

FROM: AMHI Center Building Storage Addendum 2
TO: Prospective Bidders, Suppliers, and Other Parties
RE: Addendum No. **2 (Two)** to the Bidding Documents

This Addendum forms a part of the Contract Documents and modifies the original Bidding Documents dated September 27, 2021. Acknowledge receipt of this Addendum in the space provided on the Proposal Form. Failure to do so may subject Bidder to disqualification.

GENERAL:

- 1.

CONTRACTOR QUESTIONS/RESPONSES:

1. See Attached Question & Response Table

PLANS:

1. **SHEET G-000**– **ADDED** sheet SF-400 – STRUCTURAL-ENLARGED FRAMING PLAN AND DETAILS
2. **SHEET AD1.13**– **MOVED** Overhead door moved 16” west
3. **SHEET A1.13** – **MOVED** Overhead door moved 16” west
4. **SHEET A2.13**– **MOVED** Overhead door moved 16” west
5. **SHEET S-000** – **ADJUSTED** limit of AREA-B loading
6. **SHEET SF-100** – **ADJUSTED** Limit of tractor travel, **ADDED** enlarged plan D6/SF-400
7. **SHEET SF-110** – **REPLACED** Note 1 of the ROOF AND EXTERIOR FAÇADE CONDITIONS
8. **SHEET SF-200** – **REPLACED** Note 1 of the ROOF AND EXTERIOR FAÇADE CONDITIONS
9. **SHEET SF-201** – **REPLACED** Note 1 of the ROOF AND EXTERIOR FAÇADE CONDITIONS
10. **SHEET SF-400** – **ADDED** Sheet in its entirety

SPECIFICATIONS:

1. Section 230993 – Instrumentation and Control for HVAC: **DELETE** paragraph 2.4 A in its entirety. **ADD** in its place the following:

“ A. Qualified Bidders: System shall be as manufactured, installed and serviced by:
 1. Honeywell
 2. Maine Controls - Schneider Electric
 3. Johnson Controls, Inc.
 4. Siemens
 5. Trane
 6. Basix Automation Integrators
 7. Approved bidders. Bids from other vendors, franchised dealers, manufacturer's representatives, or from contractors who are authorized to represent the above-named manufacturers must be pre-approved.”

ATTACHMENTS:

- A. Addendum Summary Document (2 Page)
- B. Questions/Response Table (1 Page)
- C. Plan Sheets and Sketches (10 Pages)
- D. Specifications & Attachments (0 Pages)

Total Page Count 13 Pages

AMHI Center Building Storage, Augusta ME

ADDENDUM 01 - 10.21.2021

Question #	Contractor/Vendor	Sheet	Plan/Spec	Question	AEI Team Response/Resolution
					1/19/2021
1	Blaine Casey Building Contractor, Inc.			Slate specifications call for Snow Guards but I don't see anything referencing snow guards on the roof plans. Are they required?	AEI: Snow rails/guards are not a part of contract. Disregard any reference to snow rails/guards.
2	Blaine Casey Building Contractor, Inc.			The plans have 2" Closed-Cell Foam against the existing masonry exterior walls. This configuration is not recommended unless a drainage plane can be created at the exterior. I did not see enough detail provided to know if there is a drainage plane at the exterior or not. Can you provide any more information?	The exterior walls are solid masonry walls consisting of exterior courses of brick and an int course of concrete block. It is not a brick veneer incorporating and air cavity. In speaking technical representatives of Johns Manville, it is understood that the use of their JM Corbor IV would be acceptable for this condition. Please note that we have learned that the Certainteed CertaSpray referenced within specification section 07 21 40 has been discontinued. The basis of design shall now be the Johns Manville Corbond IV as refereno above. The Physical and Mechanical Properties shall remain as noted within 07 21 40-2.2. Equal applicable products will be considered.

END ADDENDUM 1 QUESTIONS

ADDENDUM 02 - 10.27.2021

3	PC Construction			1. The notice to contractors states that the following "The work to be performed under this contract shall be completed on or before the Final Completion date of March 25, 2022. However, to complete interior work, the roof system work at all levels, including the EPDM wall/flashing modifications at windows must be made watertight, requiring completion of this portion of the work on or before December 15, 2021." The specifications only state a final project completion date of June 15 th 2022. Please advise which dates will be used for this contract.	AEI: a revised Notification was issued with Addendum 1 showing the correct dates for completion expectations of BGS for this building. Bids due th 3rd Nov 2021, Award anticipated 4th Nov 2021, contract finalized by 8th Nov 2021. Roof work completed by December 15, 2021, contract complete March 25, 2022.
4	PC Construction			Please confirm that the Bid Bond should be addressed to the Bureau of General Services?	AEI: that is correct.
5	PC Construction			Please confirm the Contractor is responsible to provide builder's risk insurance for the Work itself?	AEI: that is correct.
6	PC Construction			Please confirm that the Owner will maintain property insurance on the existing State-owned buildings and that Owner shall be responsible for all deductibles associated with losses to the existing State-owned buildings?	AEI: that is correct.
7	PC Construction			Please note section E1 on Drawing SF-500. Please provide a TOC or TOS elevation for both the lower and first floor level. [PED]	AEI: Basement slab to first floor slab = ~ 8'-6".
8	PC Construction			Please note Allowance item 1: Replace Wood Trim and Siding at Dormers Noted on Contract Documents (Masonry note 1, Sheet SF-110, SF-200 and SF-201). This allowance is listed on the bid form as a Lump Sum Unit, with a quantity of one. The drawings as noted in the allowance item, shade the areas of work where the allowance shall be applied, however they lack sufficient detail needed to accurately price the work that is required to be performed: dimensions, siding & trim materials, details, etc. To make the bid comparison's accurate, we feel that the Owner and A/E should provide an allowance amount for this bid item, which would be carried by all the bidders. The same consideration could be applied to each of the lump sum allowances (numbers 3 and 5).	AEI: See Sheets SF-200 and SF-201 for revised Note 1 of the ROOF AND EXTERIOR FAÇADE CONDITIONS.
9	PC Construction			Please note drawings A3.01, A3.02, SF -200 and SF-201. To accurately determine means and methods to access the exterior of the building, the levels of each floor would be helpful. Please provide elevations for each of the floor levels of the building.	AEI: Basement level ~ (-)8'-6", First Floor Level ~ 0'-0", Second Flr level / low roof ~ 12' cave height at upper roof ~ 37'-0" above 1st floor level. Contractor is required to field veri these elevations.
10	Blaine Casey Construction			The Architectural plans provided do not include any cross sections of the areas to be renovated or any elevations marked with floor/wall heights other than for the Loading Dock area as shown at E5/A303. Are all of the wall heights in the areas to be renovated similar to what is shown there (13'-1½" Floor to Floor). The only cross section I could see in the Structural Plans was at E1/SF-500. This detail shows a height from 1st Floor slab to the bottom of the 2nd Floor fluted slab above of 8'. Please provide more details regarding the wall heights.	CWS: For pricing purposes, the finish floor to underside of deck height within the northern half of the overall plan is 12'-6". The finish floor to underside of deck height within the southern half of the overall plan is 13'-8".

