLE
	EDGE OF GRAVEL		LIGHT POLE
	OVERHEAD UTILITY		ELECTRICAL OUTLET
	UNDERGROUND ELECTRIC (APPROX.)		DECIDUOUS TREE
	SEWER LINE (APPROX.)		WATER GATE
	WATER MAIN (APPROX.)		
	EXTENT OF WORK LIMITS		



MAIN-LAND
DEVELOPMENT
CONSULTANTS, INC.

69 MAIN ST. LIVERMORE FALLS, MAINE
367 US ROUTE 1 FALMOUTH, MAINE
PH: (207) 897-6752 FAX: (207) 897-5404
WWW.MAIN-LANDDCI.COM

PROJECT

**RSU 56
BUS GARAGE**

145 WELD STREET
DIXFIELD, MAINE
OWNER OF RECORD

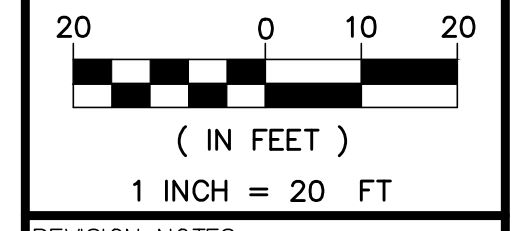
**REGIONAL SCHOOL
UNIT NO. 56**

33 NASH ST
DIXFIELD, ME 04224
MADE FOR

**REGIONAL SCHOOL
UNIT NO. 56**

C/O KENNY ROBBINS
145 WELD ST
DIXFIELD, ME 04224

DRAWING SCALE:



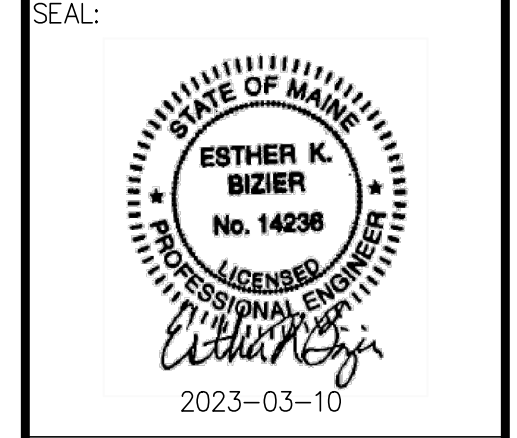
REVISION NOTES:
SUBMISSION 1: 2022-11-28 TLB FOR REVIEW.

SUBMISSION 2: 2023-02-27 TLB ISSUED FOR BID.

SUBMISSION 3: 2023-03-10 TLB ISSUED FOR BID. REVISED PROPOSED UNDERGROUND ELECTRIC LINE LOCATIONS.

