



DOC - Maine State Prison
Ship St. Housing Renovations
HOUSE 1

Ship Street Circle - Thomaston, Maine

REVIEW BID DOCUMENTS

Sheet List	
Sheet Number	Sheet Name
A000	COVER
A002	GENERAL NOTES & CODE INFORMATION
A100	HOUSE 1
A101	FLOOR PLAN - HOUSE 1 - LOWER LEVEL
A102	HOUSE 1 - Lower Level 001/002
A103	HOUSE 1 - Lower Level 003
A104	HOUSE 1 - Lower Level 004
A105	FLOOR PLAN - HOUSE 1 - MAIN LEVEL
A106	HOUSE 1 - Main Level - 06/07
A107	HOUSE 1 - Main Level - 08/09
A108	HOUSE 1 - Main Level - 10/11
A109	Roof Plan
A204	ELEVATIONS - H1-N
A205	ELEVATIONS - H1-EX-W / H1-EX-E
A206	ELEVATIONS - H1-S
A600	OUTLINE SPECIFICATIONS



GENERAL NOTES

1: **DRAWING NOTES:** CONTRACTOR TO FURNISH AND INSTALL ALL NOTED LABOR AND MATERIALS UNLESS OTHERWISE NOTED.

2: **CODE COMPLIANCE:** ALL WORK SHALL CONFORM TO THE LATEST EDITION OF STATE, LOCAL AND OTHER CODES WHICH APPLY TO THIS PROJECT OR HAVE JURISDICTION.

3: **COORDINATION:** IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL DISCIPLINES AND TRADES SO THAT ALL BUILDING SYSTEMS AND COMPONENTS CAN BE ASSEMBLED WITHOUT CONFLICTS. IN THE EVENT THAT THE CONSTRUCTION DOCUMENTS DEFINE CONDITIONS WHICH PROHIBIT, OR MAY PROHIBIT, SUCH ASSEMBLY, THE CONTRACTOR SHALL BRING TO THE ARCHITECT'S ATTENTION, IN WRITING AND IN A TIMELY FASHION, SUCH CONDITION. THE CONTRACTOR AND HIS/HER SUBCONTRACTORS SHALL BE RESPONSIBLE FOR PROVIDING MATERIALS AND SYSTEMS SHOWN IN THE CONSTRUCTION DOCUMENTS REGARDLESS OF WHERE THE INFORMATION IS LOCATED. WHERE COMPONENTS OF A SYSTEM ARE INDICATED THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL LABOR AND MATERIALS NECESSARY TO COMPLETE THE SYSTEM.

4: **DISCREPANCIES & CLARIFICATIONS:** THIS PROJECT INVOLVES THE FIT-UP OF AN EXISTING BUILDING. EXISTING DIMENSIONS SHOWN ON THE DRAWINGS ARE BELIEVED TO BE ACCURATE, BUT CANNOT BE GUARANTEED, MEASURE AND VERIFY DIMENSIONS IN FIELD PRIOR TO FABRICATION AND CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BRING TO THE ARCHITECTS ATTENTION ANY DISCREPANCIES OR AMBIGUITIES IN THE DRAWINGS AND/OR SPECIFICATIONS.

5: **LAYOUT:** UNLESS INDICATED OTHERWISE, CENTER WALL FRAMING AND PARTITION FRAMING ON COLUMN LINES. FLOOR PLAN DIMENSIONS ARE TO FACE OF FRAMING, FACE OF CONCRETE, FACE OF CMU, OR FROM COLUMN CENTERLINES, UNLESS INDICATED OTHERWISE.

6: **ACCESSIBILITY:** ALL HANDICAPPED ACCESSIBLE BATHROOMS, GRAB BARS, AND DOOR OPENINGS SHALL MEET THE REQUIREMENTS OF TITLE 94-348, CHAPTER 5 OF THE MAINE HUMAN RIGHTS COMMISSION TITLE LATEST EDITION & THE DEPARTMENT OF JUSTICE ADA STANDARDS FOR ACCESSIBLE DESIGN.

7: **DRAWING SCALES:** WORK FROM THE GIVEN DIMENSIONS ONLY. SCALE IS INDICATED ON THE DRAWINGS FOR CONVENIENCE ONLY. IT IS NOT INTENDED THAT INFORMATION BE DETERMINED BY SCALING THE DRAWINGS SINCE SOME ITEMS MAY NOT BE TO SCALE.

8: **WATER-RESISTANT GWB:** INSTALL WATER-RESISTANT GYPSUM WALL BOARD IN ALL REST ROOMS & TOILET ROOMS OR AT ANY WALL WITH PLUMBING FIXTURES.

9: **BUILDING INSULATION:** PROVIDE AS INDICATED IN WALL SECTIONS AND IN ACCORDANCE WITH PARTITION TYPES, WHETHER OR NOT SHOWN IN DETAILS AND OTHER DRAWINGS. FOR CLARITY, INSULATION MAY NOT BE SHOWN IN SOME CASES, EVEN IF IT IS TO BE PROVIDED.

10: **BLOCKING:** INSTALL BLOCKING BEHIND ALL SURFACE-APPLIED FIXTURES TRIM, CASEWORK, SHELVES, BRACKETS, TOILET ACCESSORIES, CHAIR RAILS, PICTURE RAILS, GRAB BARS, BASE MOLDINGS, AND AS OTHERWISE REQUIRED, WHEN SUCH ITEMS ARE APPLIED ON STUD WALLS.

11: **PENETRATIONS AT STRUCTURAL MEMBERS:** BEFORE PENETRATING JOISTS, BEAMS OR OTHER STRUCTURAL MEMBERS, CONSULT WITH THE ARCHITECT.

12: **DAMAGED WORK:** BUILDING OR SITE COMPONENTS WHICH ARE AFFECTED BY NEW WORK, DEMOLITION, OR WHICH MAY BE DAMAGED BY THE GENERAL CONTRACTOR OR ANY SUB-CONTRACTOR SHALL BE REPLACED OR RESTORED TO ORIGINAL CONDITION AND COLOR TO MEET THE APPROVAL OF THE ARCHITECT.

13: **RATED CONSTRUCTION:** PROVIDE RATED CONSTRUCTION AS REQUIRED BY CODE, AS SPECIFIED, AND AS INDICATED ON DRAWINGS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE AND INSTALL ALL COMPONENTS REQUIRED TO CREATE SUCH RATED CONSTRUCTION, REGARDLESS OF WHETHER OR NOT SUCH COMPONENTS ARE INDICATED. PROVIDE CONTINUITY OF SUCH RATED CONSTRUCTION AROUND AND BETWEEN SPACES, INCLUDING AT CHASES AND AT FLOORS, TO MAINTAIN COMPLETE SEPARATIONS, EVEN IF NOT SPECIFICALLY INDICATED.

14: **INTERIOR FINISHES:** ALL INTERIOR FINISHES AND FURNISHINGS ARE TO BE CLASS 'A' FIRE-RATED AND ARE TO COMPLY WITH IBC CHAPTER-8 (INTERIOR FLAME SPREAD).

15: **TEMPORARY FACILITIES:** PROVIDE ALL TEMPORARY FACILITIES AND SERVICES, CONSTRUCTION AND SUPPORT FACILITIES, AND SECURITY AND PROTECTION AS NEEDED TO PROTECT NEW AND EXISTING CONSTRUCTION FOR THE DURATION OF A COMPLETE INSTALLATION.

16: **MANUFACTURERS INSTRUCTIONS:** ALL MATERIALS & EQUIPMENT SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.

17: **ASBESTOS:** ALL MATERIAL USED FOR THE CONSTRUCTION OF THIS PROJECT, WHETHER BUILDING MATERIALS OR APPURTENANCES, SHALL BE NON-ASBESTOS CONTAINING MATERIAL.

18: **HAZARDOUS FUMES:** THE GENERAL CONTRACTOR SHALL CONFIRM THAT ALL MATERIAL AND FINISHES SPECIFIED AND THEIR FABRICATION OR INSTALLATION WILL NOT RELEASE FUMES OR AROMAS DURING CONSTRUCTION WHICH MAY BE A HAZARD OR NUISANCE TO PERSONNEL.

19: **PEST CONTROL:** SEAL AND CAULK AROUND ALL PENETRATIONS, CRACKS AND CREVICES AND ANY OPENINGS CAPABLE OF HARBORING INSECTS/RODENTS.

20: **EXPOSED UTILITIES:** ALL EXPOSED UTILITY WIRES AND PIPES (ELECTRICAL, PLUMBING, ETC.) SHALL BE INSTALLED IN A WAY THAT DOES NOT OBSTRUCT OR PREVENT THE CLEANING OF FLOORS, WALLS, AND CEILING AREAS. THEY SHALL BE INSTALLED A MINIMUM OF 6" OFF FLOORS AND 1" OFF WALLS, CEILINGS AND ADJACENT PIPES.