END ADDENDUM 2 QUESTIONS

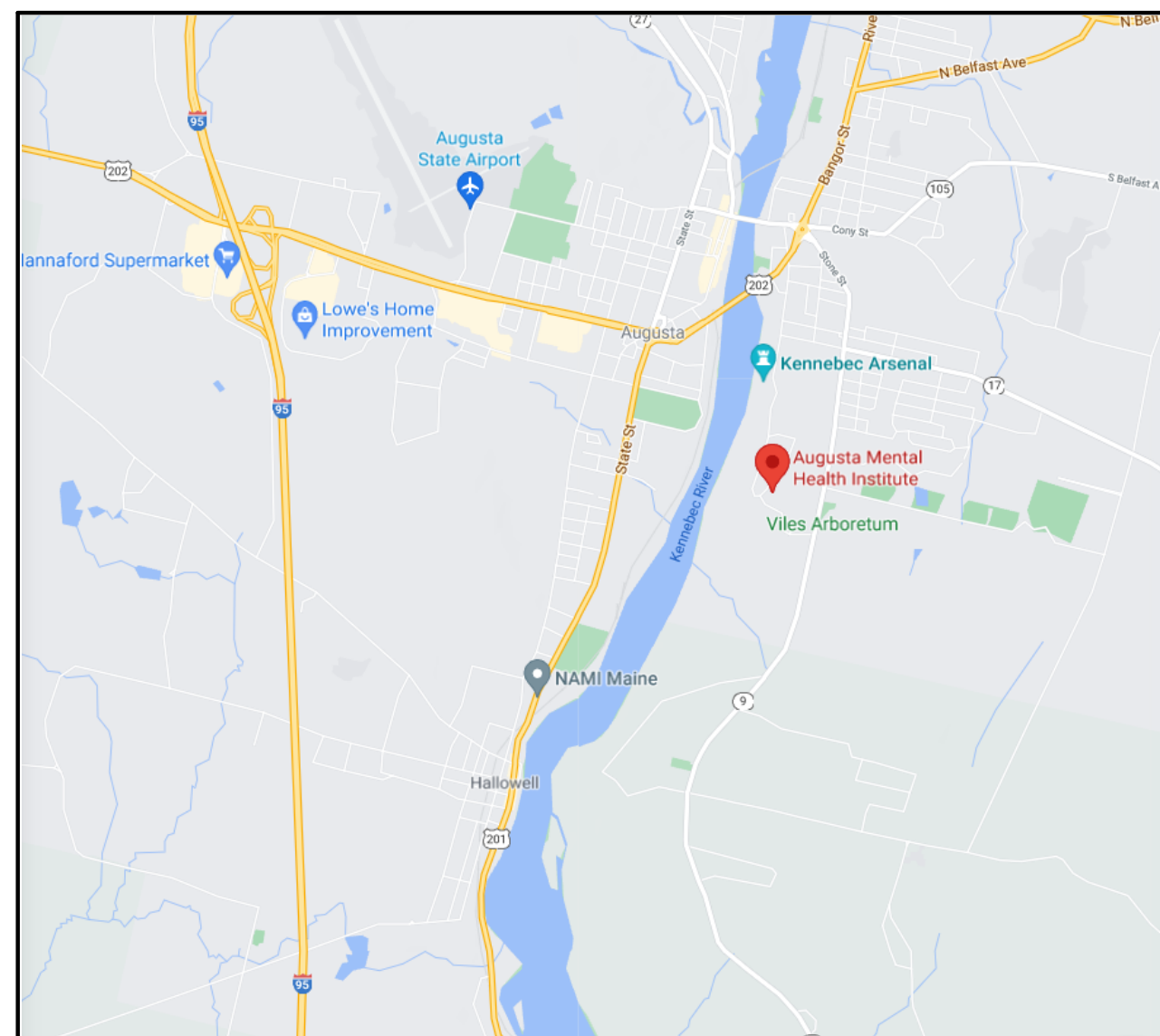
CENTER BUILDING - RENOVATION FOR TEMPORARY STORAGE

AMHI FACILITY

BUREAU of REAL ESTATE MANAGEMENT

AUGUSTA, ME

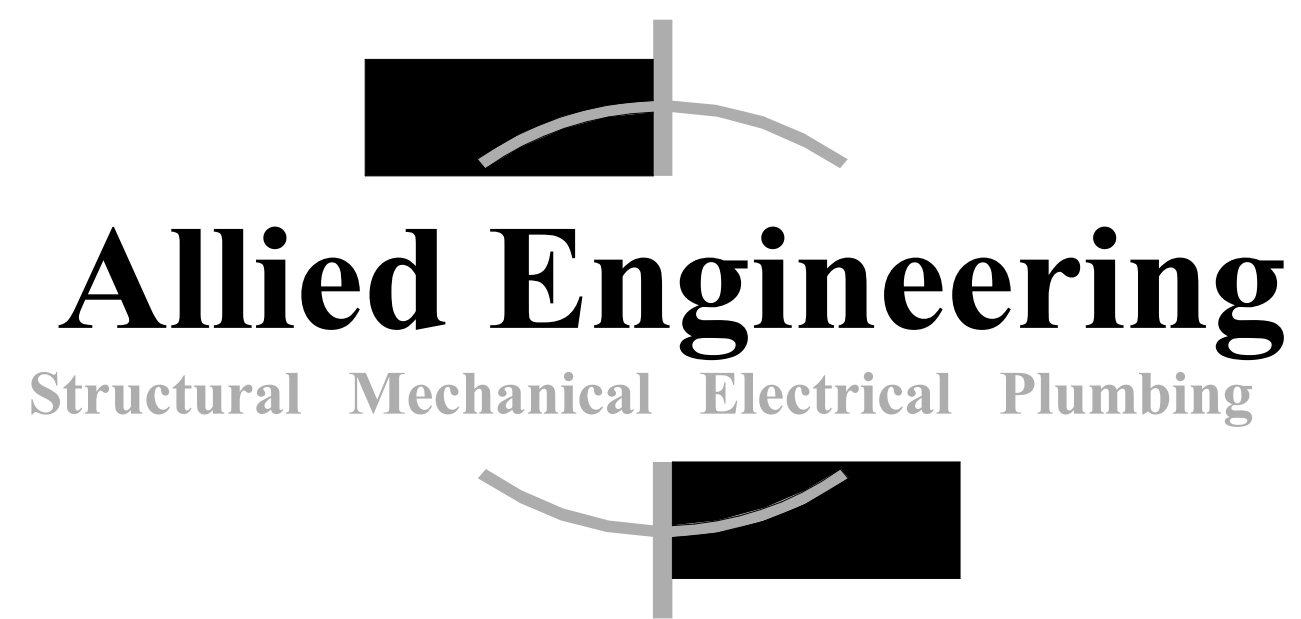
ALLIED PROJECT #21050



LOCATION MAP

ISSUED FOR BID ~ 09/27/21
~ NOT FOR CONSTRUCTION

DRAWINGS		ISSUE		DATE	
		DESCRIPTION	DATE	DESCRIPTION	DATE
SHEET No.	SHEET TITLE				
G-000	COVER SHEET				
A0.01	NOTES & LEGENDS				
LS1.00	CODE SUMMARY				
LS1.01	CODE SUMMARY				
LS1.10	LIFE SAFETY PLAN				
AD1.10	OVERALL FIRST FLOOR REMOVALS FLOOR PLAN				
AD1.11	ENLARGED REMOVALS PLAN - NORTH				
AD1.12	ENLARGED REMOVALS PLAN - SOUTH				
AD1.13	ENLARGED REMOVALS PLAN - SOUTH				
A1.10	OVERALL FIRST FLOOR PLAN				
A1.11	ENLARGED FLOOR PLAN - NORTH				
A1.12	ENLARGED FLOOR PLAN - SOUTH				
A1.13	ENLARGED FLOOR PLAN - SOUTH				
A2.10	OVERALL FIRST FLOOR REFLECTED CEILING PLAN				
A2.11	ENLARGED REFLECTED CEILING PLAN - NORTH				
A2.12	ENLARGED REFLECTED CEILING PLAN - SOUTH				
A2.13	ENLARGED REFLECTED CEILING PLAN - SOUTH				
A3.01	ELEVATIONS				
A3.02	ELEVATIONS				
A3.03	ELEVATIONS				
A7.01	DETAILS				
A8.01	DOOR AND DOOR FRAME SCHEDULE, ELEVATIONS AND DETAILS				
A8.20	WINDOW SCHEDULE, ELEVATIONS AND DETAILS				
A9.00	INTERIOR FINISH LEGEND AND SCHEDULE				
S-000	STRUCTURAL - GENERAL INFORMATION				
SD-100	STRUCTURAL - FIRST FLOOR FRAMING DEMOLITION PLAN				
SD-101	STRUCTURAL - ROOF FRAMING DEMOLITION PLAN				
SF-100	STRUCTURAL - FRAMING PLAN				
SF-101	STRUCTURAL - ROOF FRAMING PLAN				
SF-110	ROOF PLAN				
SF-200	EXTERIOR ELEVATIONS				
SF-201	EXTERIOR ELEVATIONS				
SF-400	STRUCTURAL - ENLARGED FRAMING PLAN AND DETAILS				
SF-500	STRUCTURAL - DETAILS				
FP-100	FIRE PROTECTION FIRST FLOOR PLAN				
P-000	PLUMBING AND HVAC NOTES, LEGEND AND ABBREVIATIONS				
PL-100	PLUMBING BASEMENT PLAN				
PL-101	PLUMBING FIRST FLOOR PLAN				
MD-100	MECHANICAL DEMOLITION BASEMENT PLAN AND MECHANICAL PLAN				
MD-101	MECHANICAL DEMOLITION FIRST FLOOR PLAN				
MH-100	MECHANICAL FIRST FLOOR PLAN				
MH-500	MECHANICAL DETAILS AND NOTES				
MH-600	MECHANICAL SCHEDULES				
E-000	ELECTRICAL LEGEND				
E-001	ELECTRICAL NOTES AND LEGEND				
E-600	ELECTRICAL SCHEDULES AND DETAILS				
E-601	ELECTRICAL SCHEDULES				
ED-110	ELECTRICAL DEMO PLAN				
EL-110	FIRST FLOOR LIGHTING PLAN				
EP-100	BASEMENT ELECTRICAL PART PLAN				
EP-110	FIRST FLOOR POWER PLAN				
EP-120	ELECTRICAL ROOF PLAN				
EY-110	FIRST FLOOR SYSTEMS PLAN				



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CWS ARCHITECTURE +
 INTERIOR DESIGN

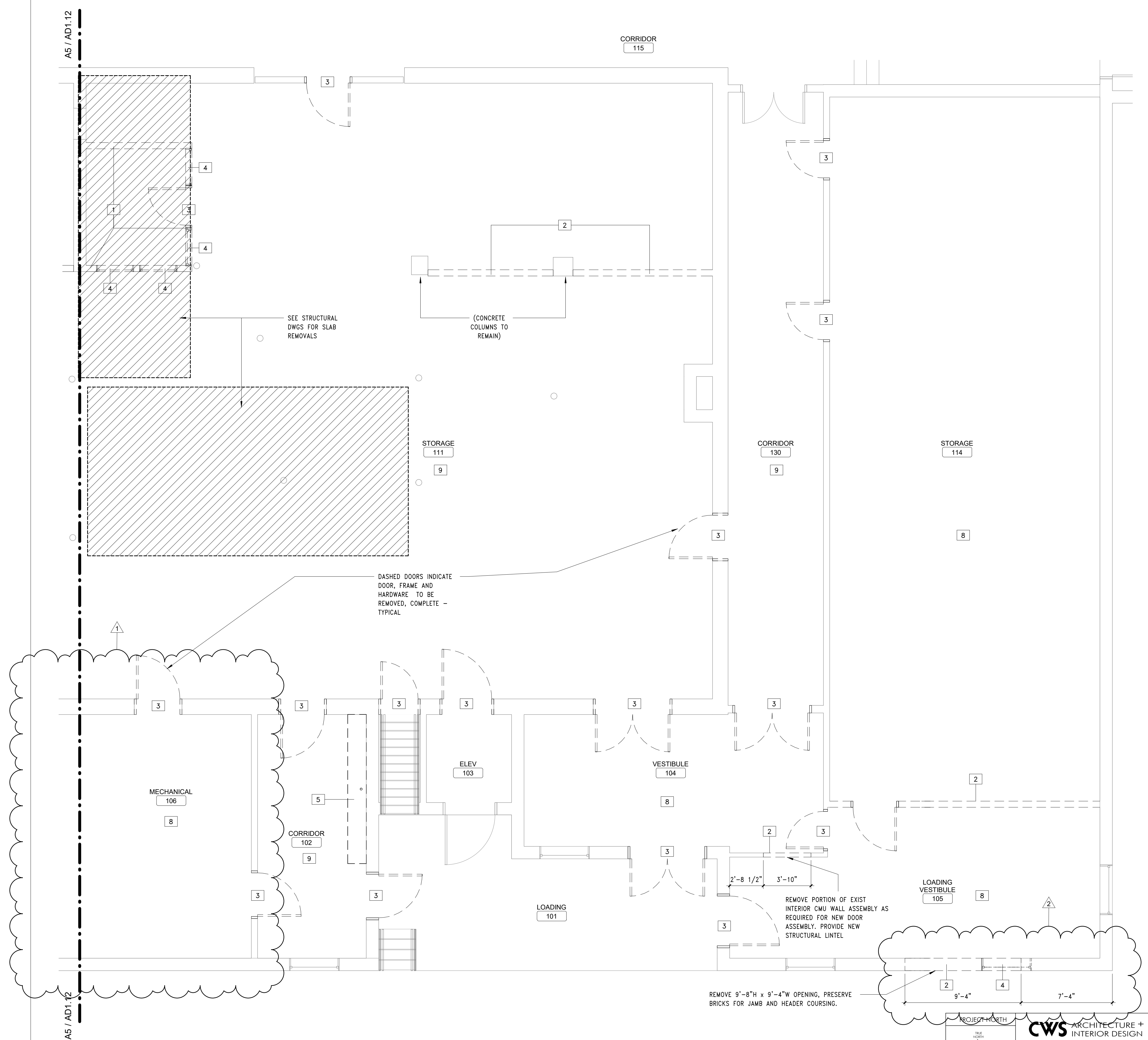
C:\Users\Kegan.Carmichael\Documents\AMHI - Center Building Renovation\CWS Model_KCarmichael\FRZ.rvt

FLOOR PLAN REMOVALS

- DEMOLITION NOTES:
- 1 REMOVE GWB WALL ASSEMBLY, COMPLETE.
 - 2 REMOVE PORTION OF MASONRY WALL ASSEMBLY, FULL HEIGHT, TO THE EXTENTS INDICATED ON FLOOR PLAN.
 - 3 REMOVE DOOR AND DOOR FRAME ASSEMBLY, COMPLETE.
 - 4 REMOVE WINDOW AND WINDOW FRAME ASSEMBLY, COMPLETE.
 - 5 REMOVE PLUMBING FIXTURE. CAP PIPING WITHIN WALL/FLOOR ASSEMBLY. REFERENCE PLUMBING DOCUMENTS FOR MORE INFORMATION.
 - 6 REMOVE FLOOR FINISHES AND WALL BASE TO EXTENTS INDICATED ON PLAN. PREPARE CONCRETE SLAB FOR NEW FLOORING SYSTEM PER FLOOR FINISH MANUFACTURER'S RECOMMENDATIONS.
 - PROVIDE SANDING AND/OR SAND BLASTING AS RECOMMENDED BY FLOOR FINISH MANUFACTURER.
 - REFERENCE ROOM FINISH SCHEDULE & FLOOR FINISH PLAN FOR MORE INFORMATION.
 - PROVIDE LEVELING COMPOUND AND/OR PATCHING MATERIAL AS REQUIRED.

CEILING REMOVALS

- 7 REMOVE EXISTING GWB CEILING SUSPENSION GRID
- 8 REMOVE EXISTING SUSPENDED WOOD FRAMED CEILING SYSTEM AND INSULATION, COMPLETE WITHIN ENTIRE SPACE. INCLUDE REMOVALS OF INSULATED PANELS.
- 9 REMOVE EXISTING CEILING GRID



A5 MUSEUM REMOVALS PLAN - AREA B
 REFERENCED FROM AD1.10 SCALE: 1/4" = 1'-0"

CWS ARCHITECTURE + INTERIOR DESIGN
 264 US ROUTE ONE, SUITE 100-2A
 SCARBOROUGH, ME 04074
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 CWSARCH.COM

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 Structural Mechanical Electrical Plumbing

REVISIONS

No.	DATE	BY	DESCRIPTION
2	10/27/2021		ADDENDUM #2
1	10/27/2021		ADDENDUM #1

Date: -
 Drawn By: CWS
 Checked By: CWS
 Project Mgr: CWS
 Project No: 21015
 Cad File:
 Graphic Scale: 0" = 1"
 No. 1

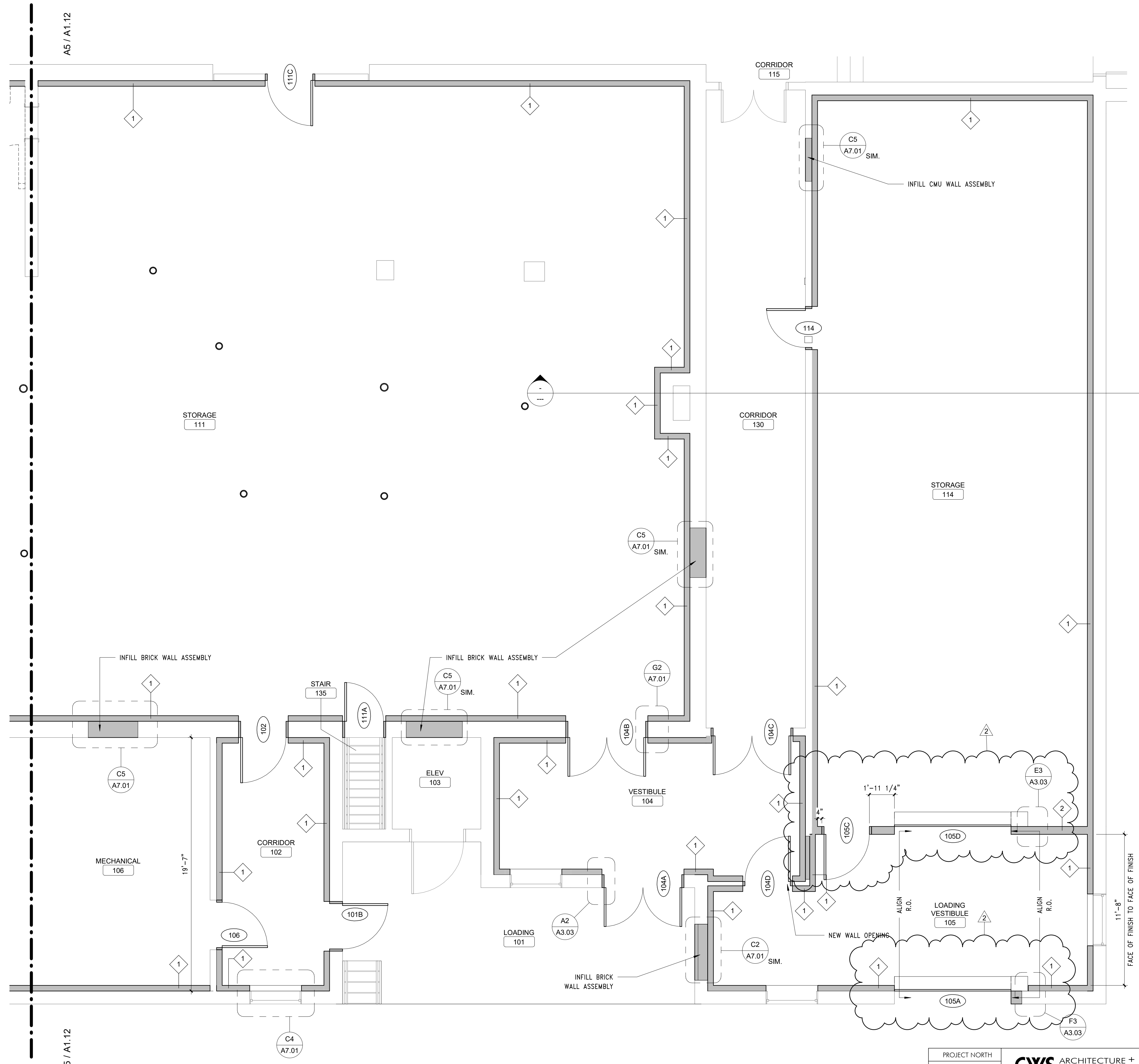
ENLARGED REMOVALS PLAN - SOUTH
 AMHI STONE BUILDING MUSEUM STORAGE
 AUGUSTA, ME
 (C) COPYRIGHT 2021 ALLIED ENGINEERING, INC.

AD1.13

ISSUED FOR BID ~ 10/19/21 ~ NOT FOR CONSTRUCTION

INTERIOR PARTITIONS:
REF. WALL TYPE LEGEND ON A0.01

INFILL WALLS:
INFILL WALL ASSEMBLIES AS NOTED, FINISH SHALL MATCH EXISTING ADJACENT WALL ASSEMBLY.