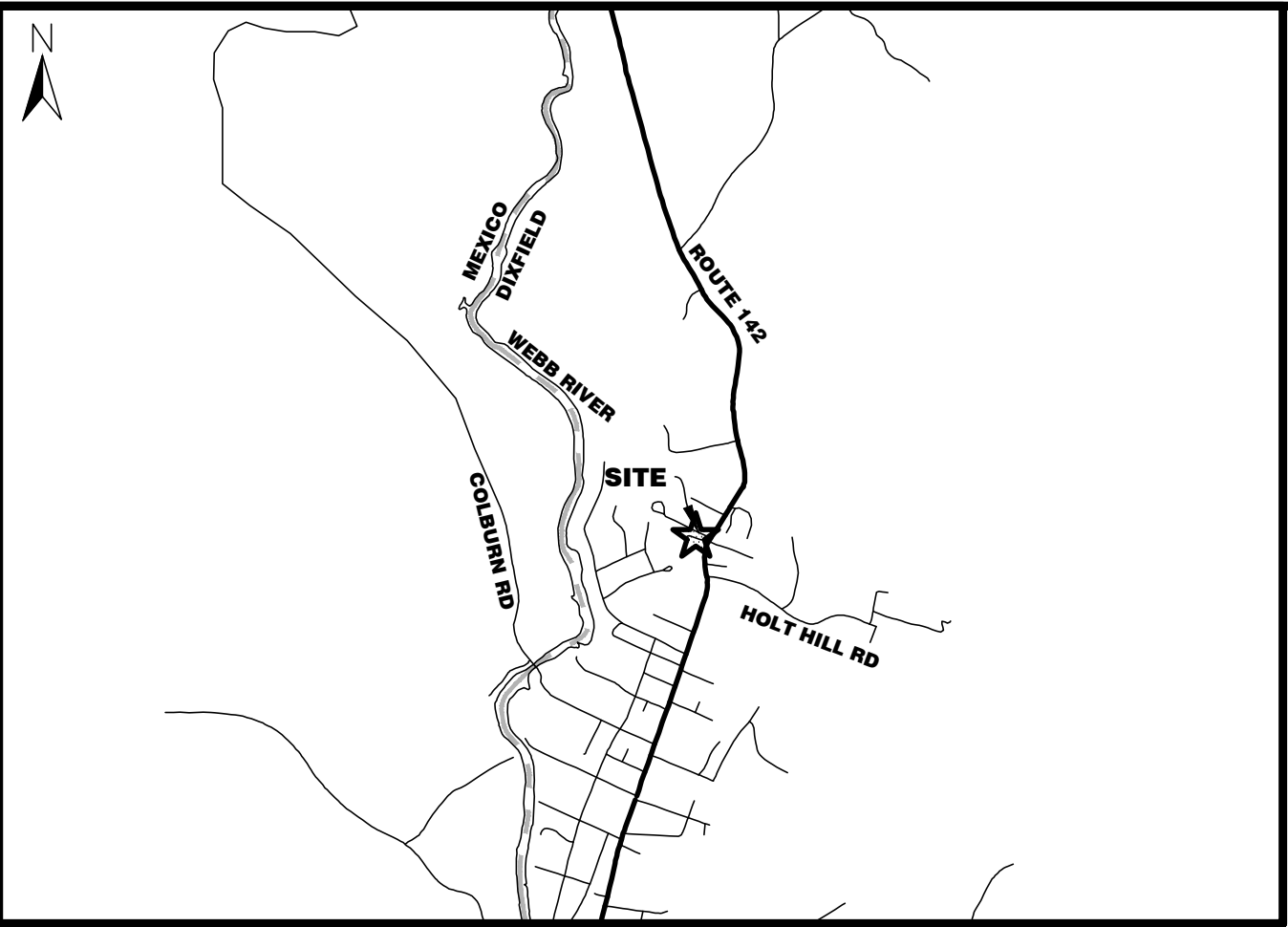
PROJ. MGR: EKB
DRAWN BY: TLB
CHECKED BY: EKB
SUBMISSION NO. 2
SURVEY DATE: 2022-02-02
SUBMISSION DATE: 2023-03-10
SUBMITTED FOR: BID