21: **OWNER SUPPLIED EQUIPMENT:** EQUIPMENT SUPPLIED BY THE OWNER AND INSTALLED BY THE GENERAL CONTRACTOR. EQUIPMENT INFORMATION AND SPECIFICATIONS ARE TO BE THE MOST CURRENT AVAILABLE AT THE TIME OF DOCUMENTATION PREPARATION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING WITH THE OWNER THE EXACT DIMENSIONS AND EQUIPMENT CONNECTION REQUIREMENTS (INCLUDING ELECTRICAL CIRCUIT REQUIREMENTS) OF EQUIPMENT TO BE SUPPLIED. THE GENERAL CONTRACTOR SHALL MAKE ALL FINAL CONNECTIONS AS NOTED ON THE DRAWINGS, INSTALL THE SET UP IN WORKING ORDER, CHECK WARRANTIES, TEST AND NOT VOID WARRANTIES. THE GENERAL CONTRACTOR SHALL COORDINATE WITH THE OWNER DELIVERY, STORAGE AND INSTALLATION OF ALL OWNER SUPPLIED EQUIPMENT. THE GENERAL CONTRACTOR SHALL STORE EQUIPMENT IF REQUESTED BY THE OWNER UNTIL INSTALLATION. SEE DRAWINGS FOR OTHER OWNER SUPPLIED/GENERAL CONTRACTOR INSTALLED ITEMS.

22: **FIRE PROTECTION NOTE:** EXISTING SPRINKLERHEADS, ALARM SYSTEM AND DETECTORS ARE TO BE MODIFIED TO CONFORM. WITH THE PROPOSED PLAN. COORDINATE WITH THE ARCHITECT, ANY MODIFICATION OR LOCATIONS WHERE EXISTING SYSTEMS ARE AFFECTED BY THE NEW DESIGN.

23: **SOILS AT FOOTINGS:** REPORT THE LOCATION OF ALL UNSUITABLE SOILS AND MATERIALS BELOW ANTICIPATED LEVEL OF FOOTING TO THE ARCHITECT PRIOR TO THE SETTING OF FORMS.

24: **ACCESS PANELS:** CONTRACTOR IS RESPONSIBLE FOR COORDINATING QUANTITY AND LOCATION OF ALL REQUIRED ACCESS PANELS FOR ALL MEP CONTROLS, CLEANOUTS, DAMPERS, PULL BOXES, ETC.

25: **EXISTING HAZARDOUS MATERIALS:** ALL HAZARDOUS MATERIALS INCLUDING BUT NOT LIMITED TO ASBESTOS AND LEAD PAINT ARE TO BE HANDLED, ENCAPSULATED, ABATED AND DISPOSED OF IN ACCORDANCE WITH ANY AND ALL FEDERAL, STATE AND LOCAL REQUIREMENTS AND REGULATIONS.

26: **PROVIDE GRADE SLOPE** AWAY FROM HOUSE FOR DRAINAGE AT ALL SIDES OF FOUNDATION

27: **FOUNDATION PAINTING** - EXISTING AND NEW EXPOSED FOUNDATION TO BE PAINTRED WITH CONCRETE PAINT, COLOR: TBD

28: **PLUMBING** - ADD NEW PLUMBING LINE TO WATER METER FOR IRRIGATION

MECHANICAL
PROVIDE EXHAUST FAN IN BATHS. COORDINATE LOCATION OF DUCTS AND VENTS REQUIRED FOR HVAC SYSTEM WITH ARCHITECT. COORDINATE LOCATION OF PLUMBING VENT STACK WITH ARCHITECT.

ELECTRICAL
ALL ELECTRICAL WORK TO COMPLY WITH THE NATIONAL ELECTRICAL CODE FIXTURES INSTALLED IN AN INSULATED CAVITY SHOULD BE RATED FOR SUCH APPLICATION. COORDINATE LOCATION OF ALL CEILING AND ELECTRICAL DEVICES WITH ARCHITECT.

STRUCTURAL
INCLUDING BUT NOT LIMITED TO ACI 318 "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE" AND ACI 301 "SPECIFICATIONS FOR STRUCTURAL CONCRETE."

CONCRETE SHALL BE READY-MIXED CONCRETE, PROPORTIONED, MIXED, AND PLACED IN ACCORDANCE WITH THE PROVISIONS SET FORTH IN ACI 318. JOB-SITE MIXING OF CONCRETE WILL NOT BE PERMITTED. REINFORCING BARS SHALL CONFORM TO ASTM A615 GRADE 60 DEFORMED BARS AND SHALL BE DETAILED, FABRICATED, AND PLACED IN ACCORDANCE WITH ACI 315. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185 AND SHALL BE PROVIDED IN FLAT SHEETS. LAP TWO SQUARES AT ALL JOINTS AND TIE AT 3'-0" ON CENTER.

CONCRETE MIX DESIGN: INTERIOR SLABS-ON-GRADE:

- STRENGTH: 3,000 PSI @ 28 DAYS
- AGGREGATE: 3/4"
- W/C RATIO: 0.55 MAX
- ENTRAPPED AIR ONLY (NO ENTRAINMENT): 3% MAX
- SLUMP: 4" MAX
- TYPICAL FLOOR SLAB SHALL BE CONCRETE SLAB ON GRADE W/ 6X6 - 1.4 X 1.4 WWF

1 1/2" GWB
2x4 Stud @ 16" o.c.
1/2" GWB

2 1/2" GWB
2x6 Stud @ 16" o.c.
1/2" GWB

F1 5/8" GWB - TYPE X
2x6 Stud @ 16" o.c.
Batt Insulation
5/8" GWB - TYPE X

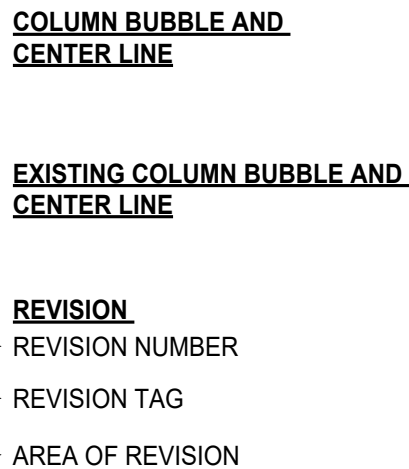
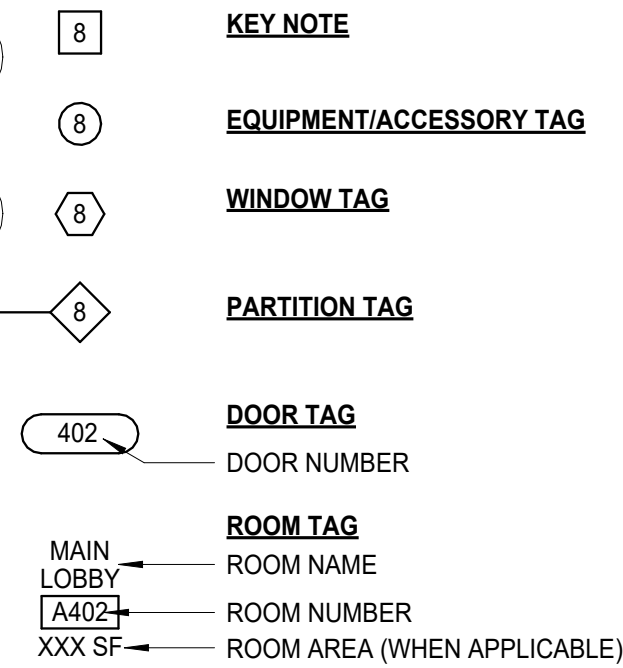
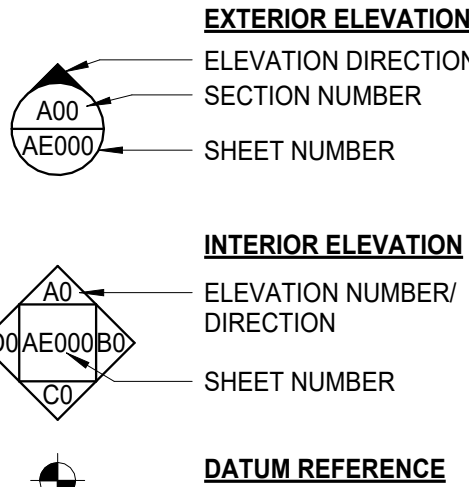
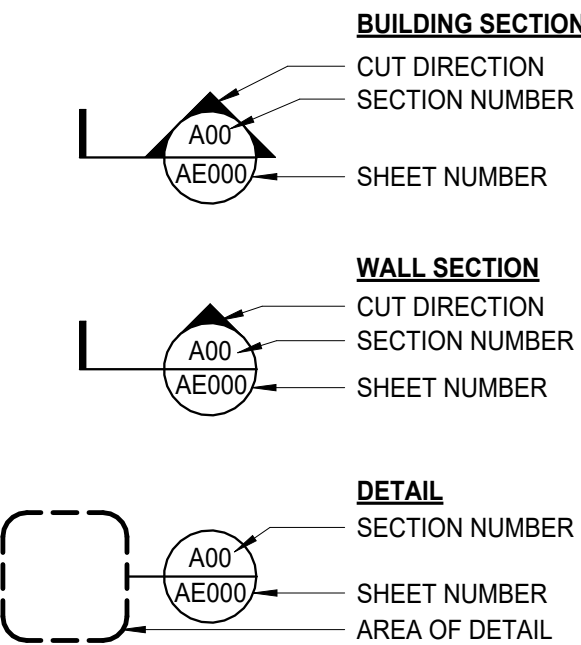
SW 1/2" GWB
7/16" Plywood Sheathing
2x4 Stud @ 16" o.c.
1/2" GWB