A5 MUSEUM FLOOR PLAN - AREA B
REFERENCED FROM A1.10 SCALE: 1/4" = 1'-0"

PROJECT NORTH

CWS ARCHITECTURE + INTERIOR DESIGN
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SCARBOROUGH, ME 04074
207 774 4441
CWSARCH.COM

ENLARGED FLOOR PLAN - SOUTH

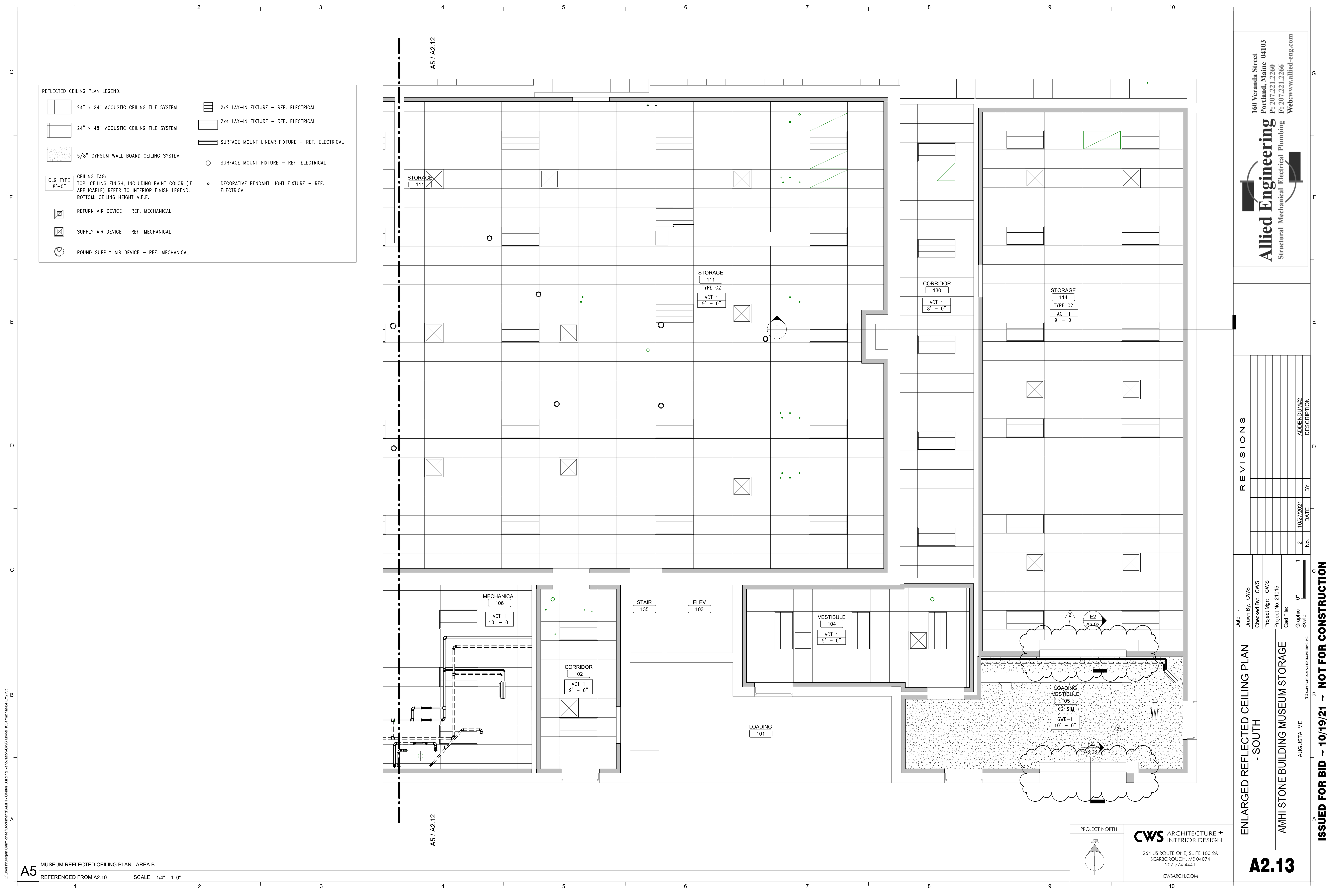
AMHI STONE BUILDING MUSEUM STORAGE

DATE: -
DRAWN BY: CWS
CHECKED BY: CWS
PROJECT MGR: CWS
PROJECT NO: 21015
CARD FILE:
GRAPHIC SCALE: 0" = 1' 10/27/2021
NO. 2 DATE BY DESCRIPTION

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A1.13

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REFLECTED CEILING PLAN LEGEND:

	24" x 24" ACOUSTIC CEILING TILE SYSTEM		2x2 LAY-IN FIXTURE - REF. ELECTRICAL
	24" x 48" ACOUSTIC CEILING TILE SYSTEM		2x4 LAY-IN FIXTURE - REF. ELECTRICAL
	5/8" GYPSUM WALL BOARD CEILING SYSTEM		SURFACE MOUNT LINEAR FIXTURE - REF. ELECTRICAL
	CEILING TAG: TOP: CEILING FINISH, INCLUDING PAINT COLOR (IF APPLICABLE) REFER TO INTERIOR FINISH LEGEND. BOTTOM: CEILING HEIGHT A.F.F.		SURFACE MOUNT FIXTURE - REF. ELECTRICAL
	RETURN AIR DEVICE - REF. MECHANICAL		DECORATIVE PENDANT LIGHT FIXTURE - REF. ELECTRICAL
	SUPPLY AIR DEVICE - REF. MECHANICAL		
	ROUND SUPPLY AIR DEVICE - REF. MECHANICAL		

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REVISIONS

No.	DATE	BY	DESCRIPTION
2	10/27/2021		ADDENDUM#2

Date: -
 Drawn By: CWS
 Checked By: CWS
 Project Mgr: CWS
 Project No: 21015
 Card File:
 Graphic Scale: 1" = 0' - 10'

**ENLARGED REFLECTED CEILING PLAN
 - SOUTH**

AMHI STONE BUILDING MUSEUM STORAGE

AUGUSTA, ME
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A2.13

A5 MUSEUM REFLECTED CEILING PLAN - AREA B
 REFERENCED FROM A2.10 SCALE: 1/4" = 1'-0"

PROJECT NORTH

CWS ARCHITECTURE + INTERIOR DESIGN
 264 US ROUTE ONE, SUITE 100-2A
 SCARBOROUGH, ME 04074
 207.774.4441
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ISSUED FOR BID ~ 10/19/21 ~ NOT FOR CONSTRUCTION

STRUCTURAL DESIGN NOTES:

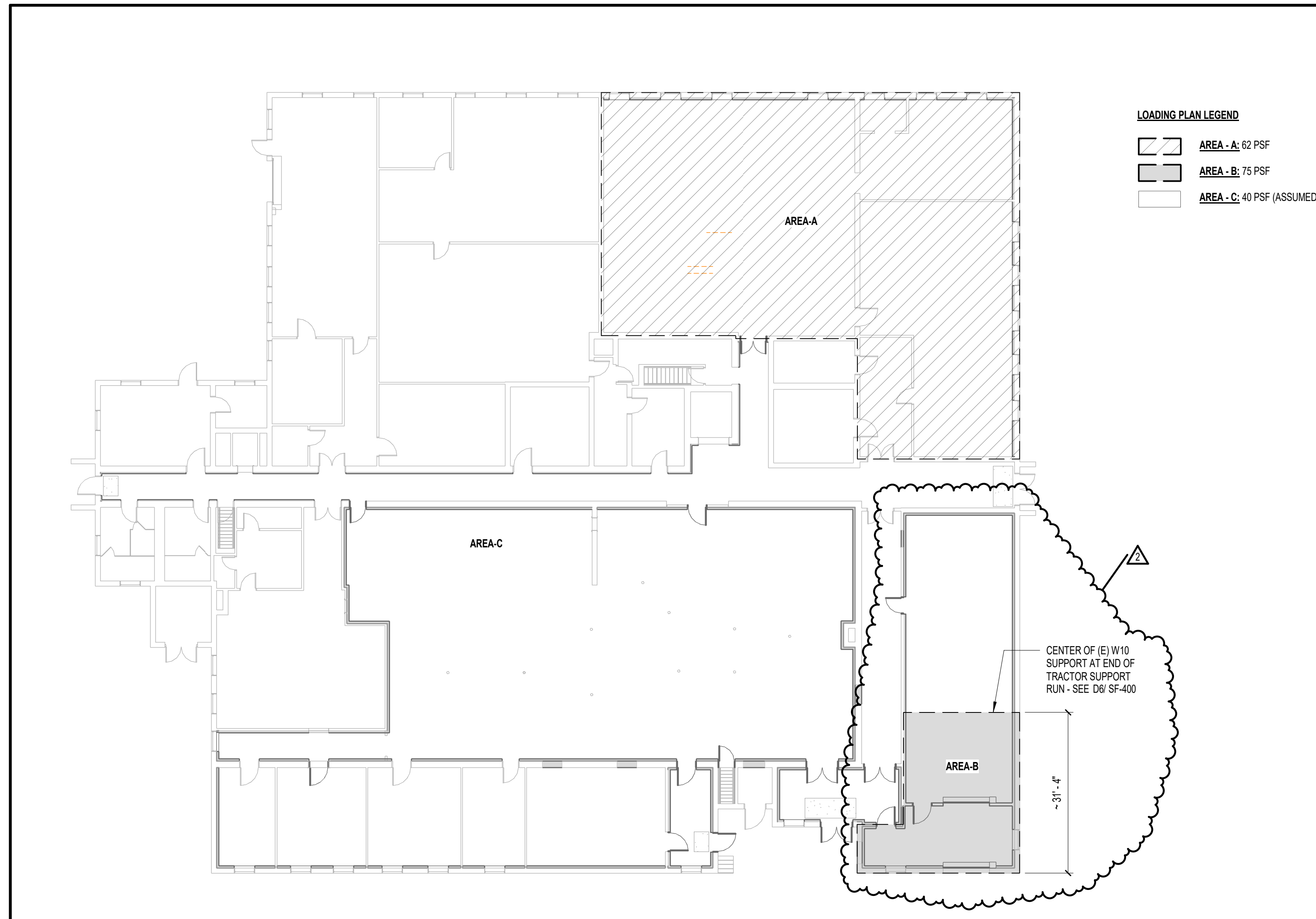
- BUILDING CODE:
 - INTERNATIONAL BUILDING CODE - 2015 EDITION
 - ASCE 7-10 MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES
- STRUCTURAL STEEL SHALL BE DESIGNED USING THE 13TH EDITION OF THE AISC STEEL CONSTRUCTION MANUAL. STEEL BEAMS SHALL CONFORM TO ASTM A992, FY = 50KSI; MISCELLANEOUS PLATES, SHAPES, CHANNELS, ANGLES ETC. SHALL CONFORM TO ASTM A36, FY = 36KSI. STEEL TUBING: COLD-FORMED STEEL TUBING COMPLYING WITH ASTM A500.

CONCRETE:

- CONCRETE WORK SHALL COMPLY WITH ACI 301 "SPECIFICATIONS FOR STRUCTURAL CONCRETE BUILDINGS"; ACI 318 "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE"; AND ACI 315 "ACI DETAIL MANUAL", AND CRSI "MANUAL OF STANDARD PRACTICE".
- CONCRETE SHALL BE:
 - FOOTING AND FOUNDATION WALLS: 3500 PSI AT (28) DAYS (W/C = 0.49) AIR ENTRAINED.
 - INTERIOR SLABS-ON-GRADE: 4,000 PSI CONCRETE AT (28) DAYS. SLUMP SHALL NOT EXCEED 4-INCHES +/- 1-INCH (W/C = 0.52). NO ENTRAINED AIR.
- CONCRETE MATERIALS:
 - PORTLAND CEMENT: ASTM C150, TYPE I OR II. USE ONE TYPE THROUGHOUT PROJECT.
 - NORMAL WEIGHT AGGREGATE: ASTM C33. PROVIDE FROM SINGLE SOURCE FOR ENTIRE PROJECT. NO AGGREGATE CONTAINING SOLUBLE SALTS, IRON SULFIDES, PYRITE, MARCASITE OR OCHRE WHICH CAN CAUSE STAINS ON EXPOSED CONCRETE SURFACES.
 - WATER: POTABLE.
 - AIR-ENTRAINING ADMIXTURE: ASTM C260.
 - HIGH-RANGE WATER REDUCING ADMIXTURES (SUPER PLASTICIZER): ASTM C494 TYPE F OR G CONTAINING NOT MORE THAN 1% CHLORIDE IONS.
 - NORMAL RANGE WATER REDUCING ADMIXTURES: ASTM C494 TYPE A CONTAINING NO CALCIUM CHLORIDE.
 - ACCELERATING ADMIXTURES: ASTM C494, TYPE C OR E.
- CONCRETE SHALL NOT BE PLACED ON FROZEN GROUND OR IN WATER.
- REINFORCING BARS SHALL CONFORM TO ASTM A615 GRADE 60 DEFORMED BARS, AND SHALL BE DETAILED, FABRICATED AND ERECTED IN ACCORDANCE WITH ACI 315-LATEST EDITION.
- COMPLETE SHOP DRAWINGS AND SCHEDULES OF ALL REINFORCING STEEL SHALL BE PREPARED BY THE CONTRACTOR AND SUBMITTED TO THE ENGINEER FOR REVIEW PRIOR TO COMMENCEMENT OF THAT PORTION OF THE WORK. ALL ACCESSORIES MUST BE SHOWN ON THE SHOP DRAWINGS.
- CONTRACTOR SHALL CHECK WITH EACH TRADE TO ASSURE CORRECT LOCATION, SIZE, LINE AND ELEVATION OF SLEEVES, BOND-OUTS, ETC. REQUIRED IN CONCRETE FLOORS AND WALLS.
- WELDING OF REINFORCEMENT IS NOT PERMITTED.
- STRUCTURAL STEEL BELOW FINISH FLOOR SHALL RECEIVE (2) COATS OF BITUMINOUS MASTIC.
- REFER TO ACI 318 (LATEST EDITION) FOR MINIMUM CONCRETE COVER FOR REINFORCING STEEL.
- ANCHOR BOLTS SHALL CONFORM TO ASTM A1554, GRADE 36 HOT-DIPPED GALVANIZED UNLESS NOTED OTHERWISE ON PLAN.