ISSUED FOR CONSTRUCTION
**EXISTING
CONDITIONS &
DEMOLITION PLAN**



ESTHER K. BIZIER ME PE#14238

DRAWING NO. **C1.1**



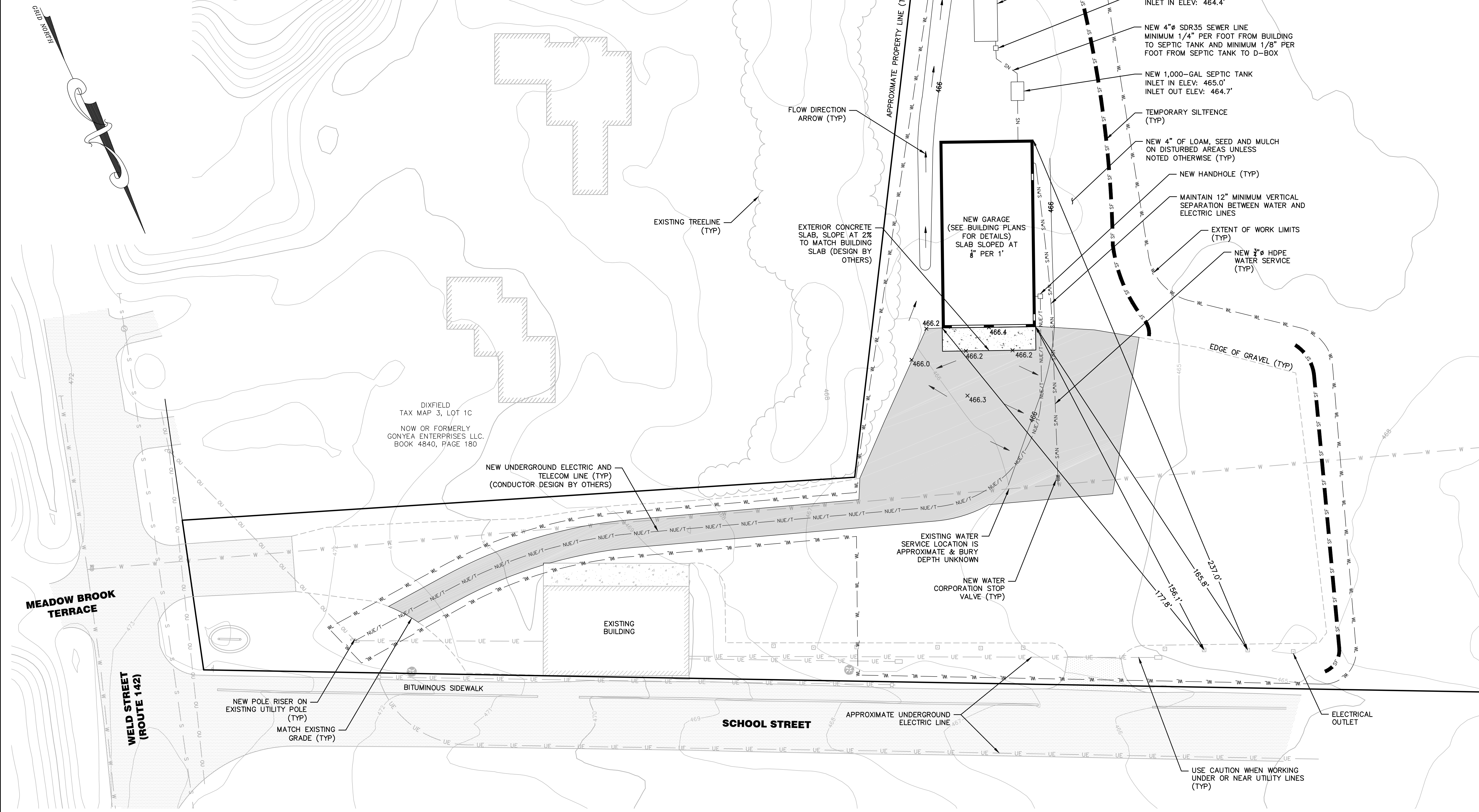
LOCATION MAP 1" = 1/2 MILE

NOTES

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5. THE LOCATION OF UNDERGROUND UTILITIES WAS NOT PERFORMED AS PART OF THIS SURVEY. UTILITY LOCATIONS SHOWN ARE APPROXIMATE AND BURY DEPTH IS UNKNOWN. MAIN-LAND RECOMMENDS THE USE OF DIGSMART OR OTHER ENTITIES TO MARK ANY UNDERGROUND UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION.
6. COORDINATE WATER SERVICE INSTALLATION WITH DIXFIELD WATER DEPARTMENT.
7. SURVEY FIELD WORK WAS PERFORMED BY MAIN-LAND UNDER SNOW COVER CONDITIONS. MAIN-LAND MAY ADJUST PLAN AND FINDINGS IF ADDITIONAL EVIDENCE BECOMES APPARENT.
8. BOUNDARY LINES ARE APPROXIMATE AND BASED ON TAX MAP PARCEL DATA.
9. NO PROPERTY BOUNDARY SETBACKS SHOWN PER DIRECTION OF TOWN OF DIXFIELD CODE ENFORCEMENT OFFICER.
10. CONTACT MAIN-LAND DEVELOPMENT CONSULTANTS FOR BUILDING LAYOUT PRIOR TO CONSTRUCTION.

LEGEND

- PROPERTY BOUNDARY LINE (APPROX.)
- ABUTTING BOUNDARY LINES (APPROX.)
- 490 — EXISTING MAJOR CONTOUR LINE
- 490 — EXISTING MINOR CONTOUR LINE
- 490 — PROPOSED MAJOR CONTOUR LINE
- 490 — PROPOSED MINOR CONTOUR LINE
- OU — EXISTING OVERHEAD UTILITY
- UE — EXISTING UNDERGROUND ELECTRIC
- S — EXISTING SEWER LINE
- W — EXISTING WATER MAIN
- NS — NEW SEWER LINE
- NWS — NEW WATER SERVICE LINE
- NUE/T — NEW UNDERGROUND ELECTRIC & TELECOM LINE
- SF — TEMPORARY SILT FENCE
- WL — EXTENT OF WORK LIMITS
- ▨ EXISTING PAVED SURFACE
- ▨ EXISTING CONCRETE SLAB
- ▨ PROPOSED CONCRETE SURFACE
- ▨ PROPOSED GRAVEL SURFACE
- FLOW ARROW
- ⊕ EXISTING UTILITY POLE
- ⊕ EXISTING SEWER MANHOLE
- ⊕ EXISTING LIGHT POLE
- ⊕ EXISTING ELECTRICAL OUTLET
- ⊕ DECIDUOUS TREE TO REMAIN
- ⊕ EXISTING WATER GATE
- ⊕ NEW CORPORATION STOP VALVE



MAIN-LAND
DEVELOPMENT
CONSULTANTS, INC.