Wall Types
1/2" = 1'-0"

	GRAVEL		WOOD (Blocking)
	CONCRETE		ROUGH WOOD
	EARTH		BATT INSULATION
	GYPSUM		RIGID INSULATION
	PLYWOOD		BLOWN IN
	CMU		SAND
	WOOD		WOOD (FINISH)

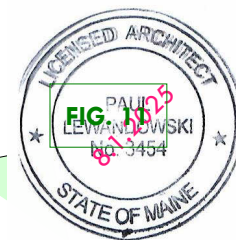
Material Key
3/16" = 1'-0"

SYMBOL LEGEND:





Scale 1/2" = 1'-0"

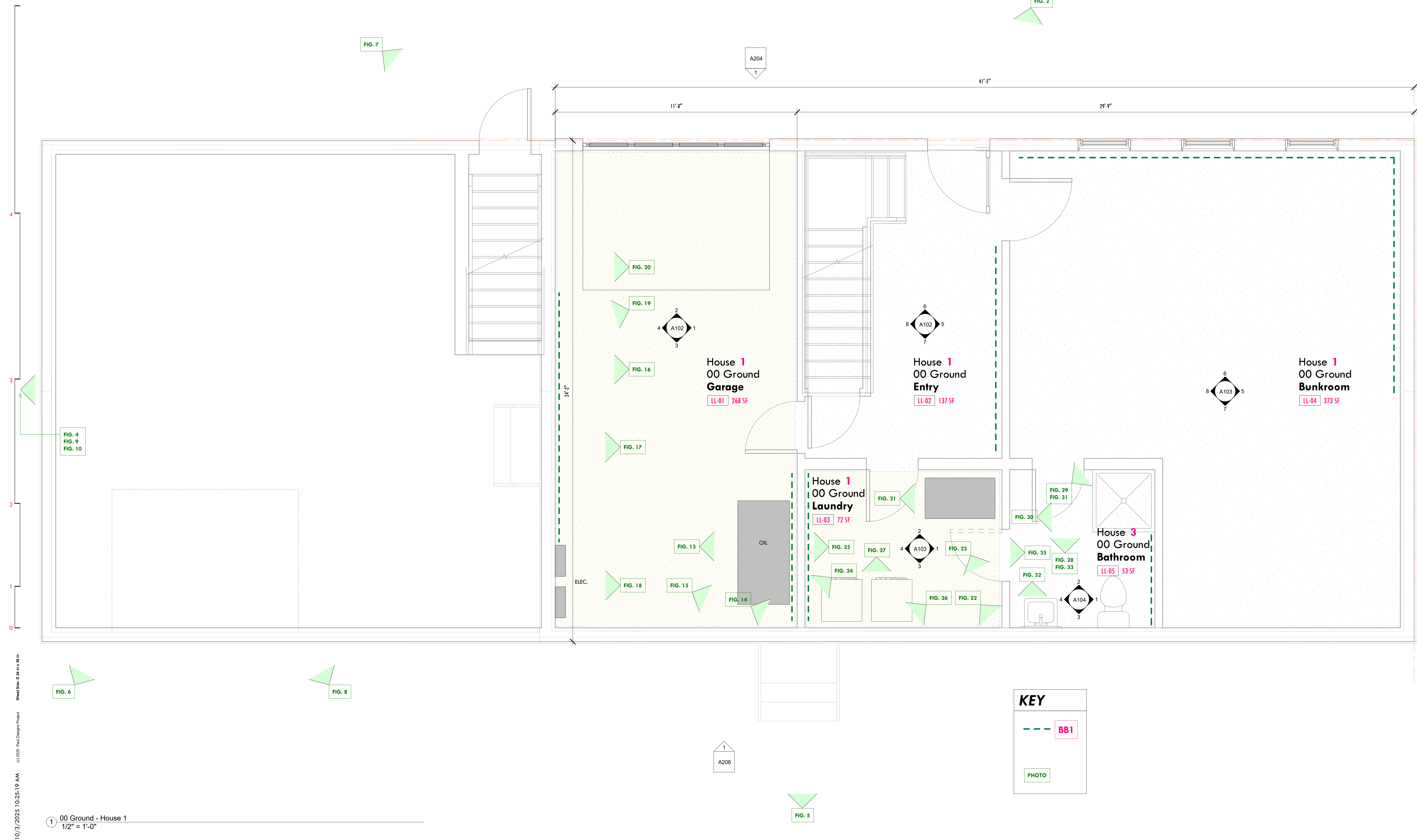


Department of Corrections
Ship Street - Thomaston, ME
FLOOR PLAN - HOUSE 1 - LOWER LEVEL

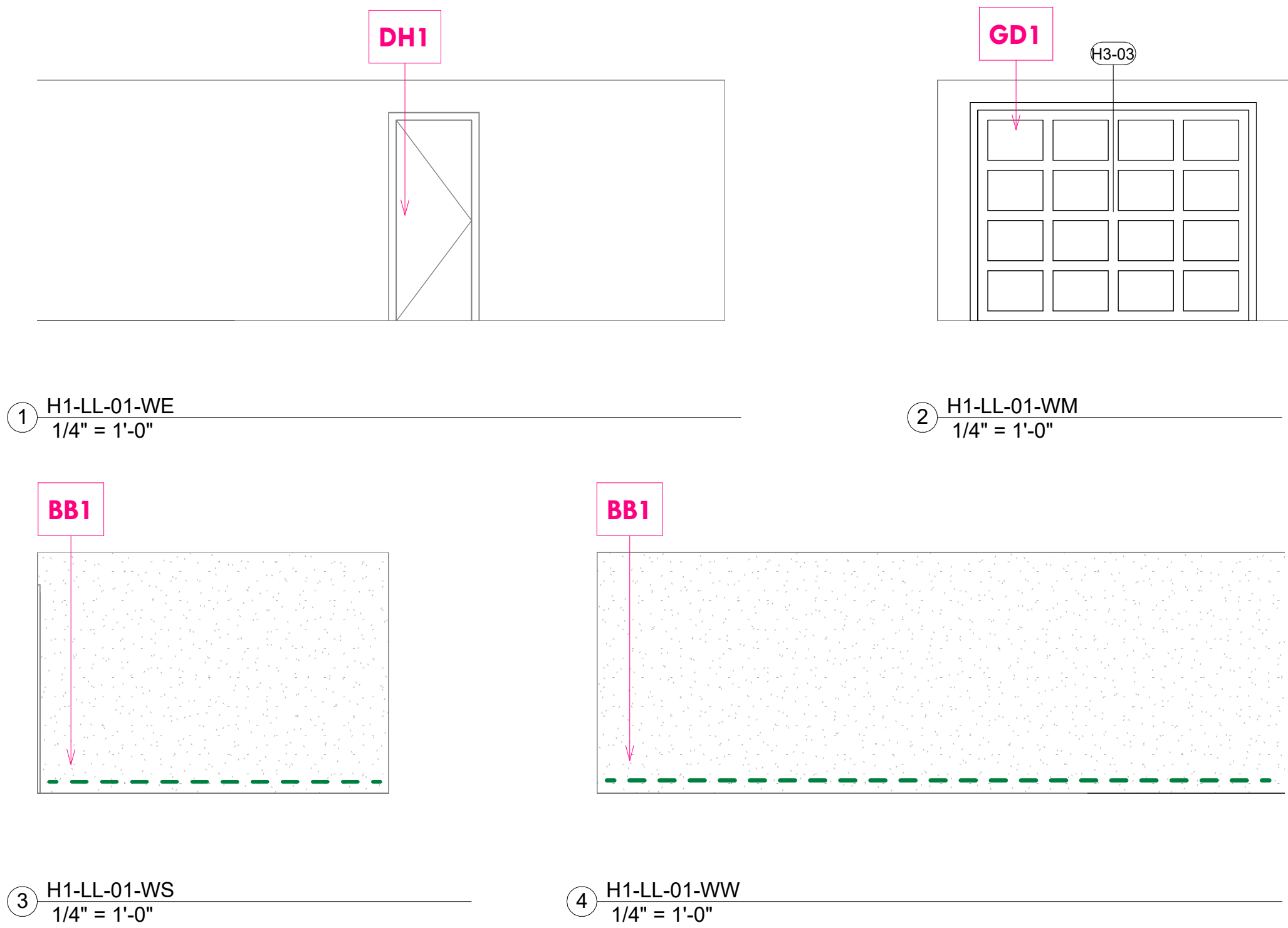
www.pauldesignsproject.com
207.747.5080
22 Monument Square | Suite 602 | Portland, ME | 04101