GENERAL NOTES:

- CONTRACTORS SHALL CONFORM TO SAFETY REQUIREMENTS OF THE OWNER, AIA DOCUMENT A201, OSHA SAFETY AND HEALTH STANDARDS, AND OTHER LOCAL AUTHORITIES IN CONNECTION WITH THE PERFORMANCE OF THIS PROJECT.
- WORK SHALL BE DONE IN COMPLIANCE WITH THE INTERNATIONAL BUILDING CODE (IBC), 2015 EDITION AND ASCE 7-10 MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES.
- REFERENCED STANDARDS OR PUBLICATIONS SHALL PERTAIN TO THE MOST CURRENT DATA, STANDARD OR PUBLICATION, UNLESS NOTED OTHERWISE.
- NOTES ON THESE DRAWINGS SHALL NOT SUPERSEDE OR REPLACE INFORMATION PROVIDED IN THE SPECIFICATIONS. ANY INCONSISTENCIES WITH THE DRAWINGS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING WITH THE AFFECTED PORTIONS OF THE WORK.
- STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE SPECIFICATIONS, AS WELL AS THE ARCHITECTURAL, MECHANICAL, PLUMBING, ELECTRICAL AND CIVIL DRAWINGS. ALL DIMENSIONS AND ELEVATIONS SHOWN ON STRUCTURAL DRAWINGS, WITH THE EXCEPTION OF STRUCTURAL MEMBER SIZES, ARE GENERATED BY OTHER DISCIPLINES. ANY DIMENSIONS OR ELEVATIONS OMITTED OR NOT SHOWN ON THE STRUCTURAL DRAWINGS SHOULD BE OBTAINED FROM THE DRAWINGS OF THE OTHER DISCIPLINES. ANY INCONSISTENCIES WITH THE DRAWINGS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING WITH THE AFFECTED PORTIONS OF THE WORK.
- IF DIFFERENCES OCCUR WITHIN OR BETWEEN THE DRAWINGS AND SPECIFICATIONS REGARDING MATERIALS, STRENGTHS OR QUANTITIES, THE BETTER, HIGHER STRENGTH, AND GREATER QUANTITY INDICATED, SPECIFIED OR NOTED SHALL BE PROVIDED.
- THE CONTRACTOR SHALL VISIT THE SITE AT A DESIGNATED TIME APPROVED BY THE OWNER, TO VERIFY EXISTING CONDITIONS, DIMENSIONS, LOCATION OF EXISTING UTILITIES, ETC. THE CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES WITHOUT EXCEPTION.
- THE STRUCTURE HAS BEEN DESIGNED AS A SELF-SUPPORTING SYSTEM ONCE ALL WORK CONTAINED ON THESE DRAWINGS HAS BEEN COMPLETED. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ERECTION PROCEDURES AND SEQUENCE OF INSTALLATION TO ENSURE SAFETY OF THE BUILDING AND ITS OCCUPANTS DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MEANS AND METHODS AND TEMPORARY SHORING, PRECAUTIONS DURING BUILDING OPERATIONS, PROTECTION OF PUBLIC AND WORKERS, REMOVAL OF WASTE MATERIAL, PROTECTION OF ADJACENT PROPERTY, PROTECTION OF HAZARDOUS OPENINGS, SAFETY PRECAUTIONS, AND SANITARY PROVISIONS OF EMPLOYEES AND SUBCONTRACTORS AS REQUIRED FOR THE DURATION OF THE CONTRACT.
- WORK SHALL BE DONE IN AN ORDERLY AND PROFESSIONAL MANNER. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL WORK TO BE DONE BY SUBCONTRACTORS, LOCAL AUTHORITIES, STATE AGENCIES AND/OR UTILITY COMPANIES WHICH MAY HAVE JURISDICTION OVER THIS PROJECT.
- CONTRACTOR SHALL REVIEW AND SUBMIT COMPLETE SHOP DRAWINGS FOR ALL SPECIFIED PARTS OF THE WORK, INCLUDING SHORING AND CONSTRUCTION METHODS/SEQUENCING WHERE APPLICABLE. NO PORTION OF THE WORK COVERED BY THESE SHOP DRAWINGS SHALL COMMENCE UNTIL RETURNED APPROVED SHOPS ARE RECEIVED BY THE CONTRACTOR. SEE SPECIFICATIONS FOR SPECIFIC SHOP SUBMITTAL REQUIREMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY EXISTING ITEMS DAMAGED BY NEW CONSTRUCTION, AND FOR ANY INCIDENTAL REPAIRS OF EXISTING FINISHED SURFACES DISTURBED BY NEW CONSTRUCTION. SUCH REPAIRS SHALL MATCH EXISTING TO THE OWNER'S SATISFACTION.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING, HANDLING, AND STORAGE OF ITEMS/MATERIALS TO REMAIN THE PROPERTY OF THE OWNER WITH THE OWNER'S REPRESENTATIVE.



A5 FIRST FLR LOADING PLAN
1/16" = 1'-0"

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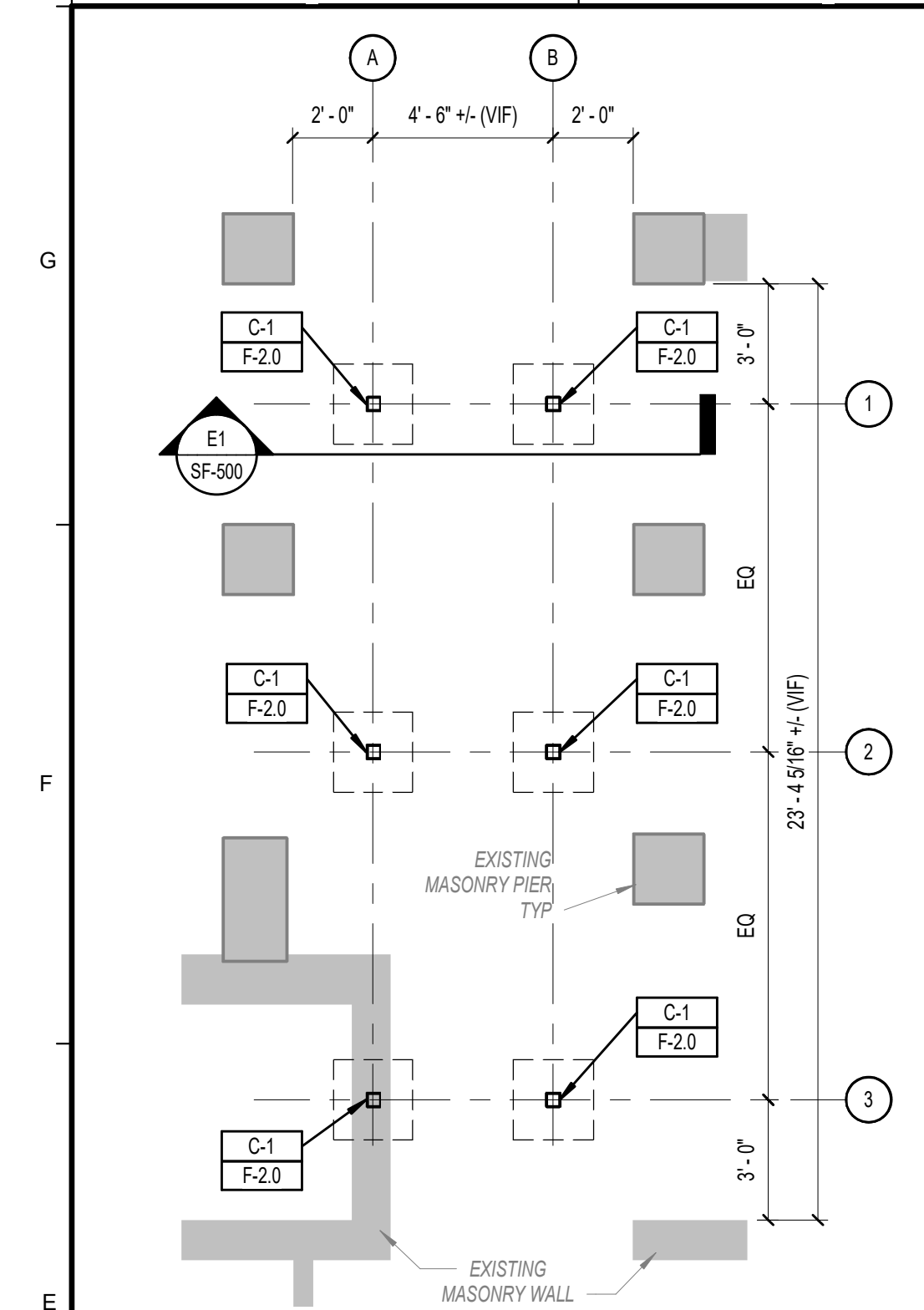
REVISIONS

No.	DATE	BY	DESCRIPTION
2	10/27/2021		ADDENDUM#2

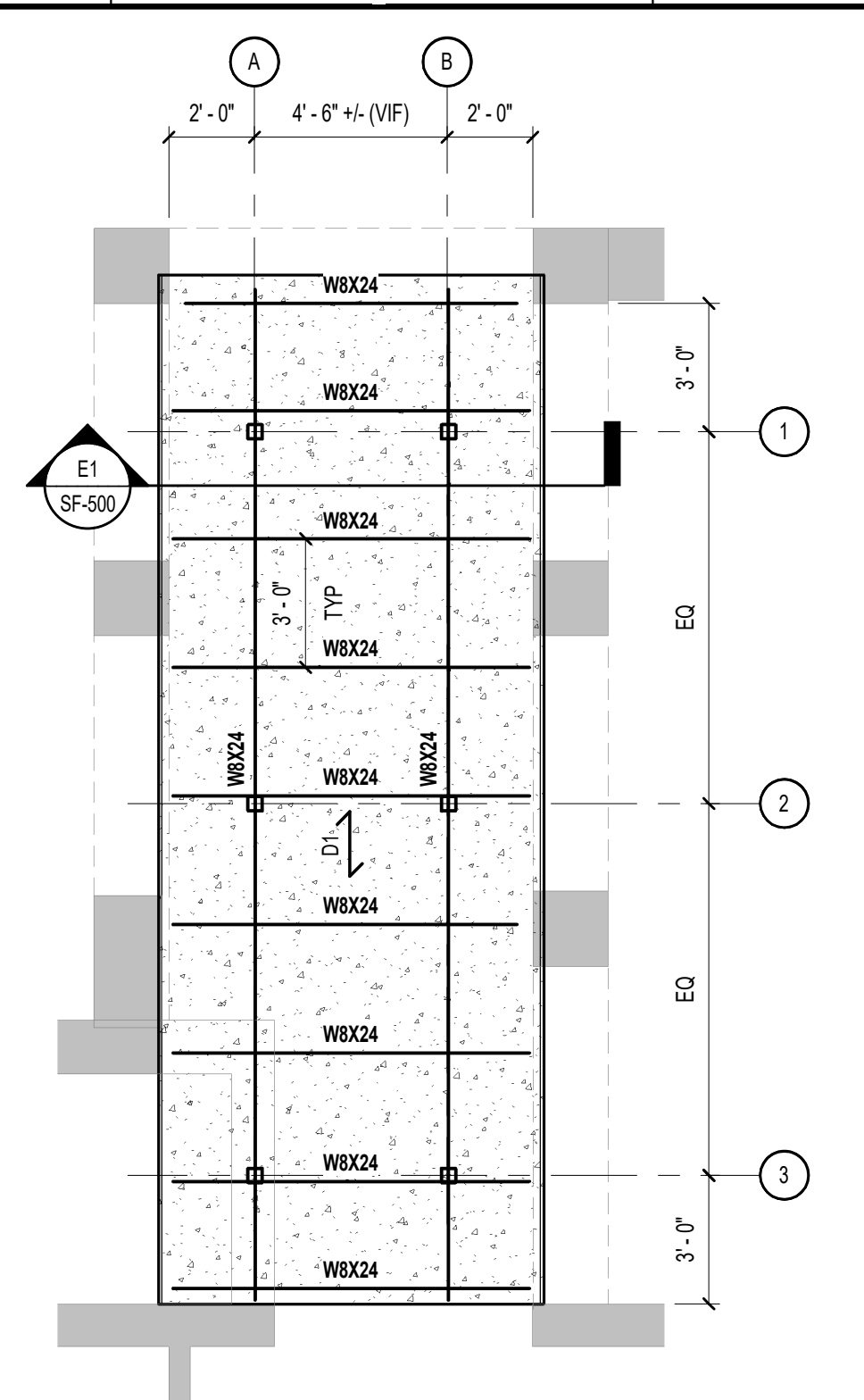
Date: -
Drawn By: PED
Checked By: JPC
Project Mgr: WPF
Project No: 21050
Cad File: 21050.rvt
Graphic Scale: 1" = 0'

STRUCTURAL - GENERAL INFORMATION
CENTER BUILDING - RENOVATION FOR TEMPORARY STORAGE AMHI FACILITY
AUGUSTA, ME
ISSUED FOR BID ~ 09/27/21 ~ NOT FOR CONSTRUCTION

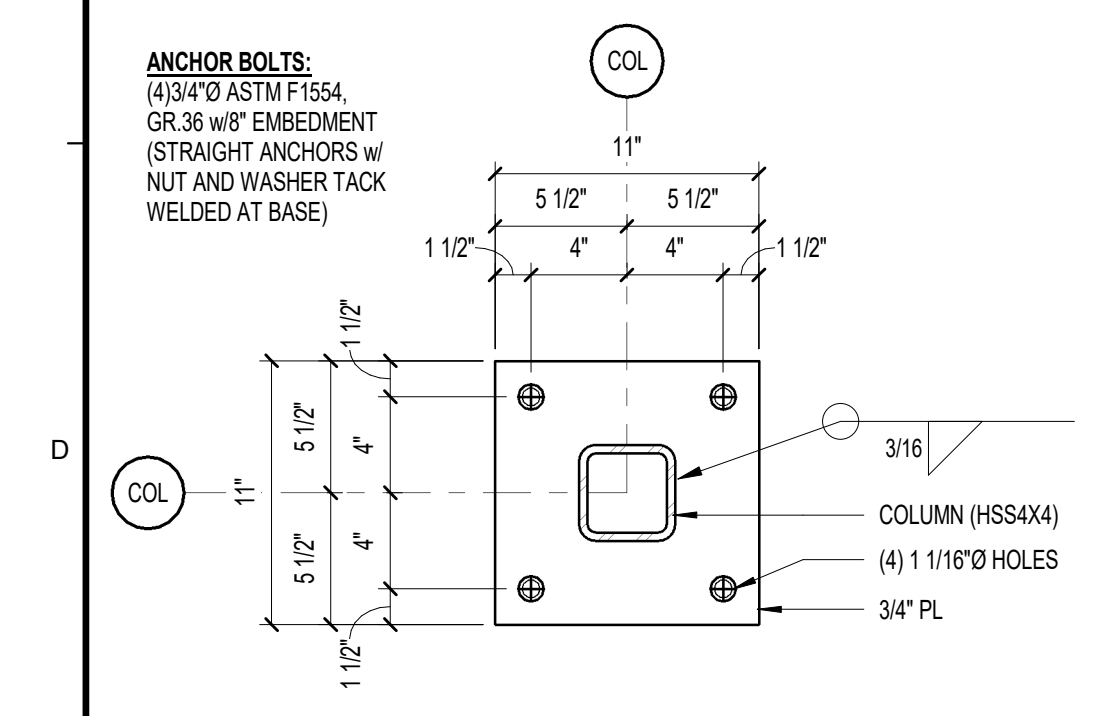
S-000



F1 ENLARGED FDN PLAN
1/4" = 1'-0"



F3 ENLARGED PLAN VIEW
1/4" = 1'-0"



D1 COLUMN BASE PLATE DETAIL
1 1/2" = 1'-0"