69 MAIN ST. LIVERMORE FALLS, MAINE
367 US ROUTE 1 FALMOUTH, MAINE
PH: (207) 897-6732 FAX: (207) 897-5404
WWW.MAIN-LANDDCI.COM

PROJECT

**RSU 56
BUS GARAGE**

145 WELD STREET
DIXFIELD, MAINE

OWNER OF RECORD

**REGIONAL SCHOOL
UNIT NO. 56**

33 NASH ST
DIXFIELD, ME 04224

MADE FOR

**REGIONAL SCHOOL
UNIT NO. 56**

C/O KENNY ROBBINS
145 WELD ST
DIXFIELD, ME 04224

DRAWING SCALE:

20 0 10 20

(IN FEET)

1 INCH = 20 FT

SUBMISSION NOTES:

SUBMISSION 1: 2022-03-28 EKB
50% SUBMISSION IS FOR PRICING.

SUBMISSION 2: 2022-05-20 SDH
ISSUED FOR CLIENT REVIEW.

SUBMISSION 3: 2022-11-28 TLB
FOR REVIEW.

SUBMISSION 4: 2023-02-27 TLB
ISSUED FOR BID.

SUBMISSION 5: 2023-03-10 TLB
ISSUED FOR BID. REVISED PROPOSED
UNDERGROUND ELECTRIC LINE
LOCATIONS.

SUBMISSION 6: 2023-03-13 TLB
ISSUED FOR BID. UPDATED
UNDERGROUND ELECTRIC LINE TO
INCLUDE TELECOM.

PROJ. MGR: EKB
DRAWN BY: TLB
CHECKED BY: EKB
SUBMISSION NO. 6
SURVEY DATE: 2022-02-02
SUBMISSION DATE: 2023-03-13
SUBMITTED FOR: BID

ISSUED FOR CONSTRUCTION

**SITE
PLAN**

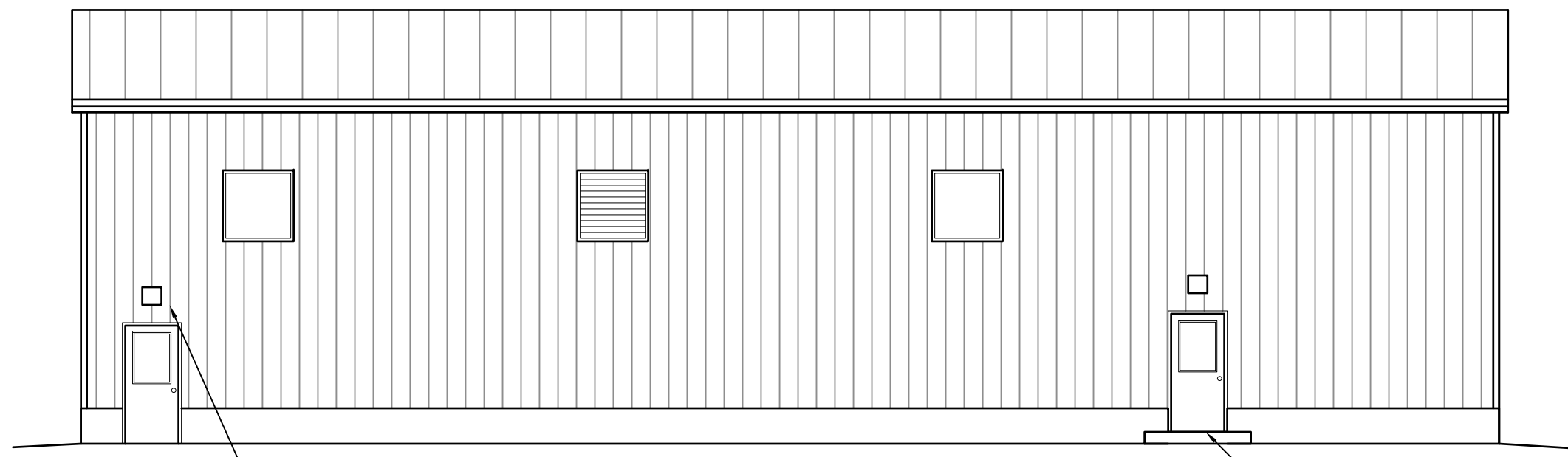
SEAL:

ESTHER K. BIZIER ME PE#14236

DRAWING NO.

