

To: Prospective Bidders

From:

WBRC Inc.

PO Box 1428

44 Central Street

Bangor, ME 04402

(207) 947-4511

www.wbrcinc.com

This Addendum forms a part of the Contract Documents and modifies the original Bidding Documents dated July 2, 2026, as noted below. Acknowledge receipt of the Addendum in the space provided on the Bid Form. Failure to do so may subject the Bidder to disqualification.

This Addendum consists of the following:

- Clarifications
- Drawing Changes

CLARIFICATIONS:

1. Mandatory Pre-Bid Attendance Sheet attached.
2. See attached RFI Log.

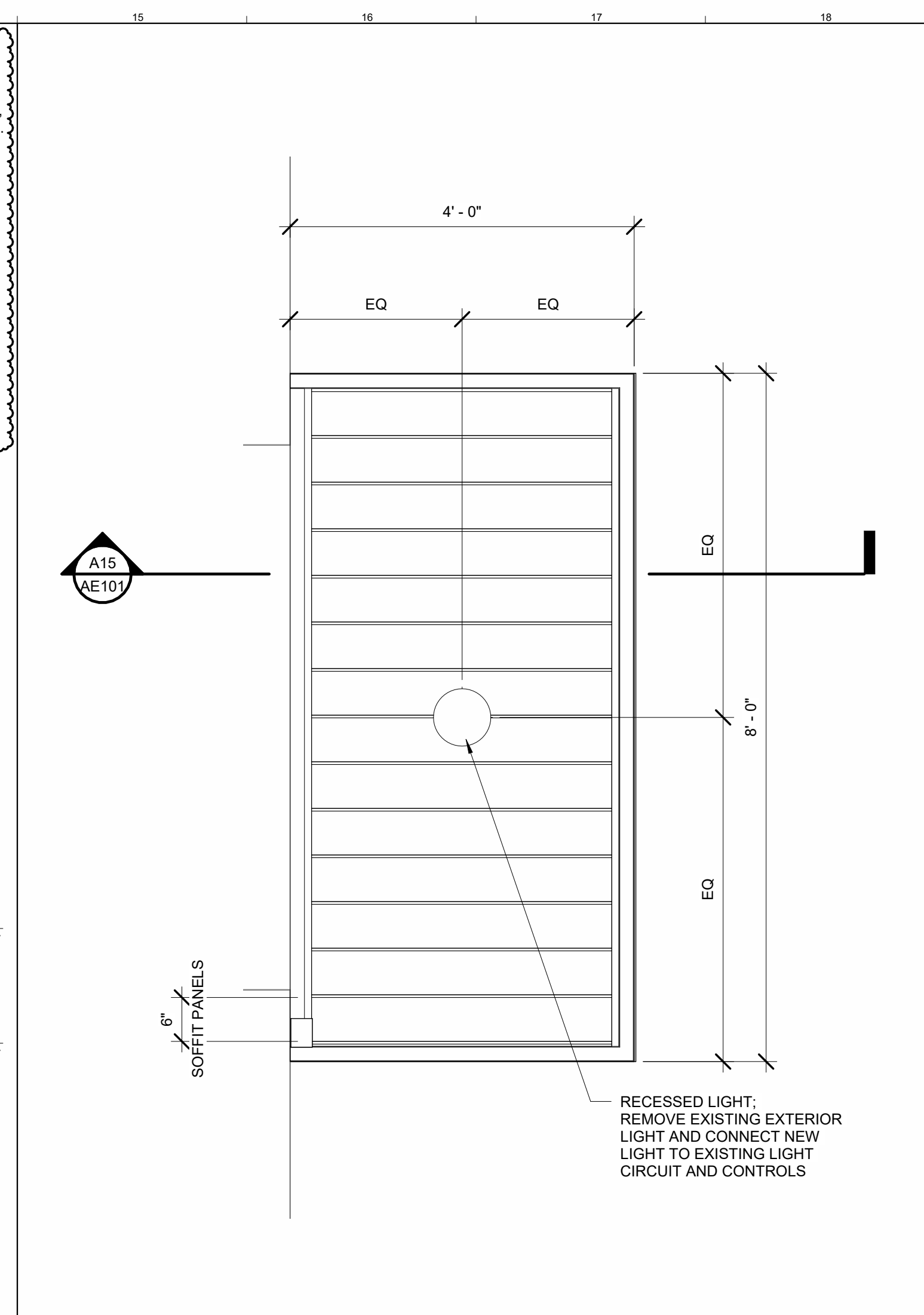
DRAWING CHANGES:

3. Sheet AE101, First Floor Plan & Details, DELETE and REPLACE with attached Sheet
 - a. Clarified Entry Stair Landing Dimension.
 - b. Added sidewalk control joints.
 - c. Clarified sidewalk thickness and mix psi.
 - d. Clarified existing wall insulation R-value
 - e. Clarified canopy connection
4. Sheet AE501, Removal & Construction Details, DELETE and REPLACE with attached Sheet.
 - a. Added North sidewalk plan.
 - b. Clarified stair railing note.
 - c. Added abrasive nosing.