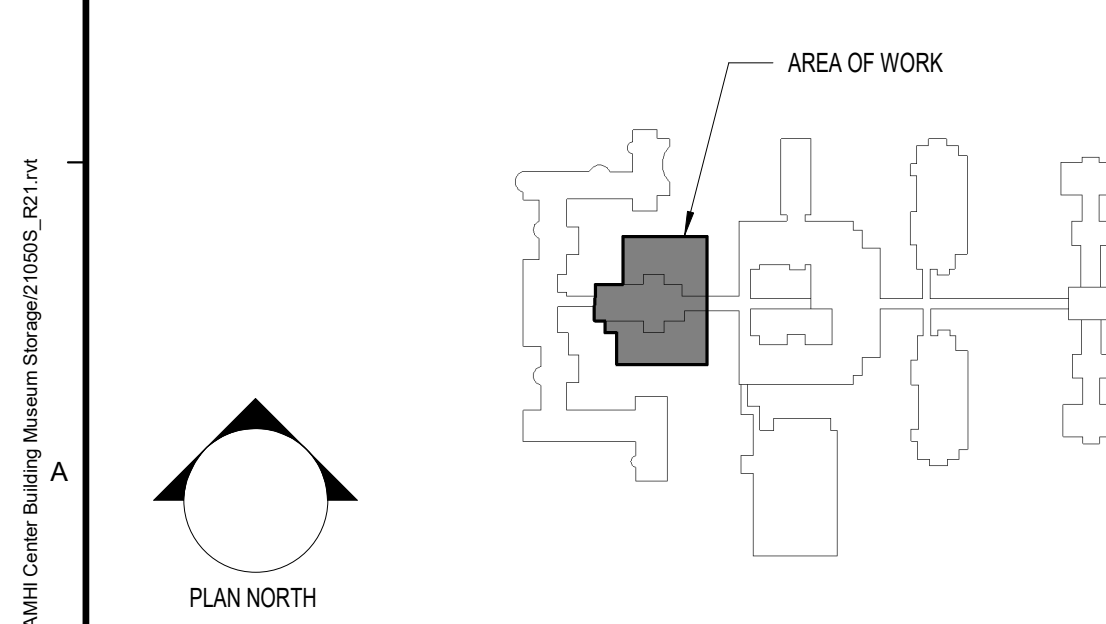
ANCHOR BOLTS:
(4) 3/4" Ø ASTM F1554, GR.36 w/8" EMBEDMENT (STRAIGHT ANCHORS w/ NUT AND WASHER TACK WELDED AT BASE)

COL INDICATES SPAN OF 6" CONCRETE SLAB ON 1 1/2" 20GA VULCRRAFT TYPE VLI COMPOSITE METAL DECK - TOTAL SLAB THICKNESS = 6"

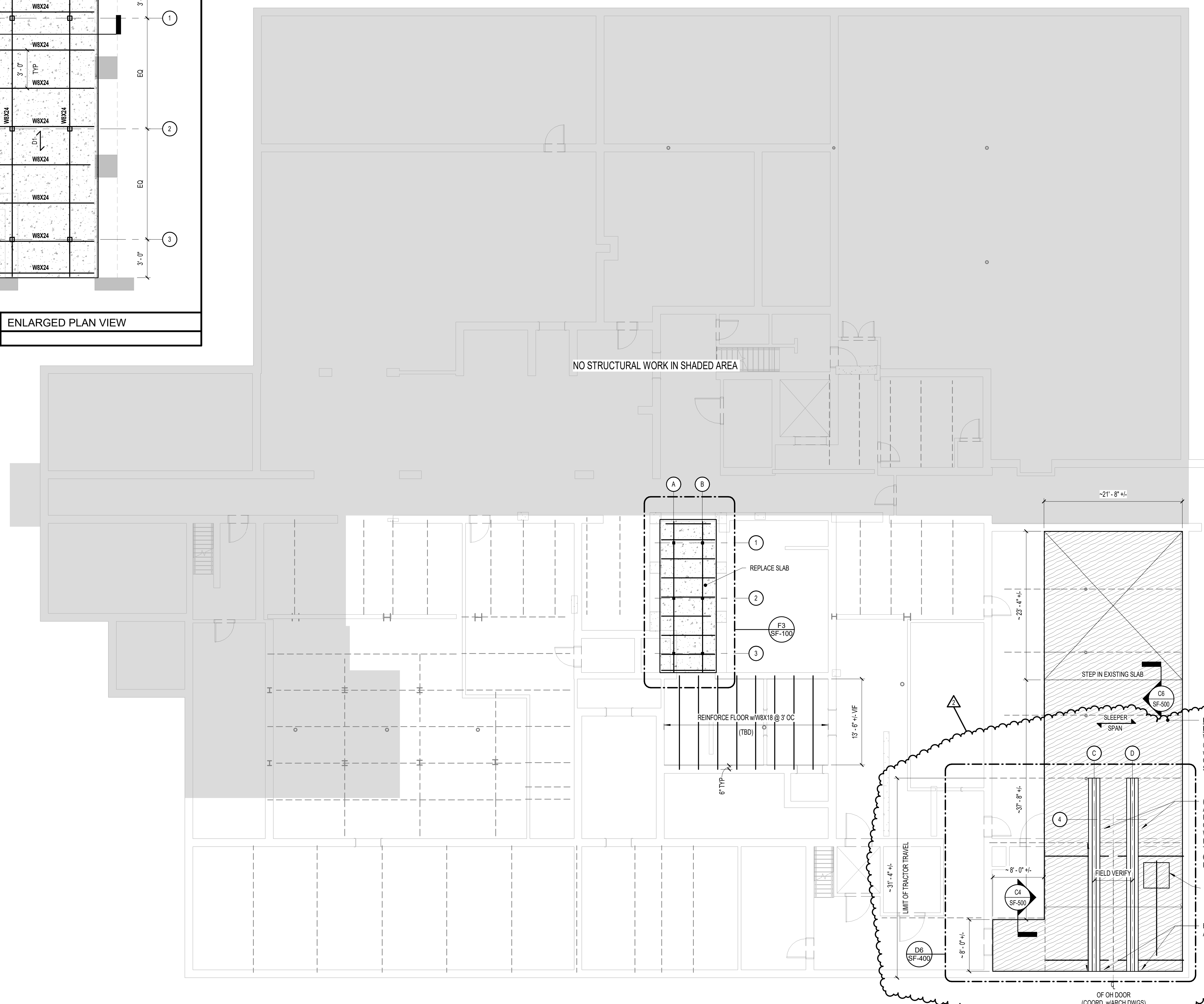
D1 INDICATES WOOD INFILL AT DEPRESSED EXISTING SLAB SURFACE

COLUMN SCHEDULE	
MARK	SIZE
C-1	HSS4X4X3/8

FOOTING SCHEDULE		
MARK	SIZE	REINFORCING
F-2.0	2'-0" x 2'-0" x 1'-0"	(4) #4 BARS, E.W. - BOTTOM



A1 STRUCTURAL ~ FIRST FLOOR FRAMING PLAN
1/8" = 1'-0"



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Structural Mechanical Electrical Plumbing

REVISIONS	
No.	DESCRIPTION
2	10/27/2021

Date: -
Drawn By: PED
Checked By: JJC
Project Mgr: WPF
Project No: 21050
Cad File: 21050.rvt
Graphic Scale: 0" = 1'

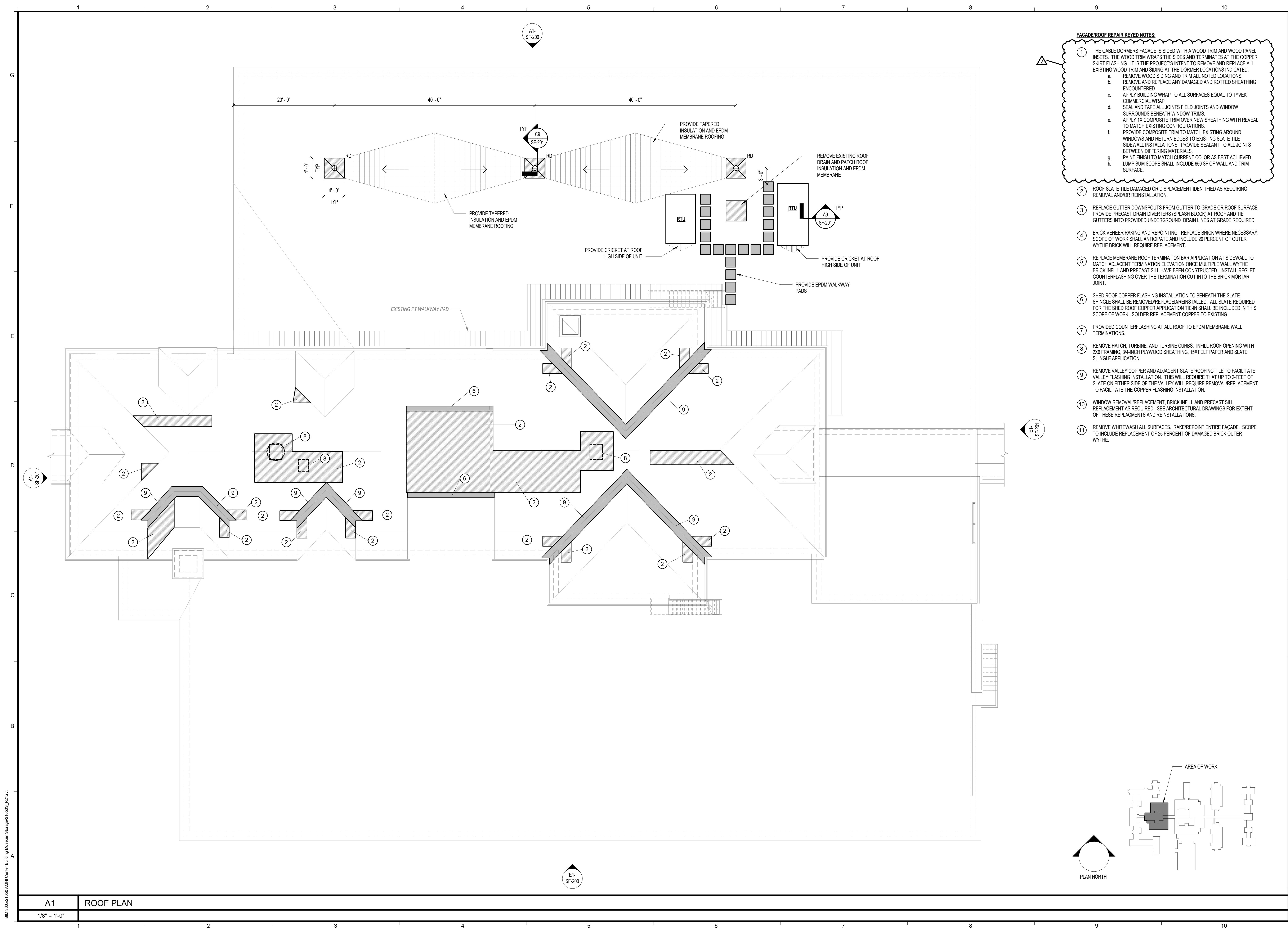
STRUCTURAL - FRAMING PLAN

**CENTER BUILDING - RENOVATION FOR
TEMPORARY STORAGE AMHI FACILITY**
AUGUSTA, ME

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SF-100

ISSUED FOR BID ~ 09/27/21 ~ NOT FOR CONSTRUCTION



- FAÇADE/ROOF REPAIR KEYED NOTES:**
- 1 THE GABLE DORMERS FAÇADE IS SIDED WITH A WOOD TRIM AND WOOD PANEL INSETS. THE WOOD TRIM WRAPS THE SIDES AND TERMINATES AT THE COPPER SKIRT FLASHING. IT IS THE PROJECT'S INTENT TO REMOVE AND REPLACE ALL EXISTING WOOD TRIM AND SIDING AT THE DORMER LOCATIONS INDICATED.
 - a. REMOVE WOOD SIDING AND TRIM ALL NOTED LOCATIONS.
 - b. REMOVE AND REPLACE ANY DAMAGED AND ROTTED SHEATHING ENCOUNTERED
 - c. APPLY BUILDING WRAP TO ALL SURFACES EQUAL TO TYVEK COMMERCIAL WRAP.
 - d. SEAL AND TAPE ALL JOINTS FIELD, JOINTS AND WINDOW SURROUNDS BENEATH WINDOW TRIMS.
 - e. APPLY 1X COMPOSITE TRIM OVER NEW SHEATHING WITH REVEAL TO MATCH EXISTING CONFIGURATIONS.
 - f. PROVIDE COMPOSITE TRIM TO MATCH EXISTING AROUND WINDOWS AND RETURN EDGES TO EXISTING SLATE TILE SIDEWALL INSTALLATIONS. PROVIDE SEALANT TO ALL JOINTS BETWEEN DIFFERING MATERIALS.
 - g. PAINT FINISH TO MATCH CURRENT COLOR AS BEST ACHIEVED.
 - h. LUMP SUM SCOPE SHALL INCLUDE 650 SF OF WALL AND TRIM SURFACE.
 - 2 ROOF SLATE TILE DAMAGED OR DISPLACEMENT IDENTIFIED AS REQUIRING REMOVAL AND/OR REINSTALLATION.
 - 3 REPLACE GUTTER DOWNSPOUTS FROM GUTTER TO GRADE OR ROOF SURFACE. PROVIDE PRECAST DRAIN DIVERTERS (SPLASH BLOCK) AT ROOF AND TIE GUTTERS INTO PROVIDED UNDERGROUND DRAIN LINES AT GRADE REQUIRED.
 - 4 BRICK VENEER RAKING AND REPOINTING. REPLACE BRICK WHERE NECESSARY. SCOPE OF WORK SHALL ANTICIPATE AND INCLUDE 20 PERCENT OF OUTER WYTHE BRICK WILL REQUIRE REPLACEMENT.
 - 5 REPLACE MEMBRANE ROOF TERMINATION BAR APPLICATION AT SIDEWALL TO MATCH ADJACENT TERMINATION ELEVATION ONCE MULTIPLE WALL WYTHE BRICK INFILL AND PRECAST SILL HAVE BEEN CONSTRUCTED. INSTALL REGLET COUNTERFLASHING OVER THE TERMINATION CUT INTO THE BRICK MORTAR JOINT.
 - 6 SHED ROOF COPPER FLASHING INSTALLATION TO BENEATH THE SLATE SHINGLE SHALL BE REMOVED/REPLACED/REINSTALLED. ALL SLATE REQUIRED FOR THE SHED ROOF COPPER APPLICATION TIE-IN SHALL BE INCLUDED IN THIS SCOPE OF WORK. SOLDER REPLACEMENT COPPER TO EXISTING.
 - 7 PROVIDED COUNTERFLASHING AT ALL ROOF TO EPDM MEMBRANE WALL TERMINATIONS.
 - 8 REMOVE HATCH, TURBINE, AND TURBINE CURBS. INFILL ROOF OPENING WITH 2X6 FRAMING, 3/4-INCH PLYWOOD SHEATHING, 15# FELT PAPER AND SLATE SHINGLE APPLICATION.
 - 9 REMOVE VALLEY COPPER AND ADJACENT SLATE ROOFING TILE TO FACILITATE VALLEY FLASHING INSTALLATION. THIS WILL REQUIRE THAT UP TO 2 FEET OF SLATE ON EITHER SIDE OF THE VALLEY WILL REQUIRE REMOVAL/REPLACEMENT TO FACILITATE THE COPPER FLASHING INSTALLATION.
 - 10 WINDOW REMOVAL/REPLACEMENT. BRICK INFILL AND PRECAST SILL REPLACEMENT AS REQUIRED. SEE ARCHITECTURAL DRAWINGS FOR EXTENT OF THESE REPLACEMENTS AND REINSTALLATIONS.
 - 11 REMOVE WHITEWASH ALL SURFACES. RAKE/REPOINT ENTIRE FAÇADE. SCOPE TO INCLUDE REPLACEMENT OF 25 PERCENT OF DAMAGED BRICK OUTER WYTHE.