C2.1

MLDC NO. 22-018 2 OF 5

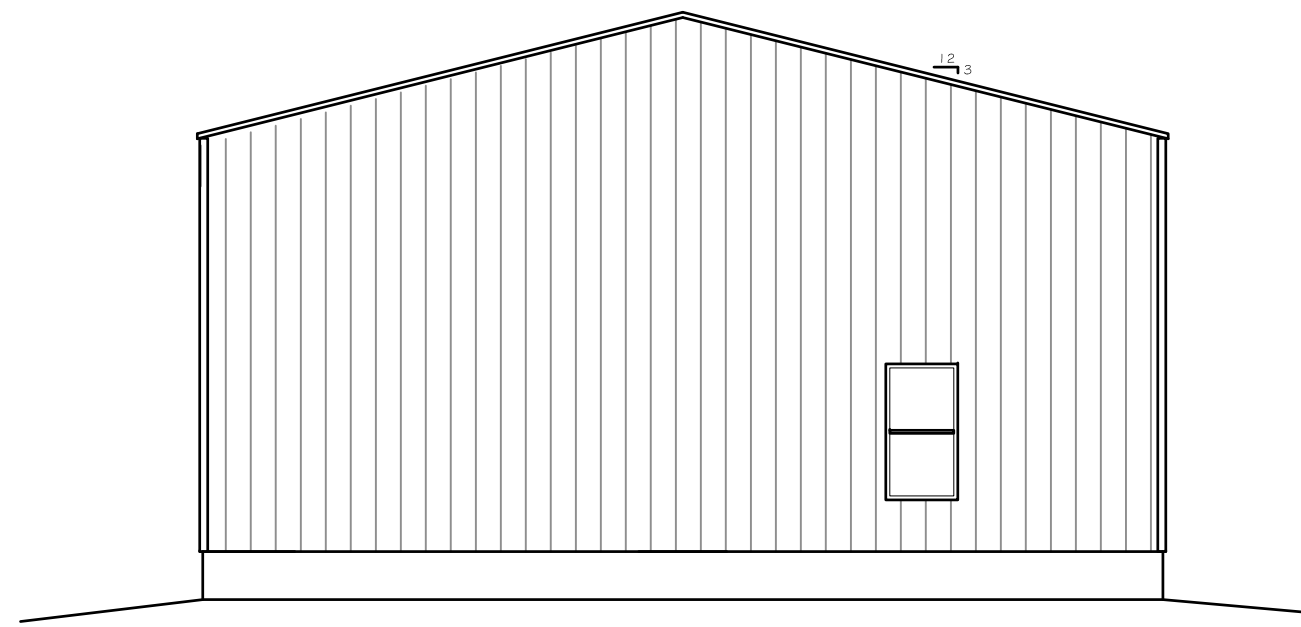


EXTERIOR WALL PACKS ABOVE ALL MAN DOORS AND OVERHEAD DOORS TO BE 90 WATT LED FULL CUTOFF 4000K W/ PHOTOCELL BY WARELIGHT MODEL WLFC. MOUNT 12" ABOVE DOOR HEAD.