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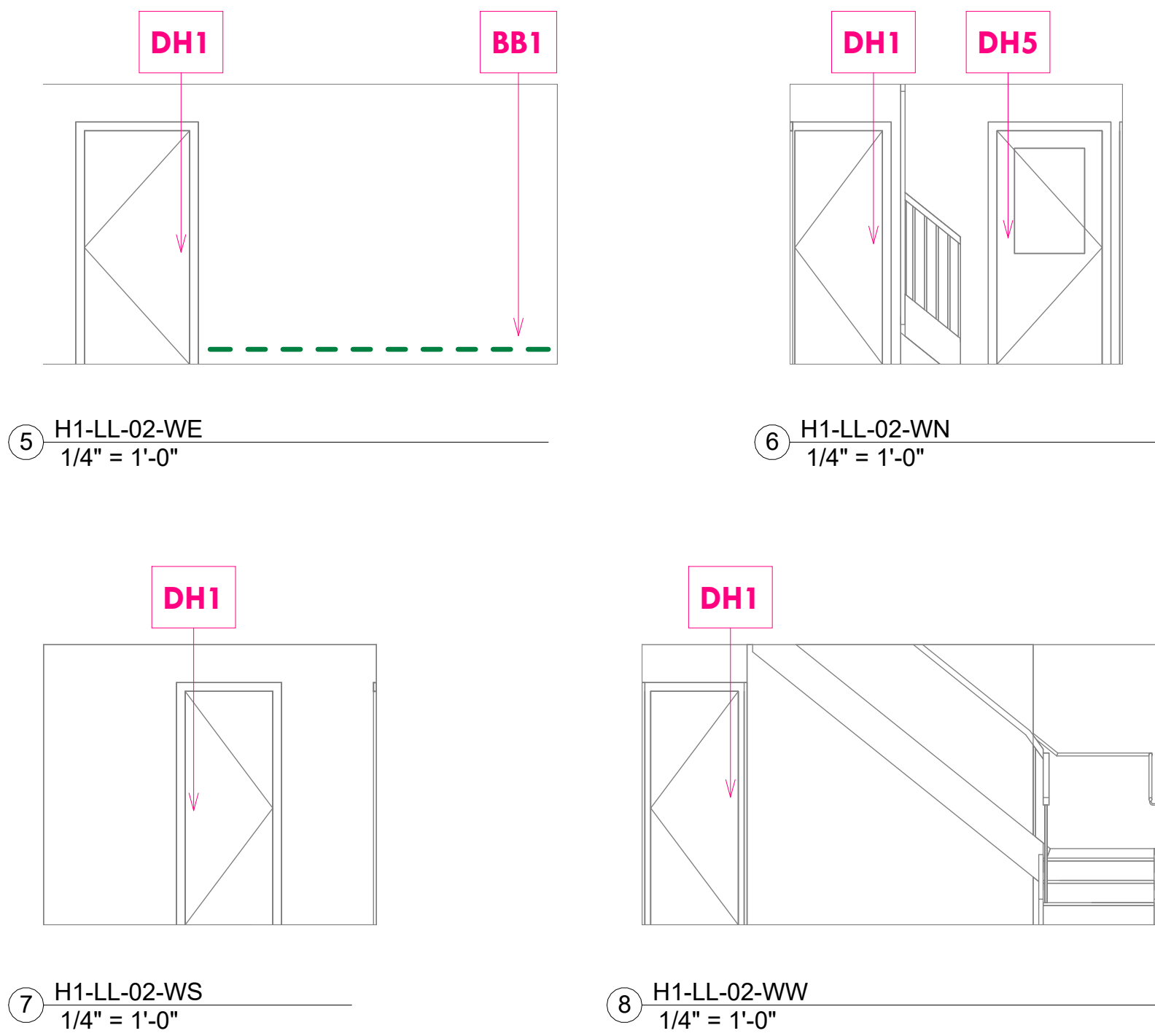
H1-LL-01 Garage



SCOPE OF WORK

KEY	NOTES
GD1	<ul style="list-style-type: none">Remove garage door, prep for install of new
BB1	<ul style="list-style-type: none">Provide unit cost for hydronic baseboard replacement within a \$10,000 net allowanceReplace hydronic piping in accordance with unit cost and net allowanceReplace all baseboard covers
DH1	<ul style="list-style-type: none">Remove & replace door handle hardware
GN#	<ul style="list-style-type: none">Abatement of oil contamination under tankReplace damaged pipes and conduitReplace Insulating sleeve on Hot Water Supply/Return of hydronic heating systemRemove and consolidate electrical panel and test for any unused conduit & wiresReplace damaged finish wall areas and general cleaning