END OF ADDENDUM

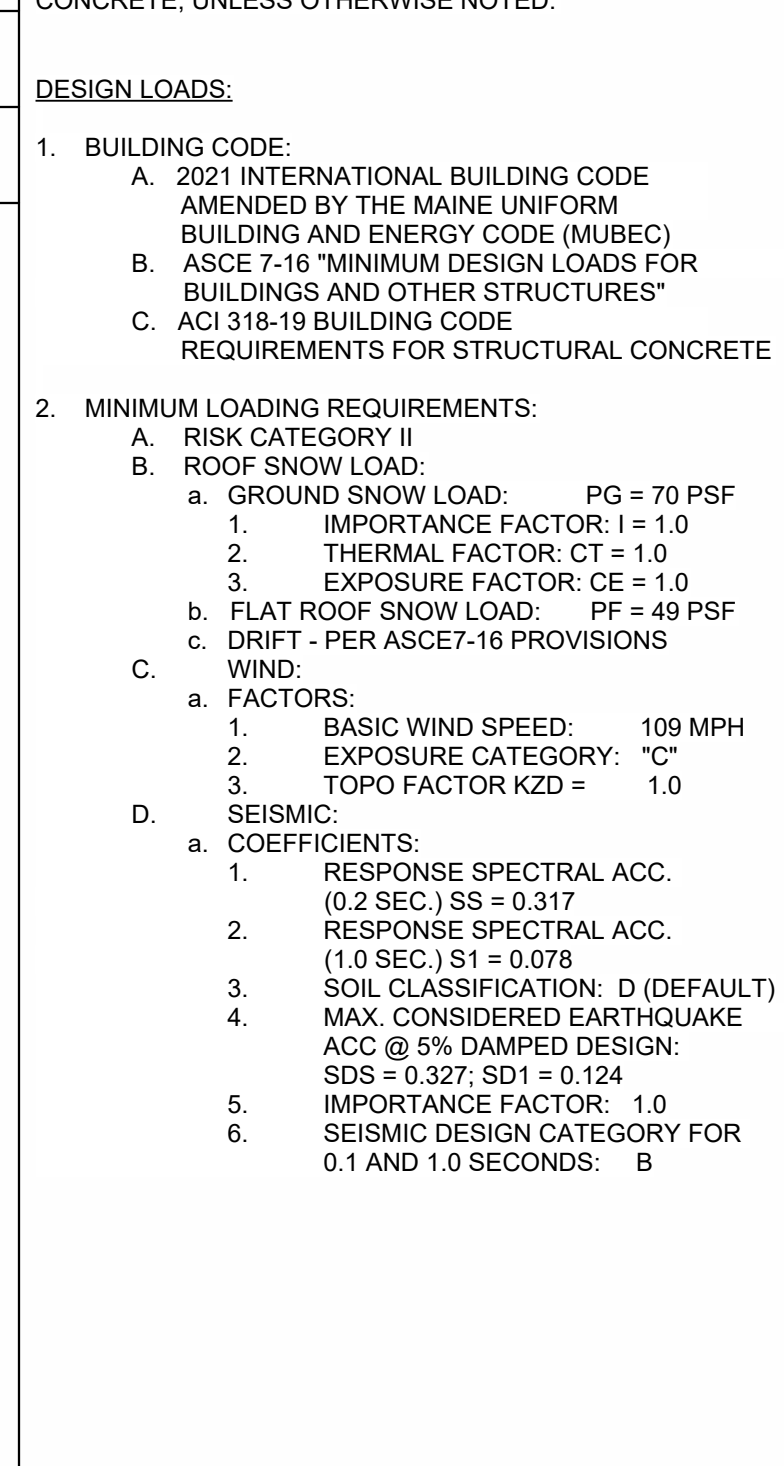
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Alex Hatch	E.J. Perry Const.	207-691-1846	ahatch@ejperry.com
TRAVOR LAWRENCE	LAKE SIDE Ce+AP	207-712-5365	Lawrence@lakesideap.com
Amanda Denning	H.E. Callahan	201-577-7023	bid@hecullivan.com
B. Pearson	Ducas Const.	207 899 9638	B. Pearson B. Pearson@DucasConstruction.com
MATT MAJTER	DOTENS CONSTRUCTION	207-865-4412	mettm@dotens.com
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Richie Jiang	Optimum Construction	207-303-4120	rjiang@optimumconstruction.com