NOTE DOOR IS RAISED TO ACCOUNT FOR INCREASING SLAB FITCH

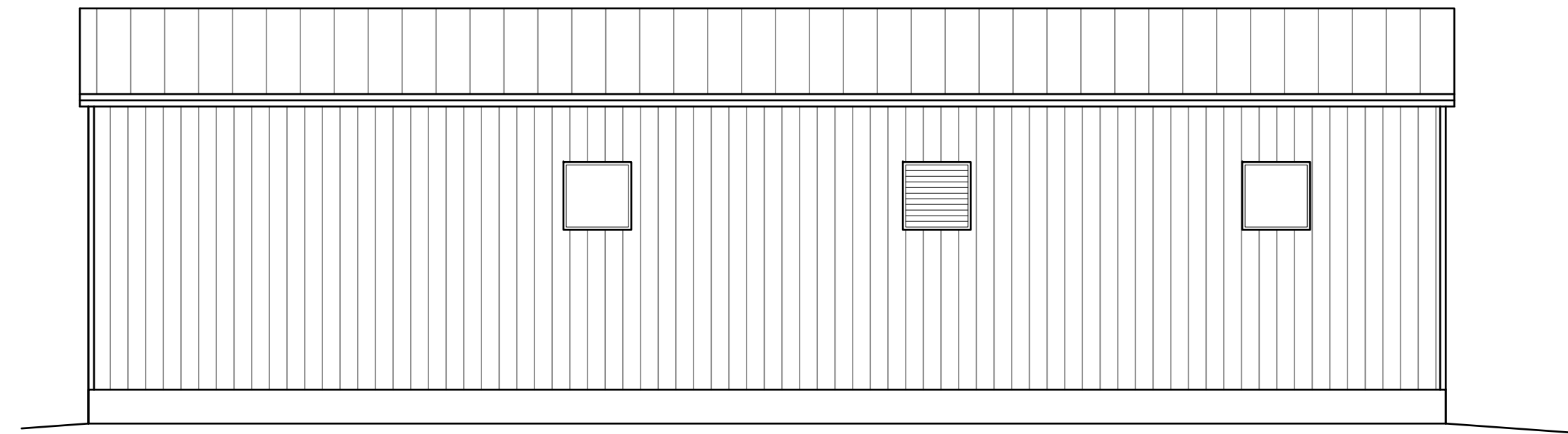
B3 RIGHT SIDE (WEST) ELEVATION

SCALE: 1/8" = 1'-0"



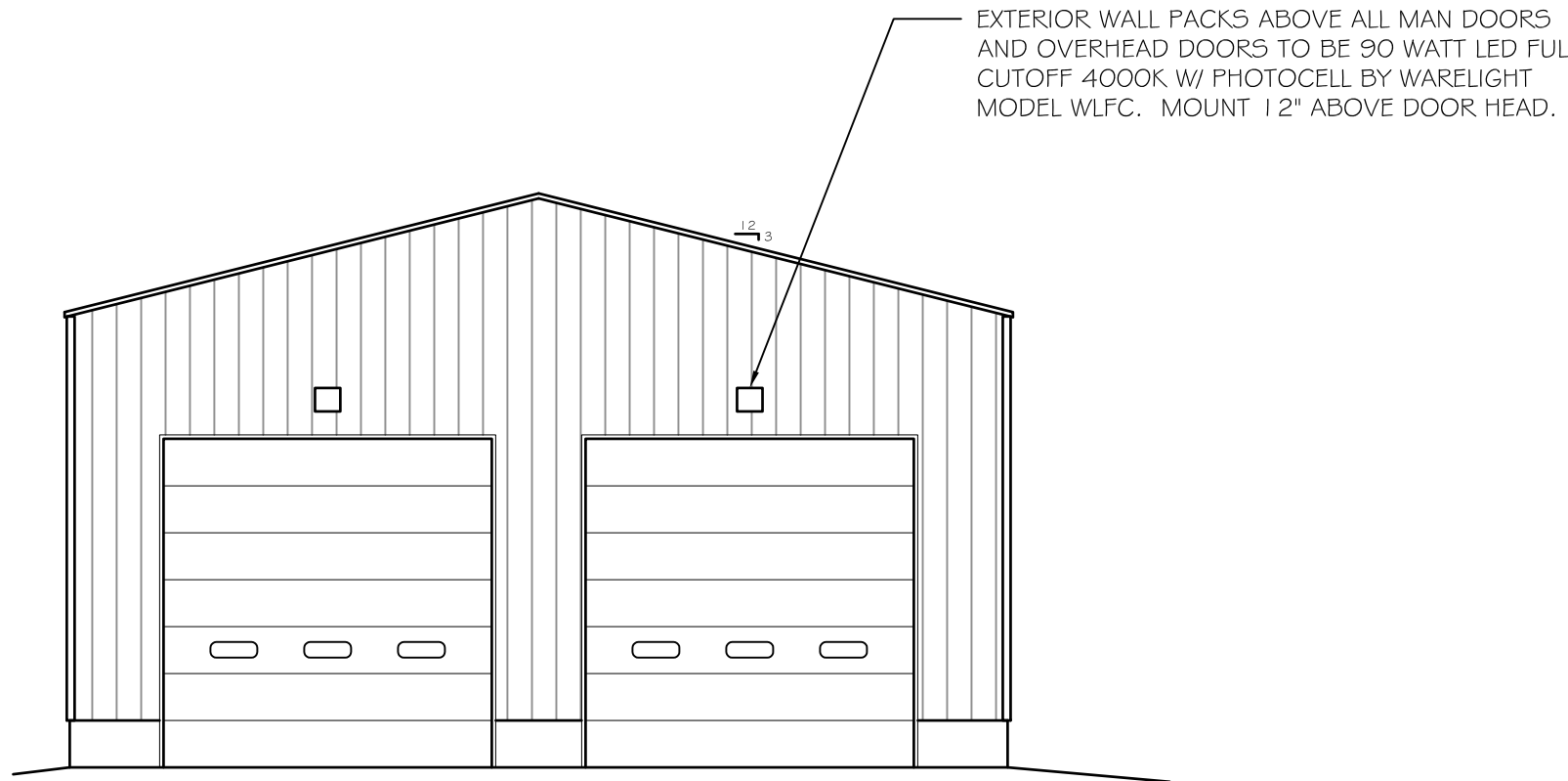
C2 REAR (SOUTH) ELEVATION

SCALE: 1/8" = 1'-0"