H1-LL-02 Entry

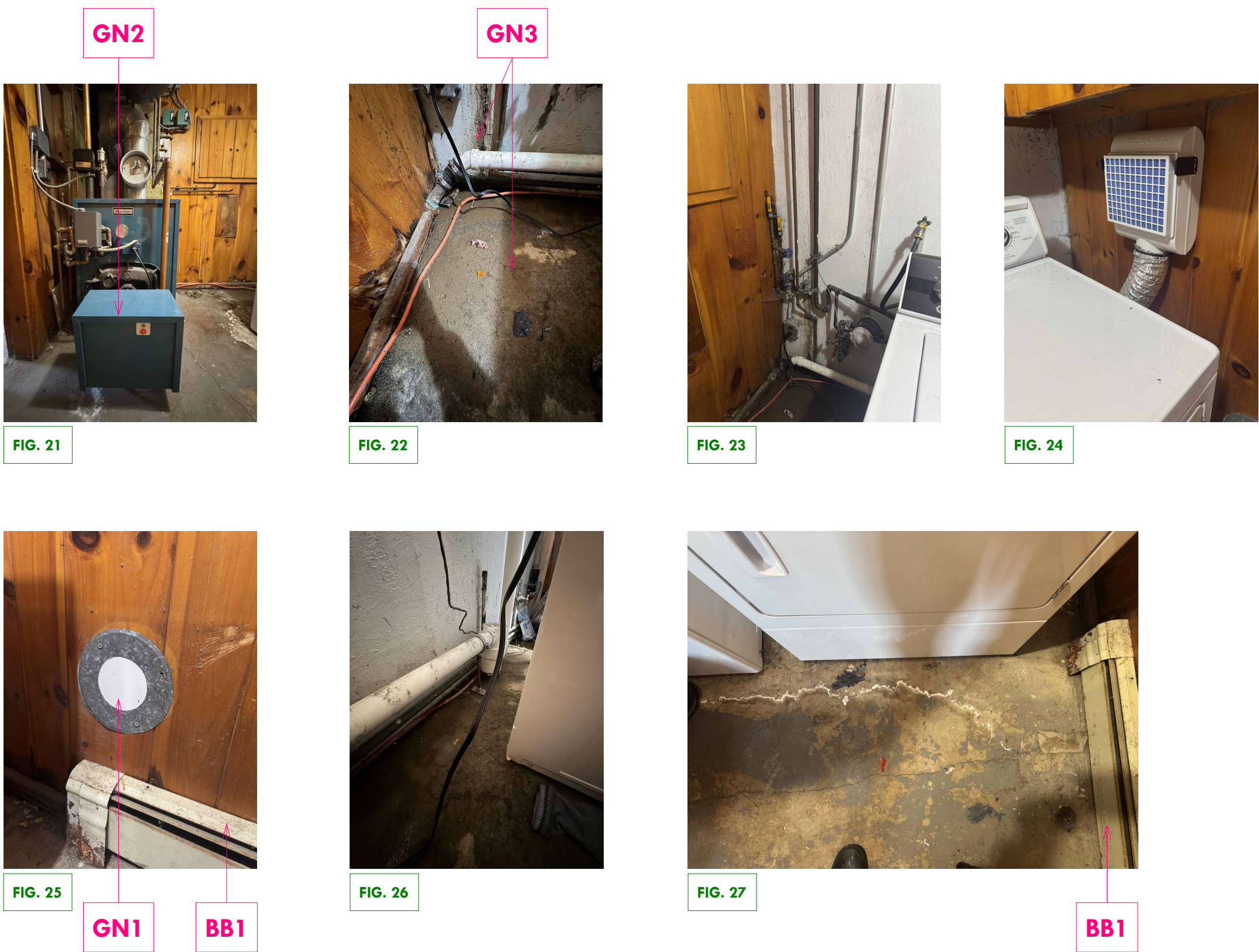
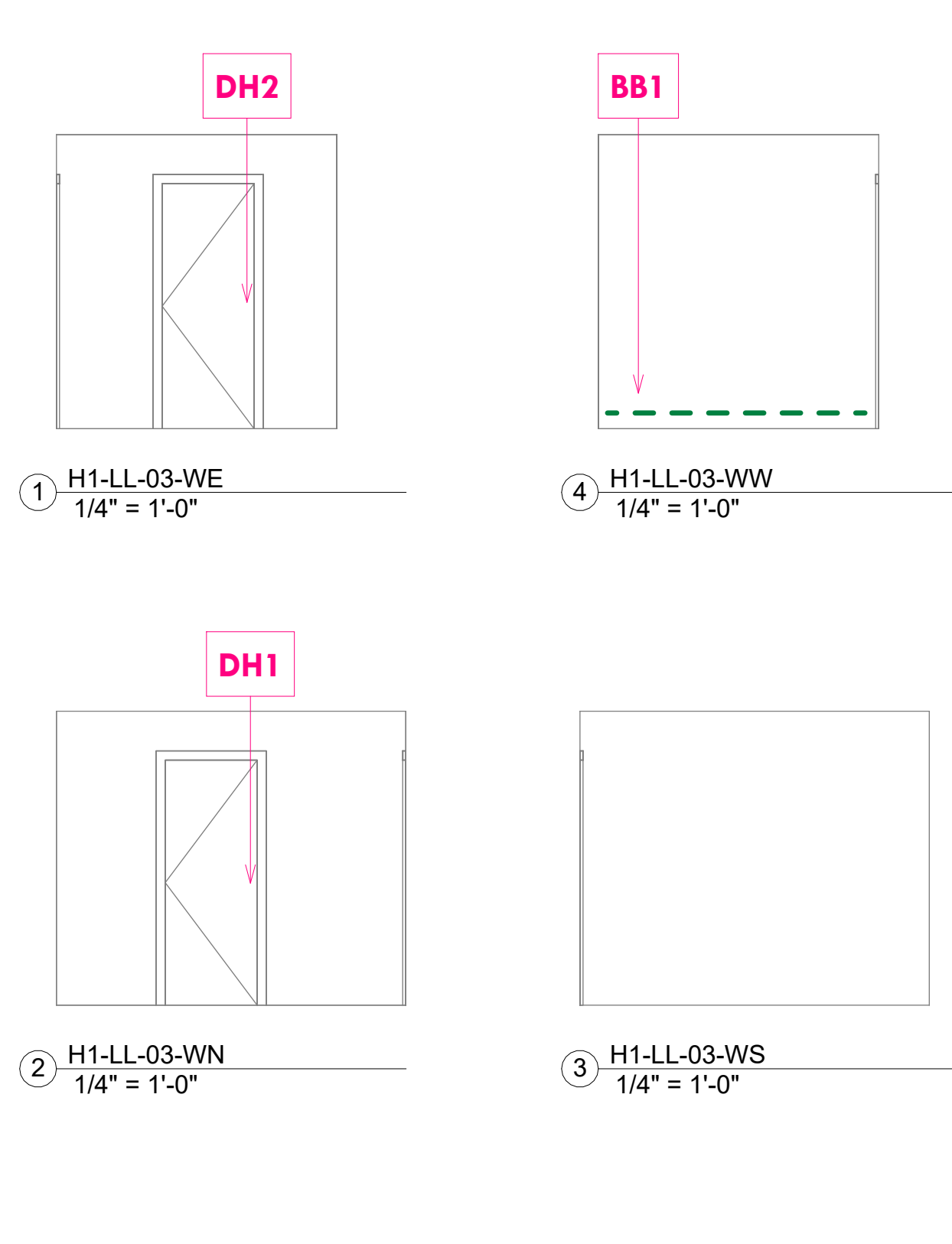


SCOPE OF WORK

KEY	NOTES
DH1	<ul style="list-style-type: none">Remove & replace door handle hardware
DH5	<ul style="list-style-type: none">Remove & replace door handle hardware w/ keypad
BB1	<ul style="list-style-type: none">Provide unit cost for hydronic baseboard replacement within a \$10,000 net allowanceReplace hydronic piping in accordance with unit cost and net allowanceReplace all baseboard covers
GN#	<ul style="list-style-type: none">Replace broken or missing receptacle coversReplace broken, damaged or missing ballastsEvaluate condition of stairs and repair as needed



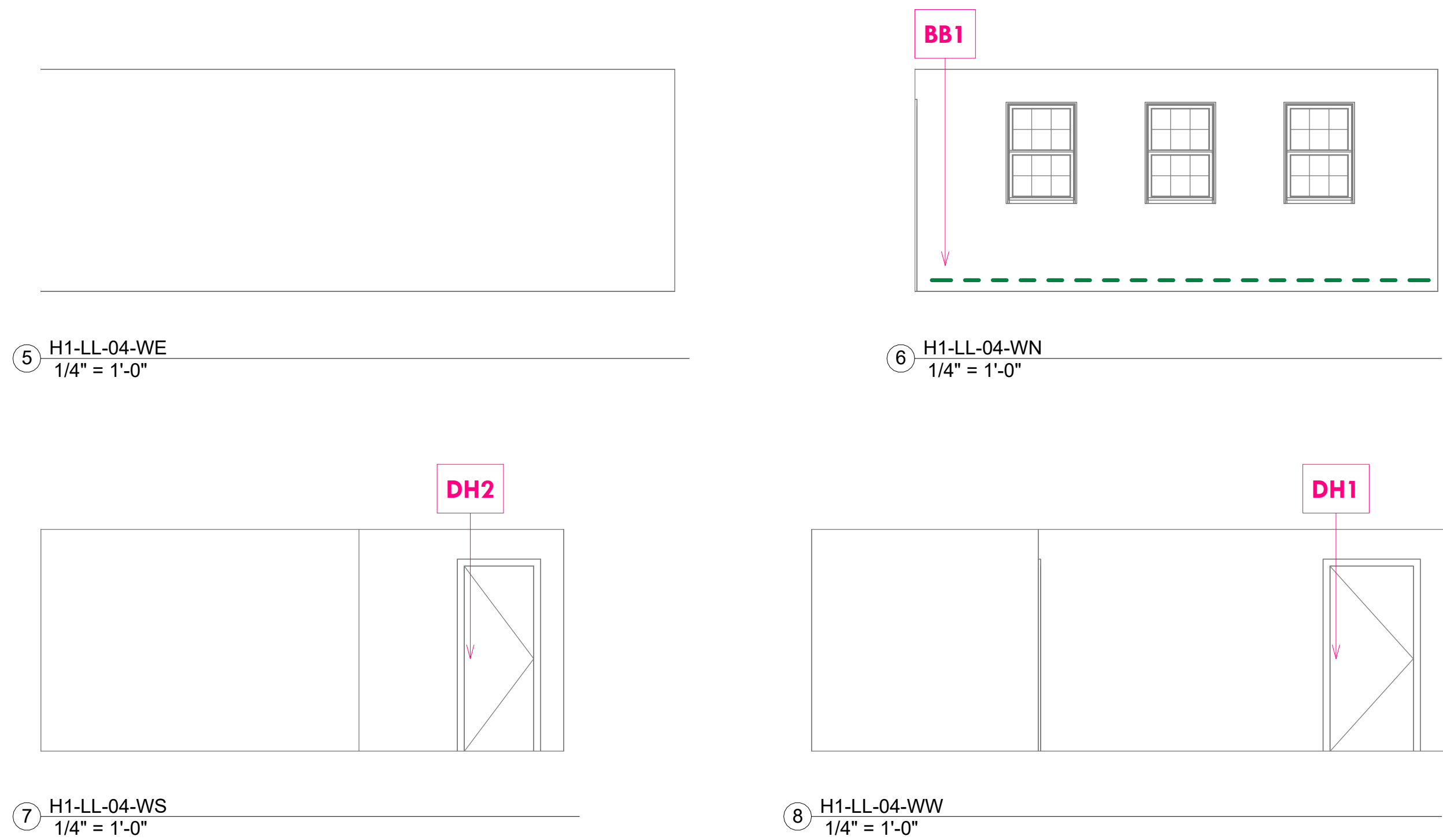
H1-LL-03 Laundry



SCOPE OF WORK

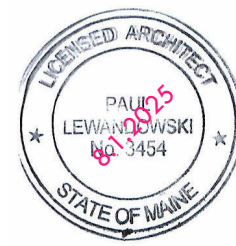
KEY	NOTES
DH1	<ul style="list-style-type: none">Remove & replace door handle hardware
DH2	<ul style="list-style-type: none">Remove & replace door handle hardware
BB1	<ul style="list-style-type: none">Provide unit cost for hydronic baseboard replacement within a \$10,000 net allowanceReplace hydronic piping in accordance with unit cost and net allowanceReplace all baseboard covers
GN#	<ul style="list-style-type: none">Check existing dryer vent for blockageClean and service boilerProvide unit cost for boiler replacementEvaluate moisture build-up, check PVC fastening for leaks and replace or reseal