Project Name	Wellness Center Re-Use Renovation BGS Project #3843			
Project Number	10017003			
Date	7/28/2026			
Prepared By	Dan Rowland			
Number	Pre-Bid Request For Information	Discipline	A/E Response	Response date
1	Perimeter drain dumps where? No civil drawings	Arch	Tie into existing, if existing drains are not encountered, new perimeter drains are not required.	7/27/2026
2	Through bolts for canopy how many are needed at lower portion of canopy?	Arch	See Addendum #01 - Sheet AE101, Detail A15 is updated to reference (6) ½” thru-bolts EQ Space between canopy.	7/27/2026
3	Entrance slabs tie to sidewalks how? No detail showing this	Arch	A1/AE101 shows isolation joint.	7/27/2026
4	H1/AE101 notes 4” slabs but details D8 notes 5” and A1 notes 6” thick CIP and then shows dimensions of 5”.	Arch	Frost-protected slab shall be 5” per D8. See Addendum #01 - Sheet AE101, Detail A1 is updated to reference 4" concrete sidewalk	7/27/2026
5	Flashing detail for tops of canopies to brick?	Arch	Flashing by Canopy Manufacturer	7/27/2026
6	Storefront are you just wanting prefinished white?	Arch	Yes	7/27/2026
7	Stair railings do they mount to building? a.Dimension on H1/AE101 goes into existing wall? Is the flat landing 5’- 3/16” to the wall?	Arch	No, they turn down to slab, match existing configuration. - Part a: See Addendum #01 - Detail H1 is updated to reference dimension to wall is approximately 4’-2” verify in field	7/27/2026
8	A1/AE101 says concrete is 4,500 psi and concrete notes on AE501 1C says 4,000 psi?	Arch	See Addendum #01 - Sheet AE101, Detail A1 is updated to reference 4,000psi	7/27/2026
9	G15/AE501 shows dowel leg going into existing concrete wall. Is this epoxied like the dowels? Do we need the dowl and the leg going into existing?	Arch	Vertical leg of bent bar should not extend into existing foundation wall.	7/27/2026
10	Are the new railings removable? What holds the railing post to the epoxied dowel?	Arch	Railings are not removable attach with (2) headless screws each	7/27/2026
11	A10/AE501 notes steel post and balusters. No balusters shown on drawing?	Arch	See Addendum #01 - Sheet AE501, Detail A10 is updated to remove reference to baluster	7/27/2026
12	Is there a detail on how entryway sidewalk is to be patched due to cutting it back to form new stairs?	Arch	Refer to General Removal Note #3 on AD101.	7/27/2026
13	Is there metal nosings on the new stairs?	Arch	See Addendum #01 - Sheet AE501, Detail A15 is updated to reference abrasive nosing at all stair treads.	7/27/2026
14	Concrete sidewalk to just butt up to pavement in parking lot? ADA tactile mat needed?	Arch	H1/ AE101 indicates concrete sidewalk butts to existing asphalt sidewalk. Existing tactile warning is along accesible sidewalk route.	7/27/2026
15	A5/AE101 notes 2” R-20 rigid but 2” rigid is R-10	Arch	See Addendum #01 - Sheet AE101, Detail A5 is updated to reference R-10	7/27/2026
16	What is the thickness/height of the canopy roof structure?	Arch	Coordinate with canopy manufacturer.	7/27/2026
17	Painted downspouts? What size and just prefinished?	Arch	Coordinate size with Canopy manufacturer. Prefinished	7/27/2026
18	Any hazardous in the project?	Arch	None is anticipated	7/27/2026
19	The window brick infill is it to be toothed back in? 8” cmu toothed in? Is the cmu to be painted or is there a wall covering on the inside?	Arch	Yes, tooth brick and block in existing, paint interior cmu to match existing.	7/27/2026
20	Any control joints in concrete landing or sidewalks?	Arch	See Addendum #01 - Sheet AE101, Plan H1 and Sheet AE501, Detail G12 are updated to reference control joints at 10' oc for sidewalks. No control joints in frost-proof landings	7/27/2026
21	Sidewalk going to parking lot is just a straight path? Also is it 10'-0” to match other one?	Arch	See Addendum #01 - Sheet AE101, Plan H1 and Sheet AE501, Detail G12 are updated to reference layout of sidewalk.	7/27/2026
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GENERAL NOTES:

1. REFER TO G102 SHEET FOR ALL ABBREVIATIONS AND SYMBOLS.
2. REFER TO ALL DRAWINGS FOR ADDITIONAL GENERAL NOTES, ABBREVIATIONS AND SYMBOLS.
3. "DOOR JAMBS ARE 4" FROM NEAREST ADJACENT INTERSECTING PARTITION UNLESS NOTED OTHERWISE. SEE DOOR DETAILS FOR FURTHER INFORMATION.
4. G.C. TO PROVIDE & INSTALL ALL IN-WALL OR IN-CEILING BLOCKING / BRACINGS AS REQUIRED FOR ALL MILLWORK ITEMS, EQUIPMENT, SHELVING, AND ACCESSORIES WHEN NOT SPECIFIED BY G.C. OR OTHERS COORDINATE WITH OWNER.
5. G.C. SHALL BE RESPONSIBLE FOR LAYING OUT THE SPACE PRIOR TO COMMENCING WORK AND SHALL NOTIFY THE ARCHITECT AND OWNER OF ANY DISCREPANCIES.
6. ALL CONCRETE MASONRY UNITS AND MORTAR TO INCLUDE AN INTEGRAL WATER REPELLENT.
7. REFER TO SHEET AE101 FOR DOOR SCHEDULE AND FRAMING TYPES.
8. ALL EXTERIOR DIMENSIONS ARE TO FACE STUD AND / OR FACE OF FOUNDATION AND MASONRY UNLESS SPECIFICALLY NOTED OTHERWISE.
9. ALL INTERIOR DIMENSIONS SHOWN ARE TO FACE OF FRAMING UNLESS SPECIFICALLY NOTED OTHERWISE.
10. REFER TO SHEET G103 FOR CODE COMPLIANCE AND OTHER REFERENCE INFORMATION AND FIRE RATED PARTITIONS AND SPACES. ALL MECHANICAL, ELECTRICAL, AND PLUMBING PENETRATIONS THROUGH WALLS AND PARTITIONS SHALL BE SLEEVED, FIRE SAFED AND / OR HAVE FIRE DAMPERS EQUIVALENT TO THE HOURLY FIRE RATINGS OF THE CONSTRUCTION.
11. ALL DRAWINGS ARE OF EQUAL IMPORTANCE IN DEFINING THE WORK OF THE CONTRACT DOCUMENTS. CONTRACTORS SHALL REVIEW ALL DRAWINGS BEFORE THE INSTALLATION OF THEIR WORK. SHOULD THERE BE A DISCREPANCY WITHIN AND BETWEEN THE DRAWINGS THAT WOULD CAUSE AN AVOIDABLE OR IMPROPER INSTALLATION NOTIFY ARCHITECT FOR CLARIFICATION PRIOR TO INSTALLATION OF SAID WORK. ANY WORK INSTALLED IN CONFLICT WITH ANY OF THE DRAWINGS SHALL BE CORRECTED BY CONTRACTOR AT THEIR EXPENSE AND AT NO ADDITIONAL COST TO THE OWNER OR ARCHITECT.
12. DO NOT SCALE DRAWINGS. THE DRAWINGS ARE NOT NECESSARILY TO SCALE - USE GIVEN DIMENSIONS. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE PRIOR TO THE START OF CONSTRUCTION. IN THE EVENT OF ANY DISCREPANCY, NOTIFY ARCHITECT FOR CLARIFICATION BEFORE COMMENCING THE WORK.
13. DETAILS NOT SHOWN ARE SIMILAR IN CHARACTER TO THOSE SHOWN WITH THE SPECIFIC DIMENSIONS, DETAILS, OR DESIGN INTENT NOT BE DETERMINED CONSULT ARCHITECT BEFORE PROCEEDING WITH THE WORK.
14. FINISH FLOOR ELEVATIONS ARE TO TOP OF FINISH FLOOR.





1	ADDENDUM 01	07/27/2026
0	ISSUED FOR BID	07/02/2026
REV.	DESCRIPTION	DATE
		07.02.26
PROJECT NORTH		
WBRCINC.COM		
WELLNESS CENTER RE-USE RENOVATION BGS PROJECT #3843		
PROJECT: 6 ELKIN LN, AUGUSTA, ME, 04330		
FIRST FLOOR PLAN & DETAILS		
SHEET TITLE:		
WBRC REVIT FILE:		FILE NAME - SHORT
PROJECT NO:	10017003	GRAPHIC SCALE: 0" 1"
SCALE:	As indicated	
PIC/M:	MLW	SHEET NO:
DRAWN BY:	JNF	AE101
CHECKED BY:	MLW	
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A15	TYPICAL CANOPY SECTION
3/4" = 1'-0"	AD110