B3 LEFT SIDE (EAST) ELEVATION

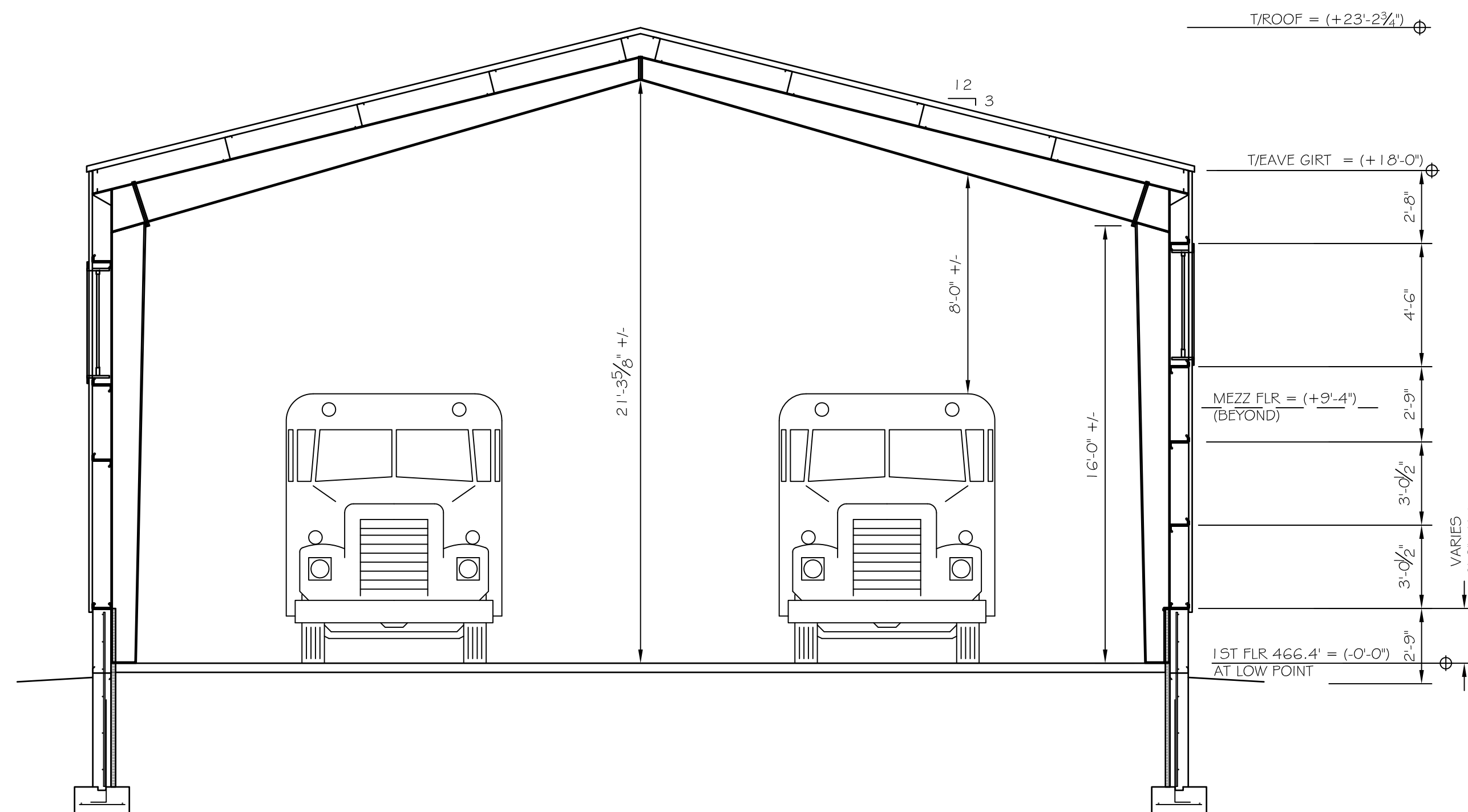
SCALE: 1/8" = 1'-0"



EXTERIOR WALL PACKS ABOVE ALL MAN DOORS AND OVERHEAD DOORS TO BE 90 WATT LED FULL CUTOFF 4000K W/ PHOTOCELL BY WARELIGHT MODEL WLFC. MOUNT 12" ABOVE DOOR HEAD.