H1-LL-04 Bunkroom



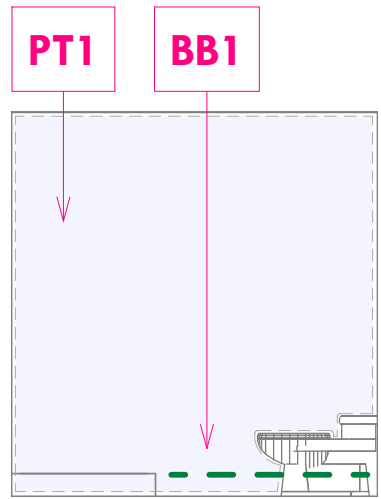
SCOPE OF WORK

KEY	NOTES
DH1	<ul style="list-style-type: none">Remove & replace door handle hardware
DH2	<ul style="list-style-type: none">Remove & replace door handle hardware
BB1	<ul style="list-style-type: none">Provide unit cost for hydronic baseboard replacement within a \$10,000 net allowanceReplace hydronic piping in accordance with unit cost and net allowanceReplace all baseboard covers
GN#	

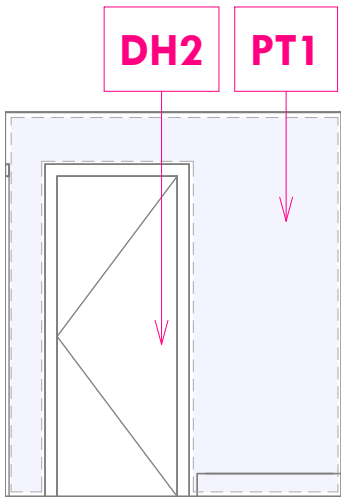




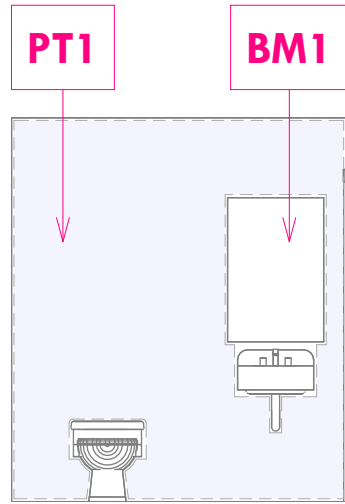
H1-LL-05 Bathroom



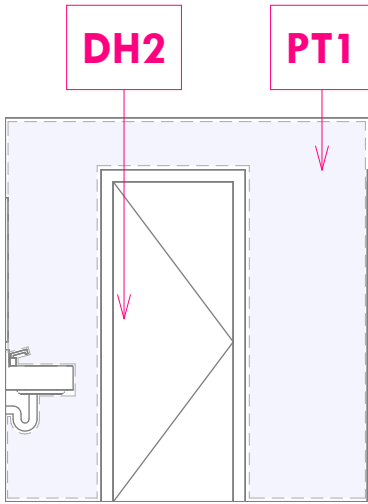
1 H1-LL-05-WE
1/4" = 1'-0"



2 H1-LL-05-WN
1/4" = 1'-0"



3 H1-LL-05-WS
1/4" = 1'-0"



4 H1-LL-05-WW
1/4" = 1'-0"



FIG. 28



FIG. 29



FIG. 30

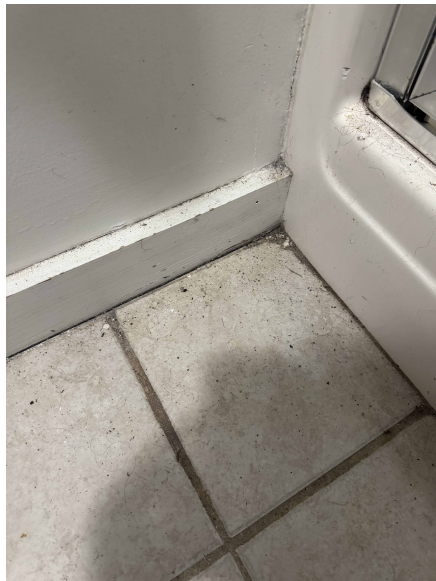


FIG. 31

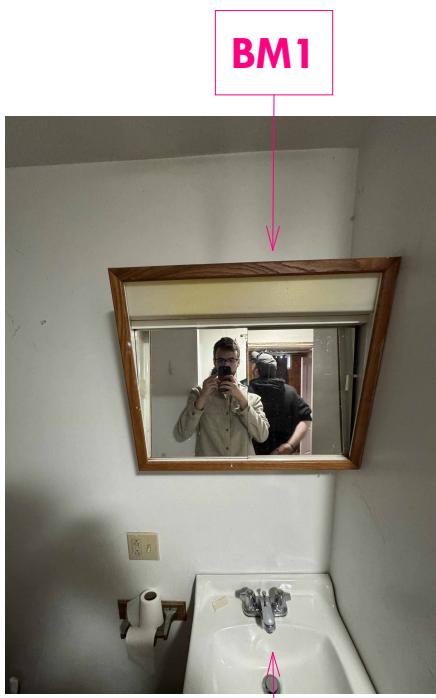


FIG. 32



FIG. 33



FIG. 34

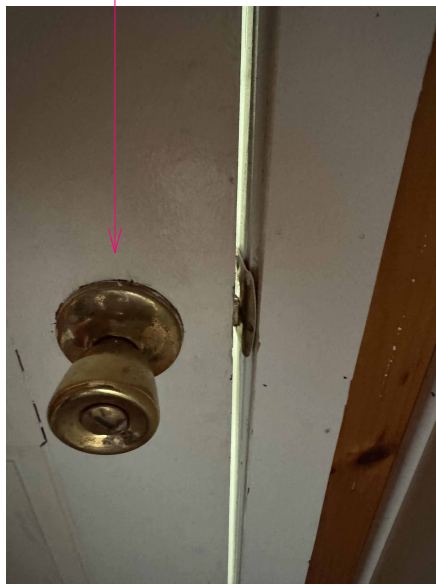
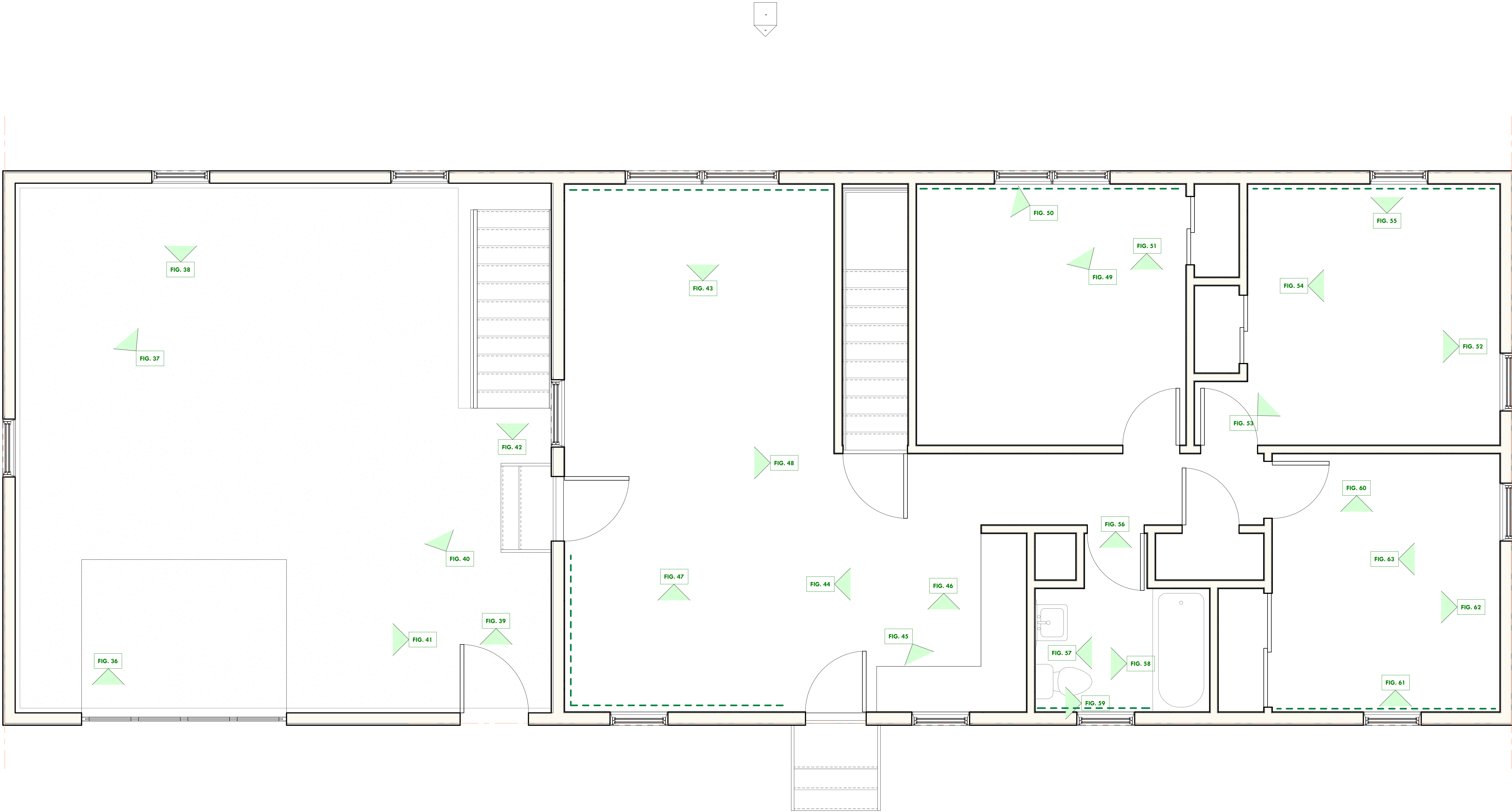