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REVISIONS

No.	DATE	BY	DESCRIPTION
2	10/27/2021		ADDENDUM#2

Date: 09/03/21
 Drawn By: PED
 Checked By: WPF
 Project Mgr: WPF
 Project No: 21050
 Cad File: 21050.rvt
 Graphic Scale: 1" = 0' to 1" = 10'

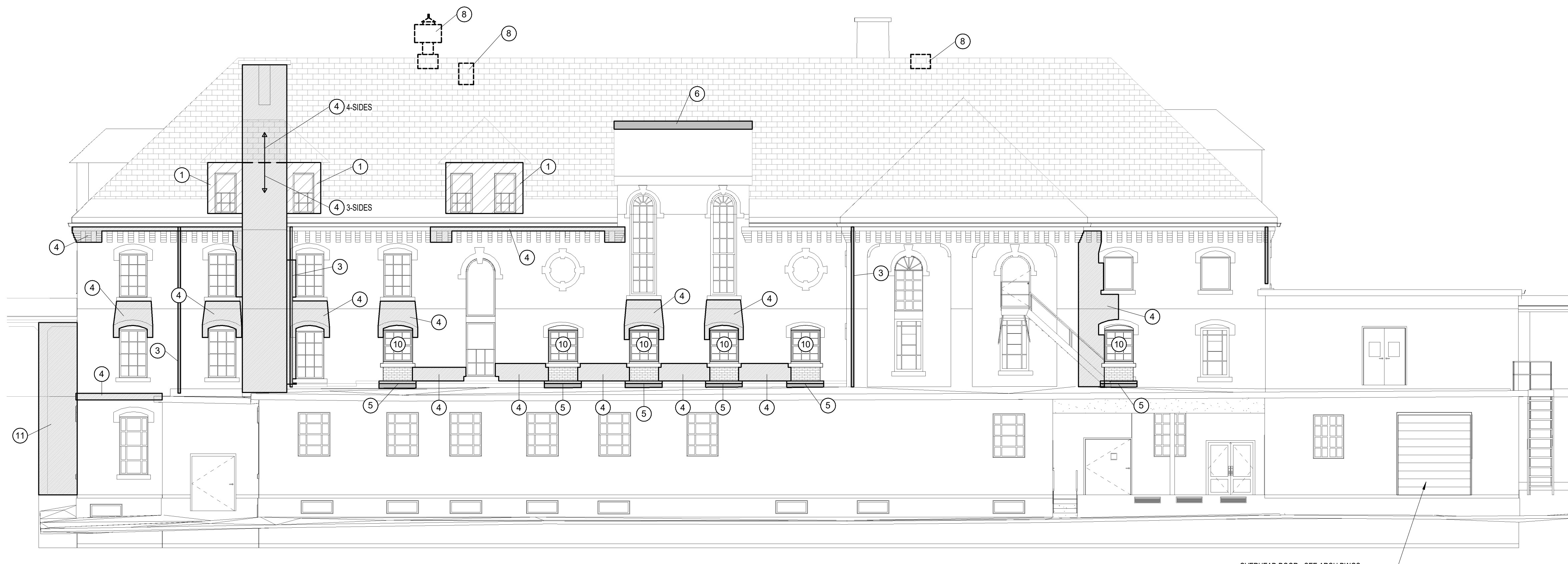
ROOF PLAN

CENTER BUILDING - RENOVATION FOR
 TEMPORARY STORAGE AMHI FACILITY
 AUGUSTA, ME

ISSUED FOR BID ~ 09/27/21 ~ NOT FOR CONSTRUCTION

SF-110

BIM 360://21050 AMHI Center Building Museum Storage2 10056_R21.rvt



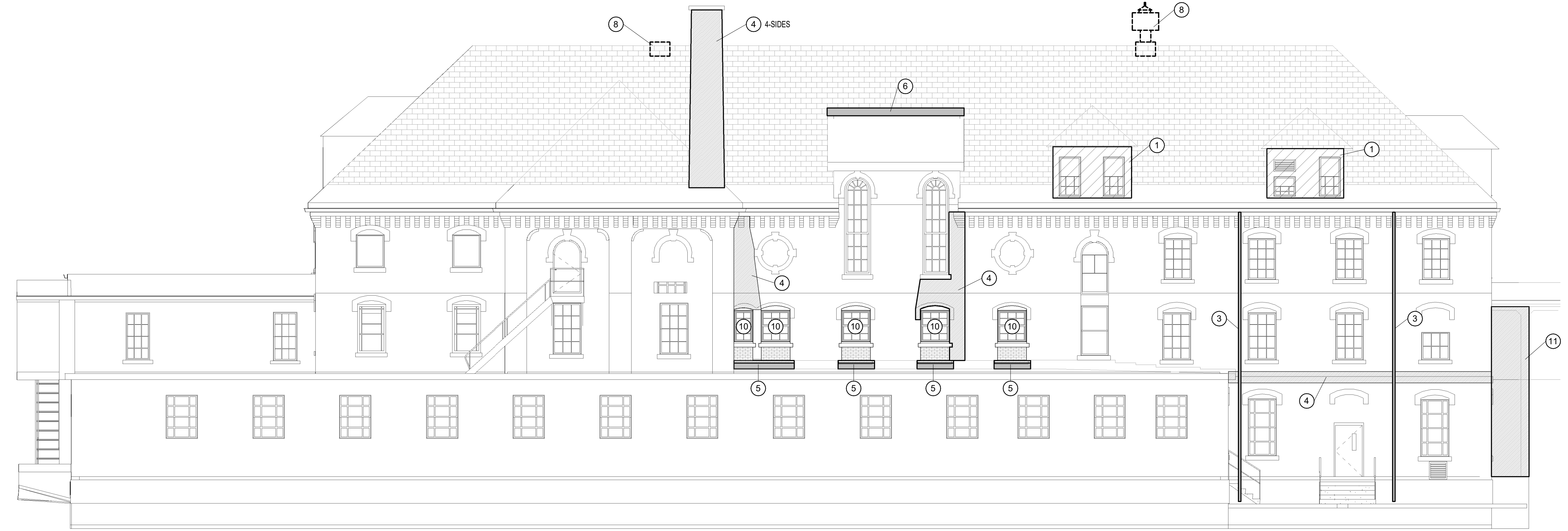
FAÇADE/ROOF REPAIR KEYED NOTES:

- ① THE GABLE DORMERS FAÇADE IS SIDED WITH A WOOD TRIM AND WOOD PANEL INSERTS. THE WOOD TRIM WRAPS THE SIDES AND TERMINATES AT THE COPPER SKIRT FLASHING. IT IS THE PROJECT'S INTENT TO REMOVE AND REPLACE ALL EXISTING WOOD TRIM AND SIDING AT THE DORMER LOCATIONS INDICATED.
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 - g. PAINT FINISH TO MATCH CURRENT COLOR AS BEST ACHIEVED.
 - h. LUMP SUM SCOPE SHALL INCLUDE 650 SF OF WALL AND TRIM SURFACE.

- ② ROOF SLATE TILE DAMAGED OR DISPLACEMENT IDENTIFIED AS REQUIRING REMOVAL AND/OR REINSTALLATION.
- ③ REPLACE GUTTER DOWNSPOUTS FROM GUTTER TO GRADE OR ROOF SURFACE. PROVIDE PRECAST DRAIN DIVERTERS (SPLASH BLOCK) AT ROOF AND TIE GUTTERS INTO PROVIDED UNDERGROUND DRAIN LINES AT GRADE REQUIRED.
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E1 EAST ELEVATION

1/8" = 1'-0"



A1 WEST ELEVATION

1/8" = 1'-0"

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REVISIONS

No.	DATE	BY	DESCRIPTION
2	10/27/2021		APPENDUM#2

Date: 09/03/21
 Drawn By: PED
 Checked By: WFF
 Project Mgr: WFF
 Project No: 21050
 Cad File: 21050.rvt
 Graphic Scale: 1" = 0'

EXTERIOR ELEVATIONS

CENTER BUILDING - RENOVATION FOR
 TEMPORARY STORAGE AMHI FACILITY
 AUGUSTA, ME

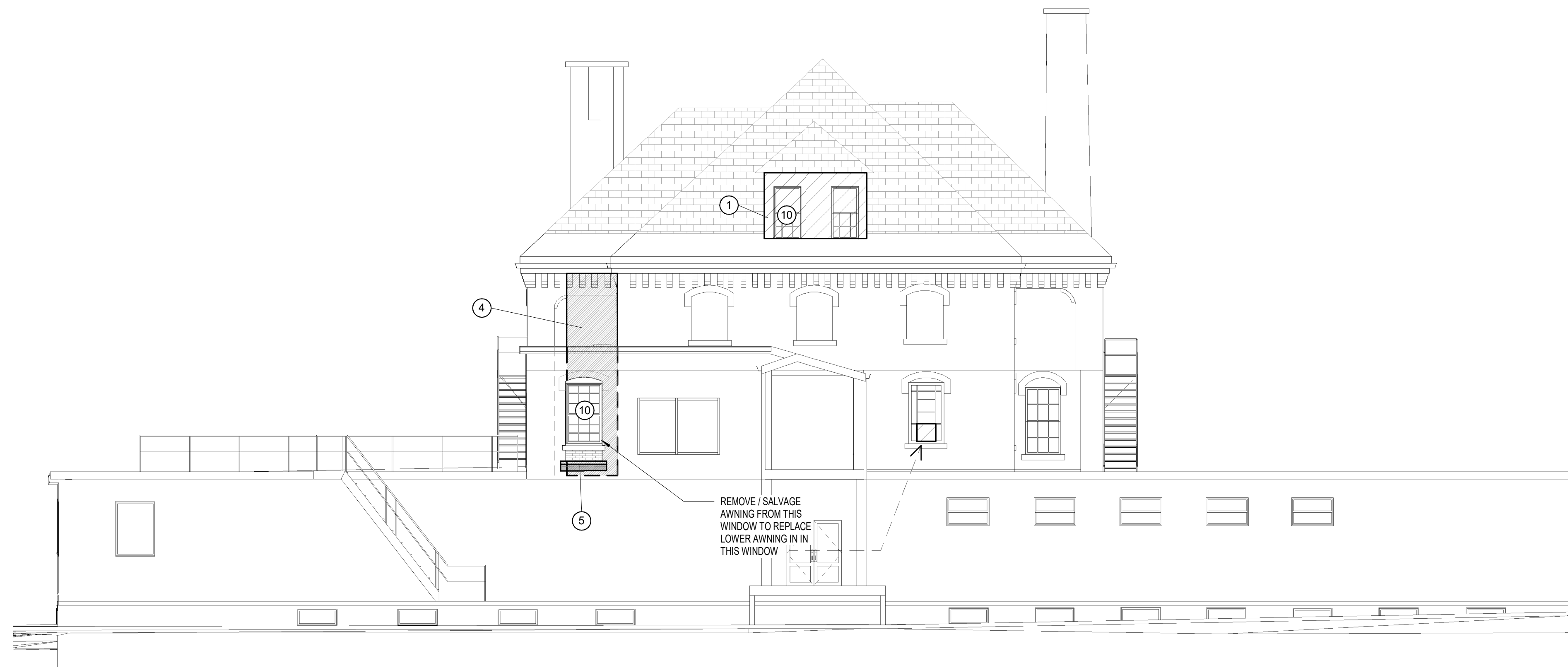
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SF-200

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B:\360\21050 AMHI Center Building Museum Storage\21050E_R021.rvt

BIM 360://21057 AMHI Center Building Museum Storage2 10056_R21.rvt
 Date: 09/03/21
 Drawn By: WFF
 Checked By: WFF
 Project Mgr: WFF
 Project No: 21059
 Card File: 21059.rvt
 Graphic Scale: 1" = 0'
 0"



FACADE/ROOF REPAIR KEYED NOTES:

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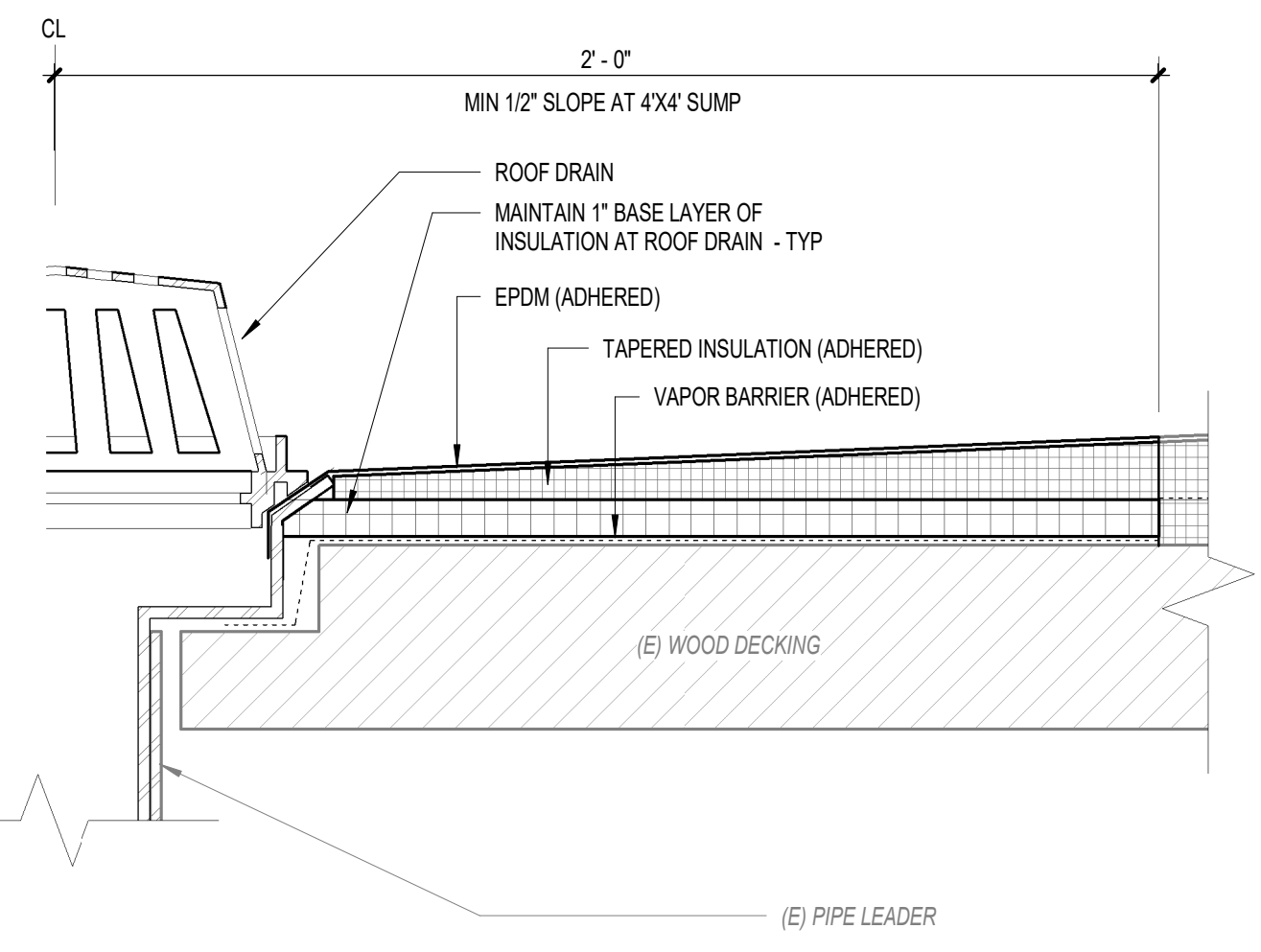
E1 NORTH ELEVATION

1/8" = 1'-0"



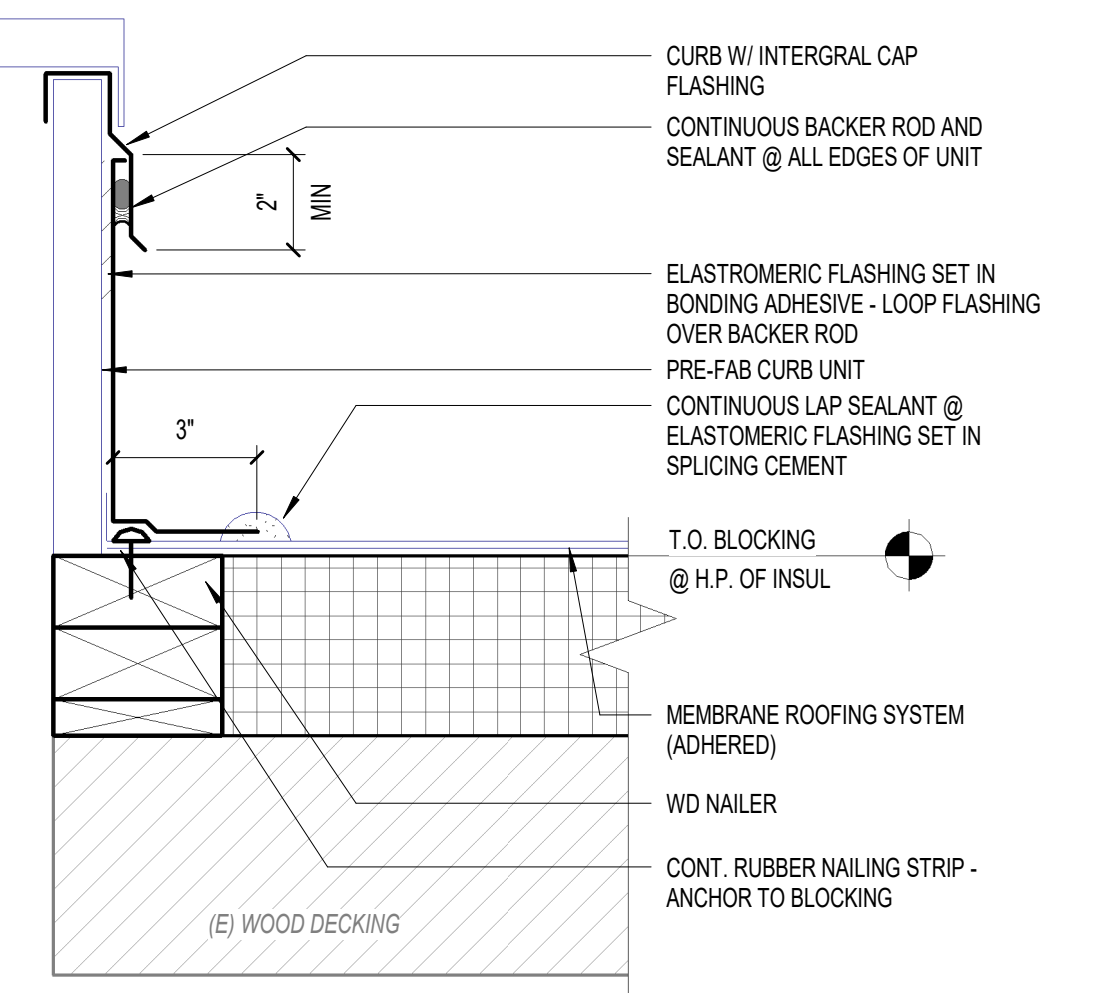
A1 SOUTH ELEVATION

1/8" = 1'-0"



C9 TYP. MEMBRANE @ ROOF DRAIN

3" = 1'-0"



A9 VERTICAL TERMINATION @ ROOF TOP AHU

3" = 1'-0"

REVISIONS

No.	DATE	BY	DESCRIPTION
2	10/27/2021		ADDENDUM#2

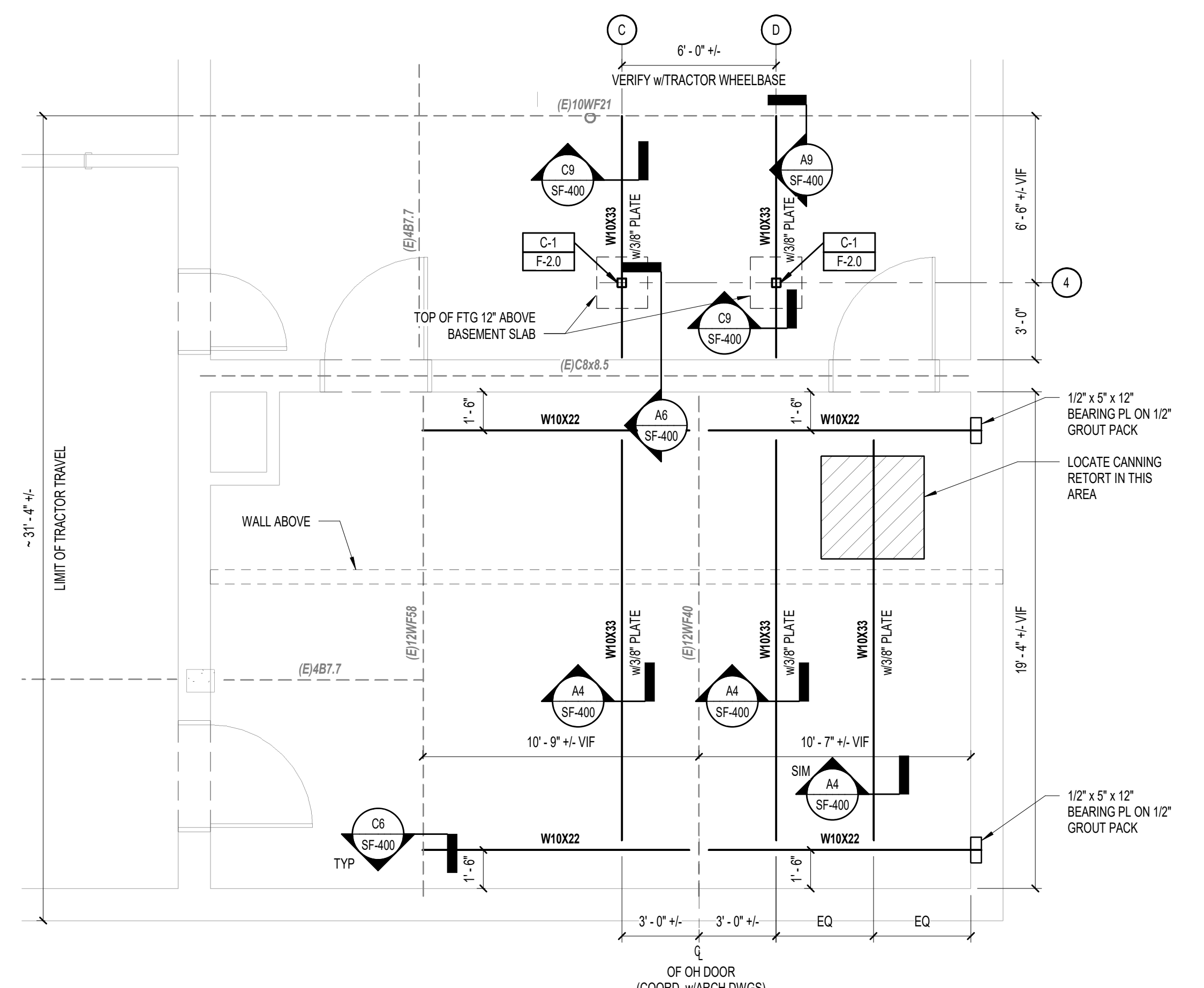
EXTERIOR ELEVATIONS

**CENTER BUILDING - RENOVATION FOR
 TEMPORARY STORAGE AMHI FACILITY**
 AUGUSTA, ME

SF-201

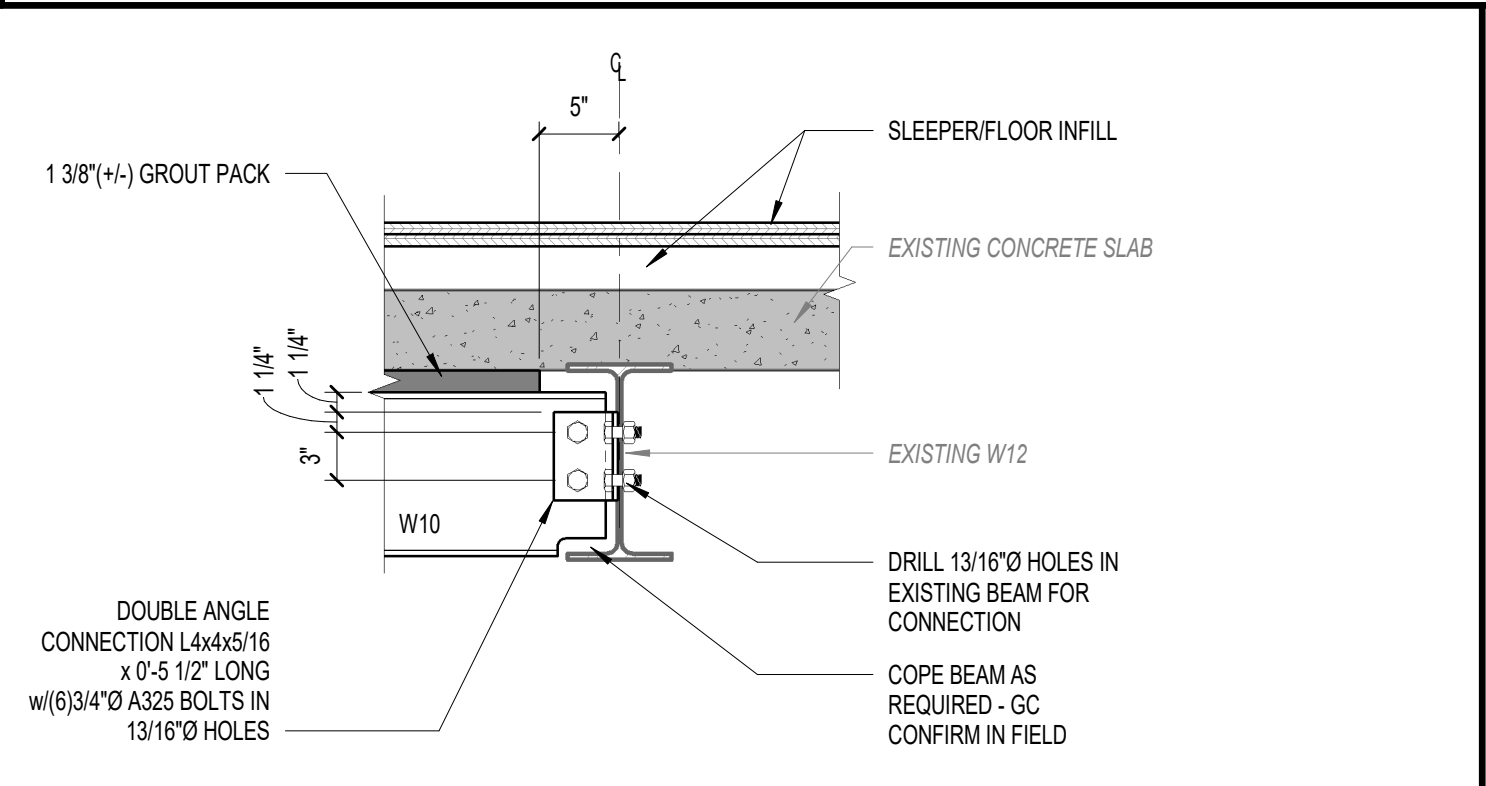
ISSUED FOR BID ~ 09/27/21 ~ NOT FOR CONSTRUCTION