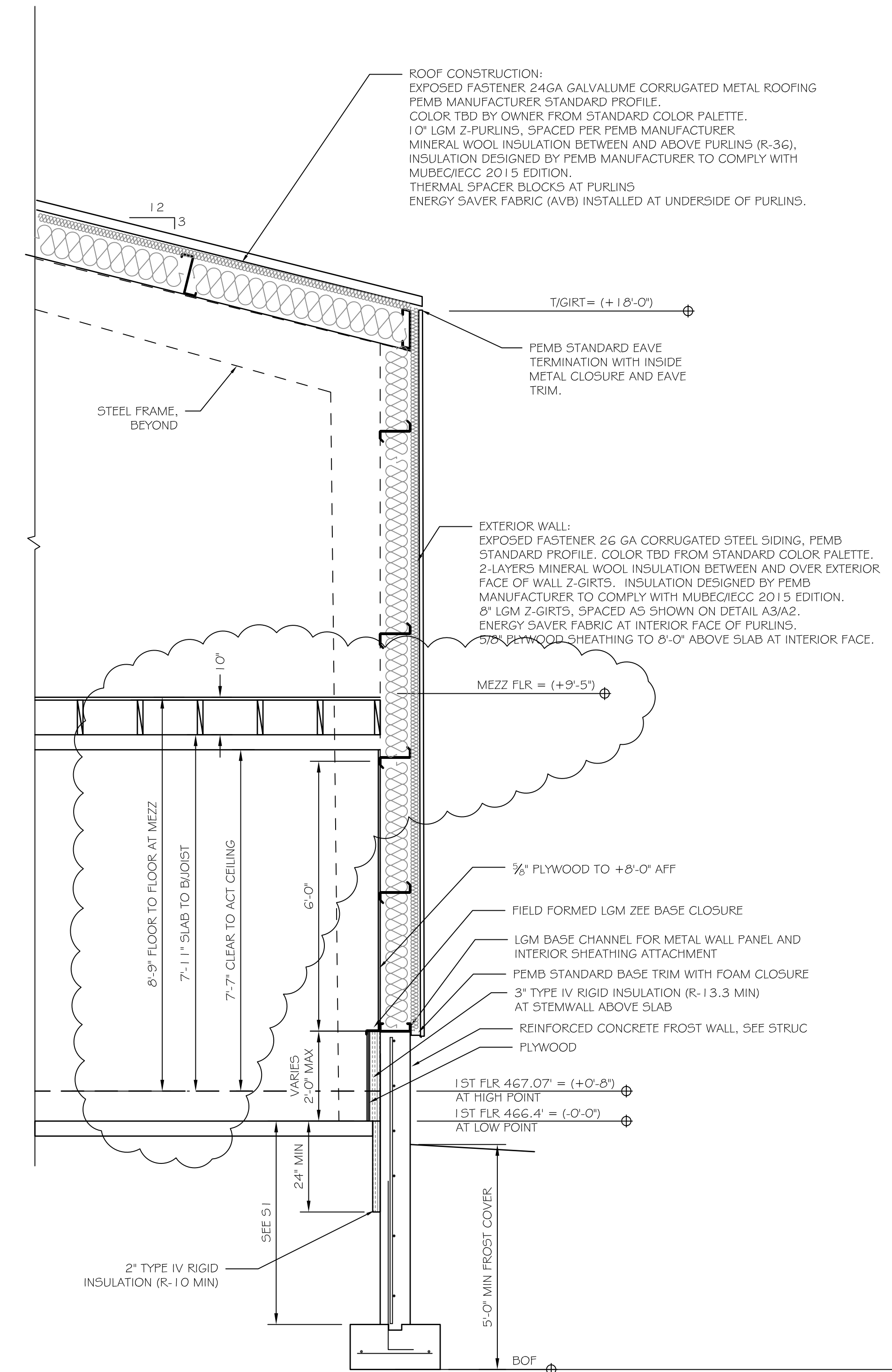
B2 FRONT (NORTH) ELEVATION

SCALE: 1/8" = 1'-0"



A3 BUILDING SECTION

SCALE: 1/4" = 1'-0"



A1 WALL SECTION AT MEZZANINE

SCALE: 1/2" = 1'-0"

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PROJECT: RSU 56 BUS GARAGE
DIXFIELD, ME.
FOR:

SHEET TITLE:
SECTIONS AND ELEVATIONS
ISSUED FOR FINAL REVIEW

NO.	BY	DESCRIPTION	DATE
1	ASW	REVISED FOR ADMIN #2	3/13/23

DATE : 2/13/23
SCALE : AS NOTED
DESIGN BY: ASW
DRAWN BY: RSC
FILE #:
PROJECT NUMBER:
22017
SHEET NO:
A2