FIG. 35

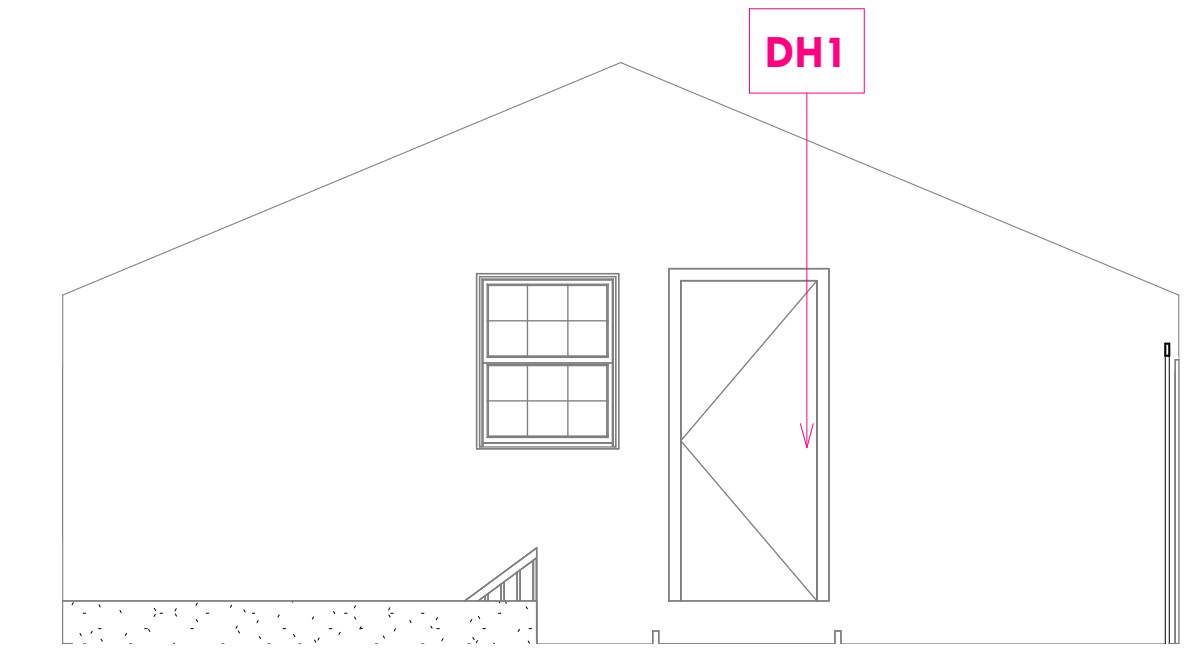
SCOPE OF WORK

KEY	NOTES
PT1	<ul style="list-style-type: none">Paint walls
BB1	<ul style="list-style-type: none">Provide unit cost for hydronic baseboard replacement within a \$10,000 net allowanceReplace hydronic piping in accordance with unit cost and net allowanceReplace all baseboard covers
DH2	<ul style="list-style-type: none">Remove & replace door handle hardware
GWB2	<ul style="list-style-type: none">Patch & paint damaged and missing GWB
BM1	<ul style="list-style-type: none">Remove old mirror and replace w/ new backlit
EF1	<ul style="list-style-type: none">Remove & replace bathroom exhaust fan
GN#	<ul style="list-style-type: none">Client to verify need/want to replace vanity with VS 2