BMW 360/21050 AMH Center Building Museum Storage2 10056_R21.rvt



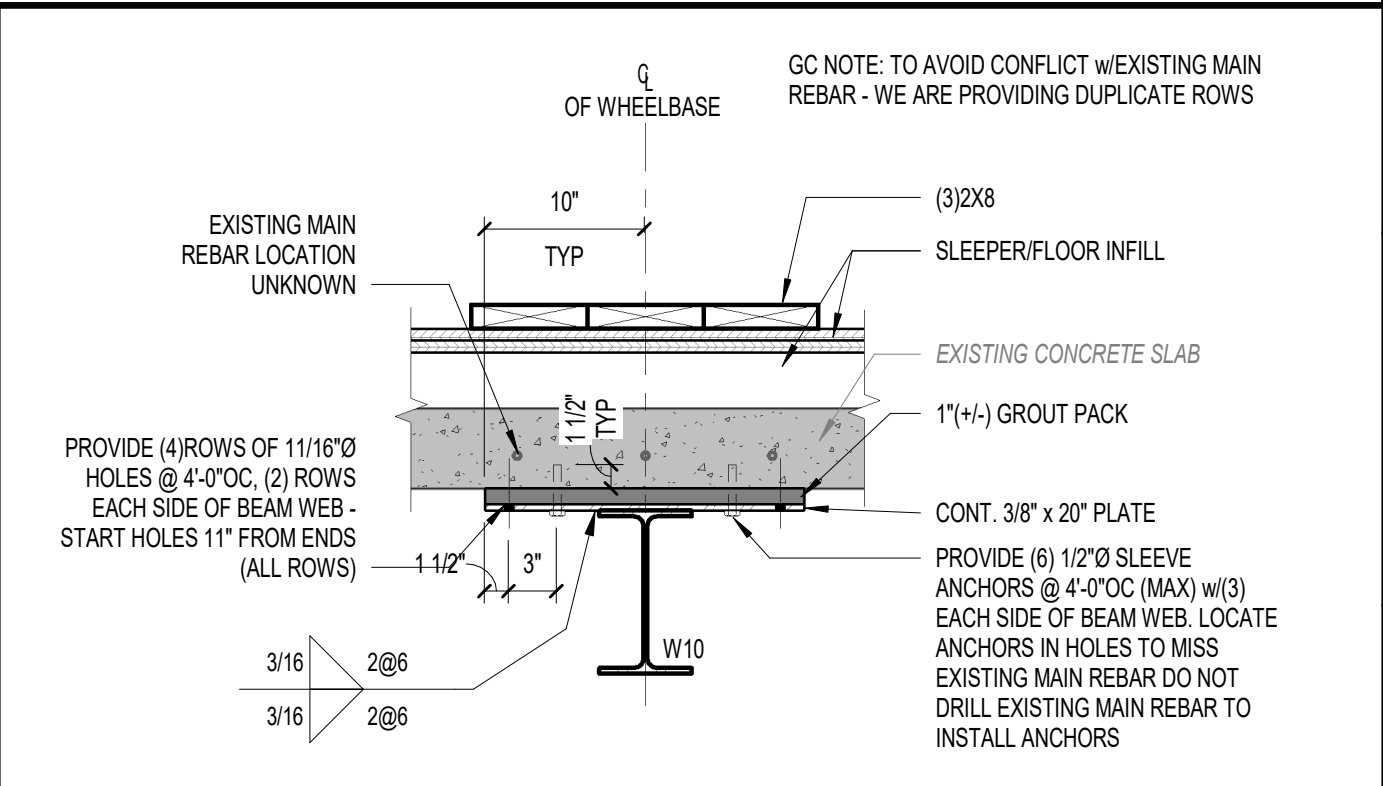
D6 ENLARGED PART PLAN - FIRST FLOOR FRAMING

1/4" = 1'-0"



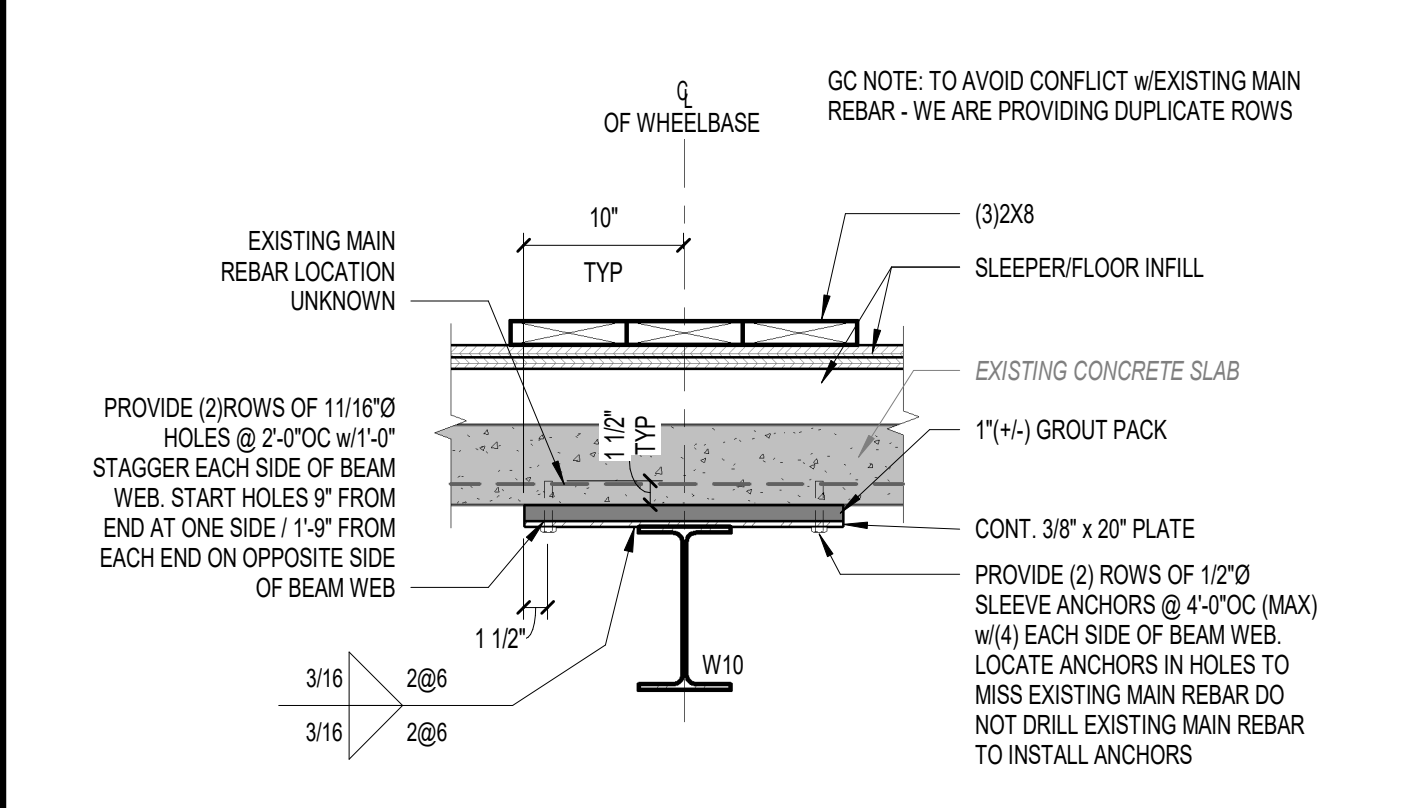
C6 W10x22 TO (E)W12

1" = 1'-0"



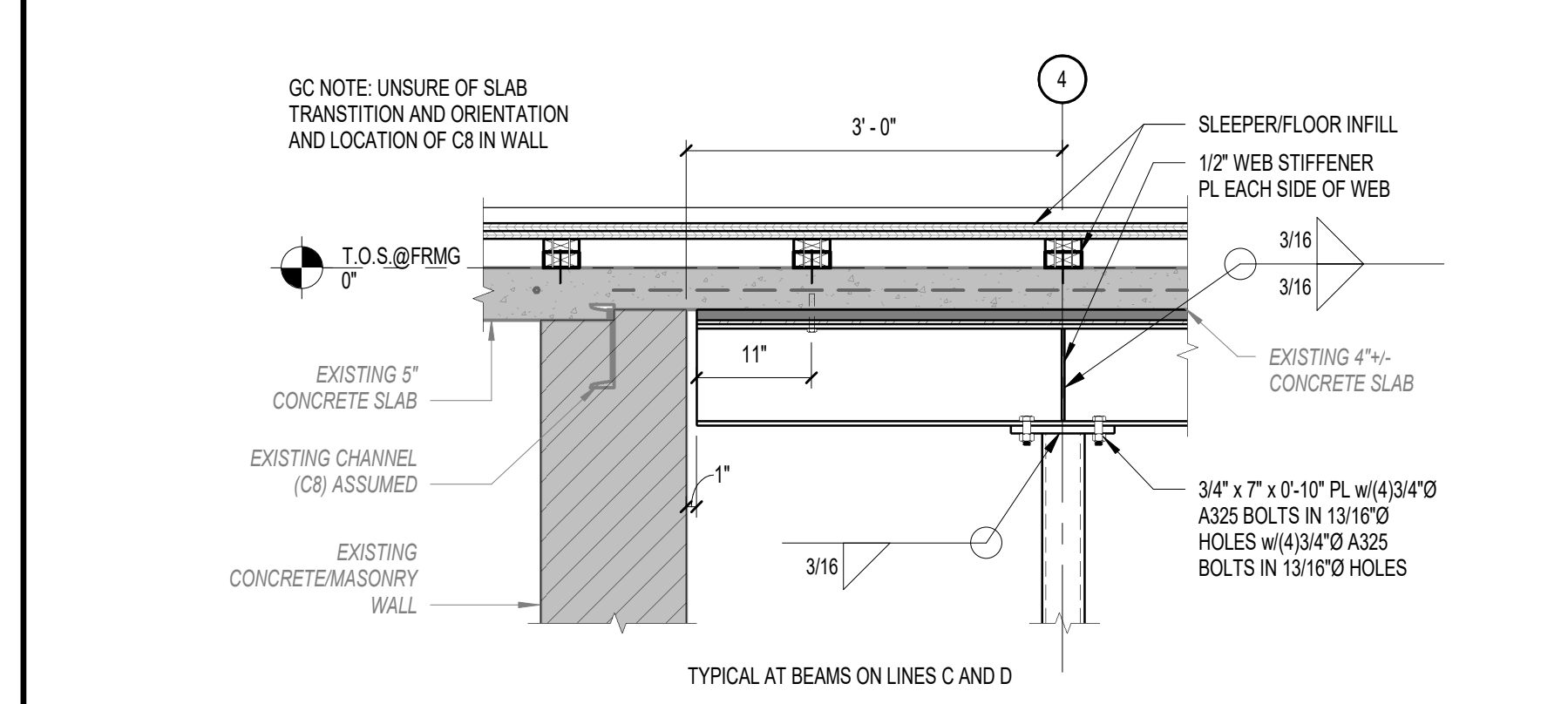
C9 DETAIL

1" = 1'-0"



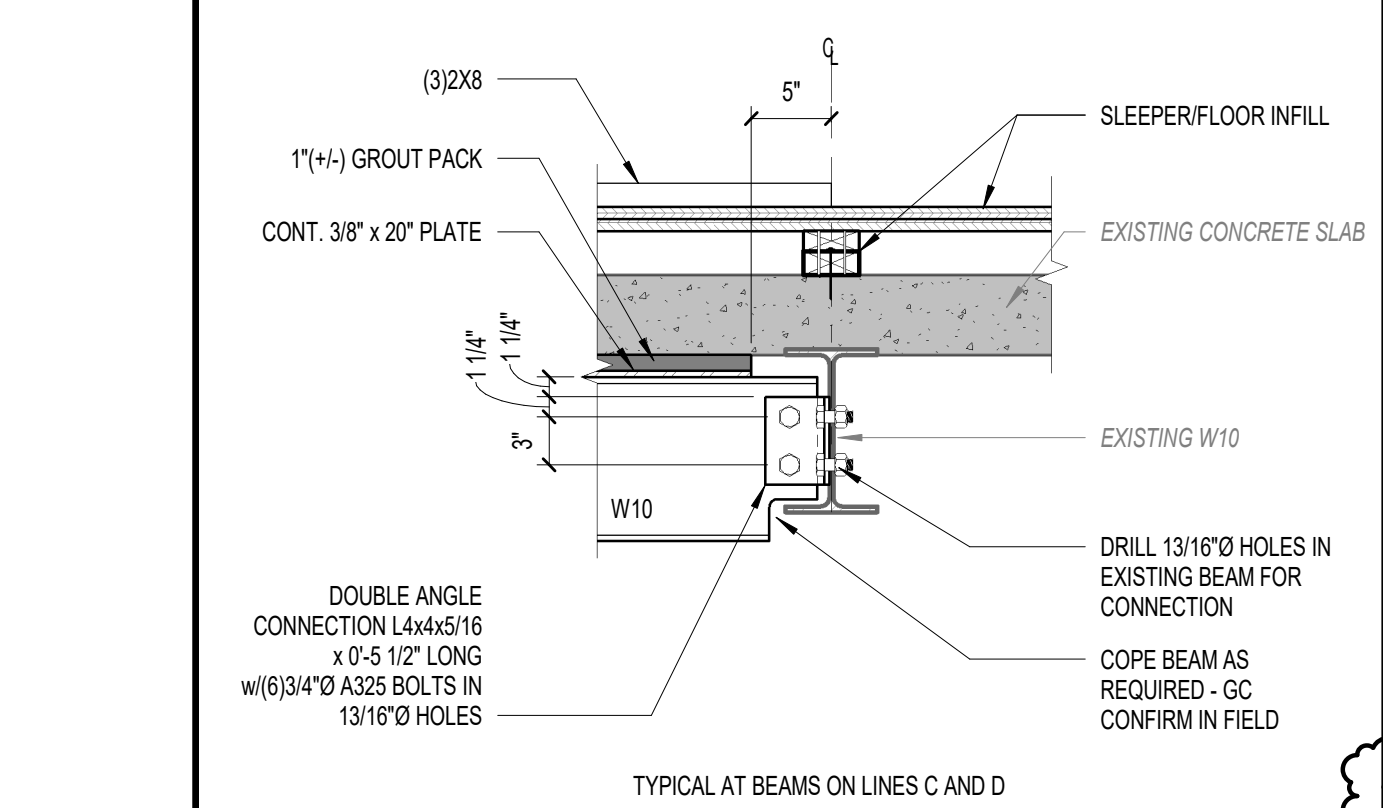
A4 DETAIL

1" = 1'-0"



A6 SECTION

3/4" = 1'-0"



A9 W10x33 TO (E)W10

1" = 1'-0"

NO.	DATE	BY	DESCRIPTION
2	10/27/2021		APPENDUM#2

Date: 10/25/21
 Drawn By: PED
 Checked By: JPC
 Project Mgr: WPF
 Card File: 21050.rvt
 Graphic Scale: 1" = 1'-0"

STRUCTURAL - ENLARGED FRAMING PLAN AND DETAILS

CENTER BUILDING - RENOVATION FOR TEMPORARY STORAGE AMHI FACILITY
 AUGUSTA, ME

SF-400

ISSUED FOR BID ~ 09/27/21 ~ NOT FOR CONSTRUCTION

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WHOLE SHEET