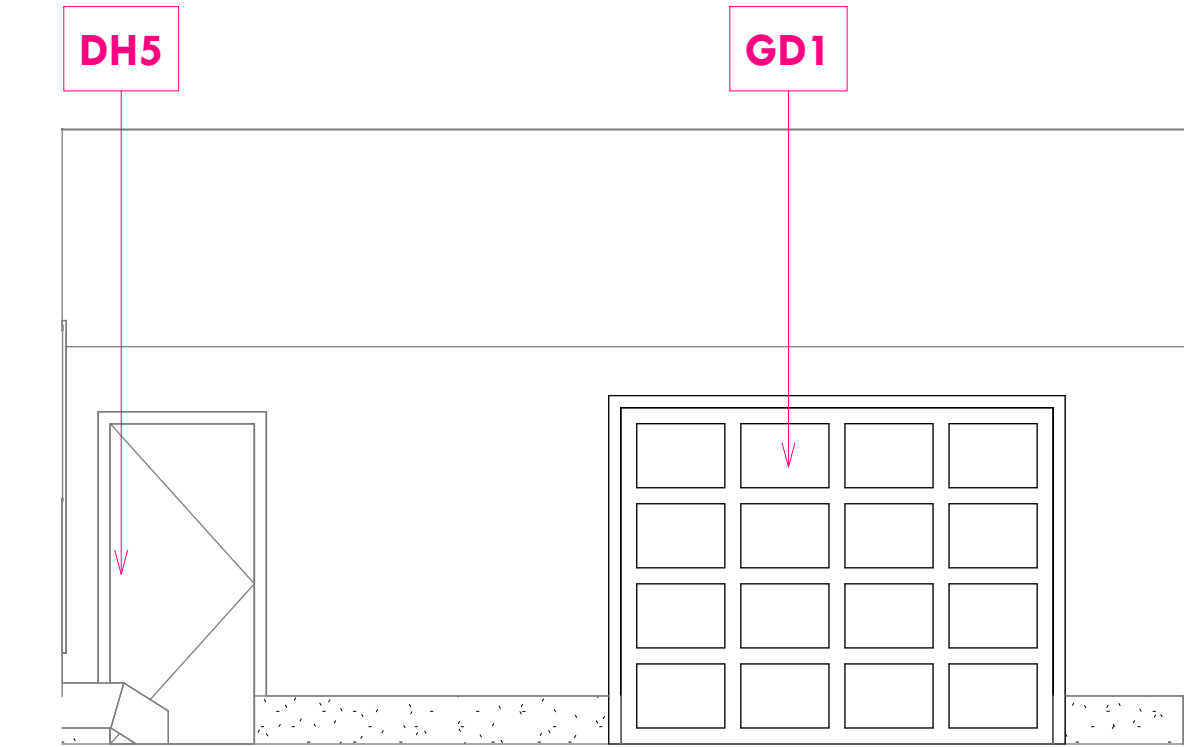
H1-ML-06 Garage



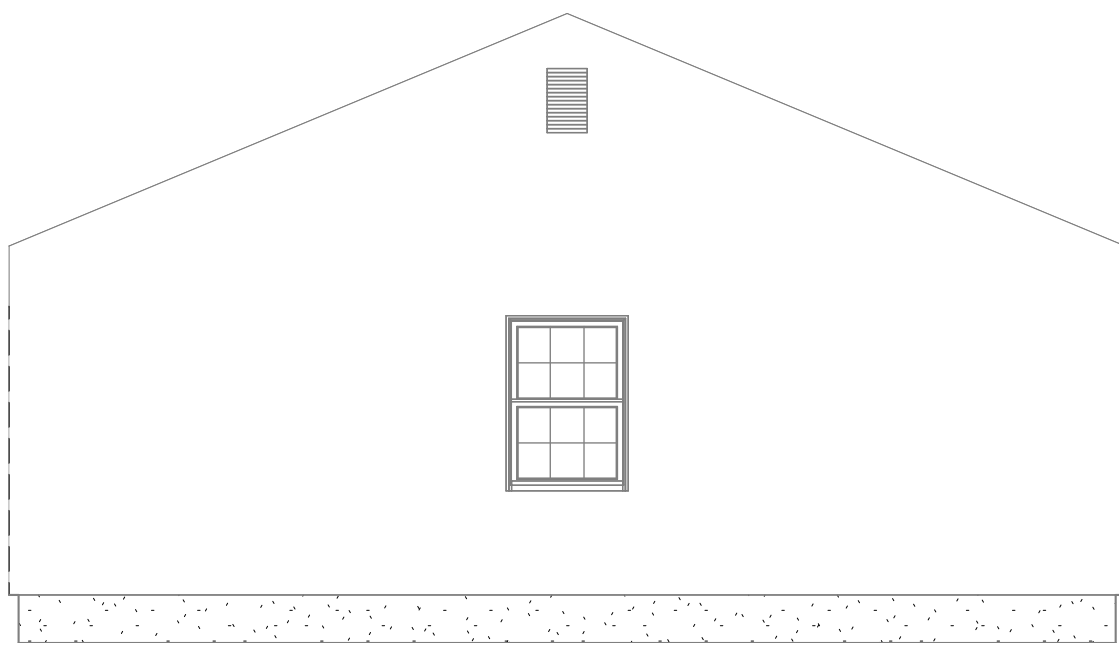
① H1-ML-01-WE
1/4" = 1'-0"



② H1-ML-01-WN
1/4" = 1'-0"



③ H1-ML-01-WS
1/4" = 1'-0"



④ H1-ML-01-WW
1/4" = 1'-0"



FIG. 36



FIG. 37

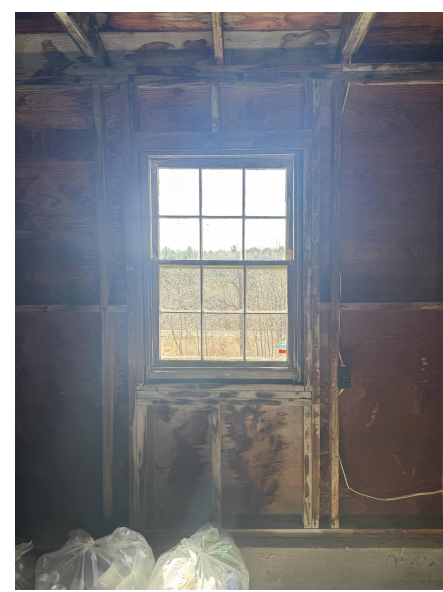


FIG. 38

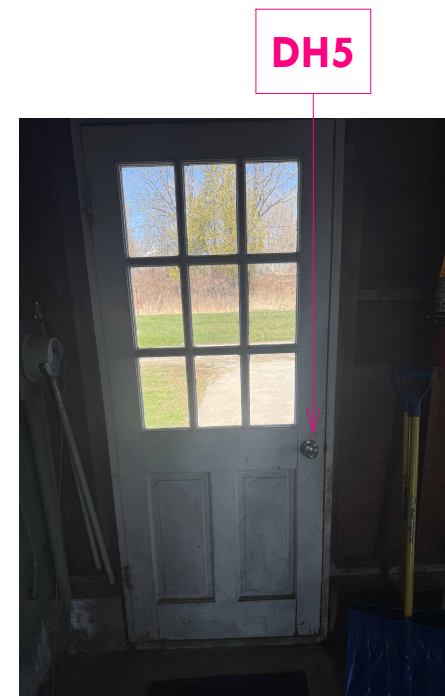


FIG. 39



FIG. 40



FIG. 41

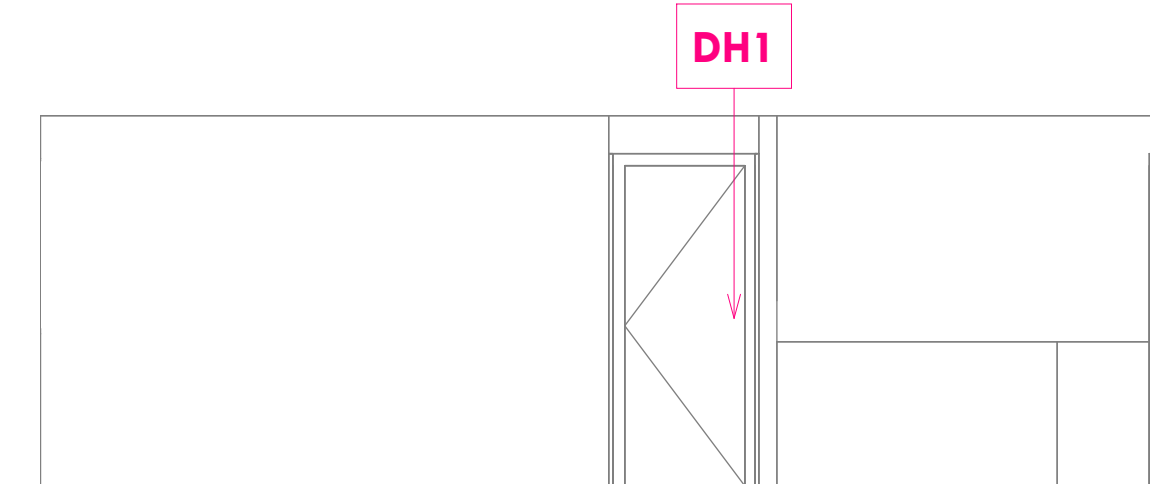


FIG. 42

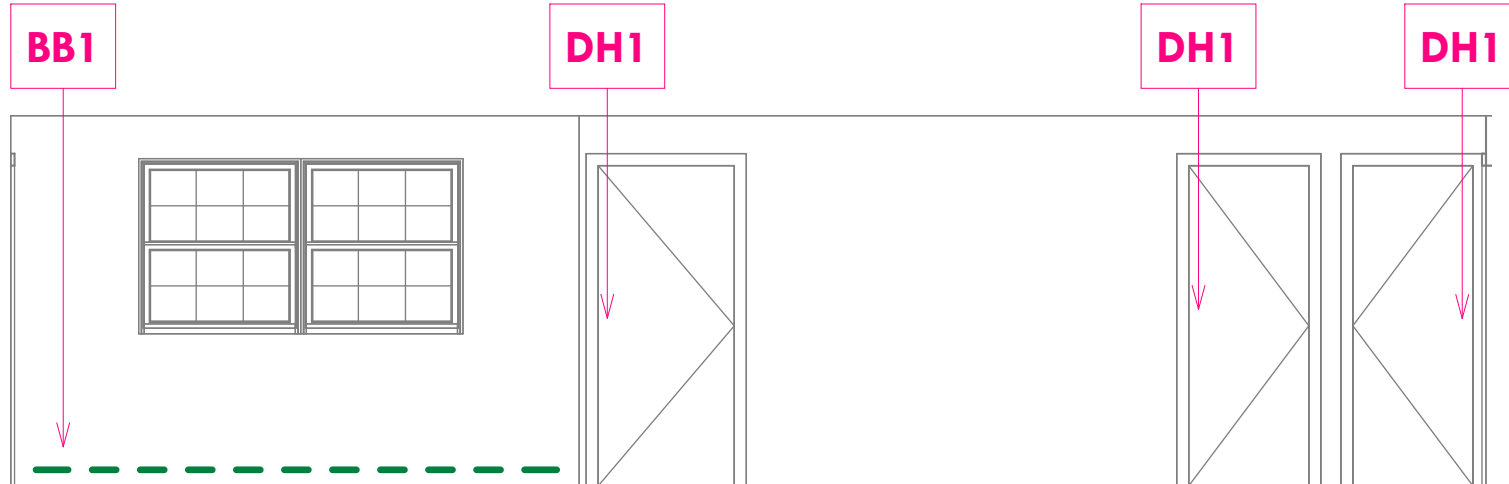
SCOPE OF WORK

KEY	NOTES
DH5	<ul style="list-style-type: none">Provide new entry door hardware and lockset
GD1	<ul style="list-style-type: none">New Garage Door
GN#	<ul style="list-style-type: none">Standing Water observed on garage floor. Water appears to be from window(s). Replace weather stripping and seal perimeter of windows with LOCTITE spray foam sealant.

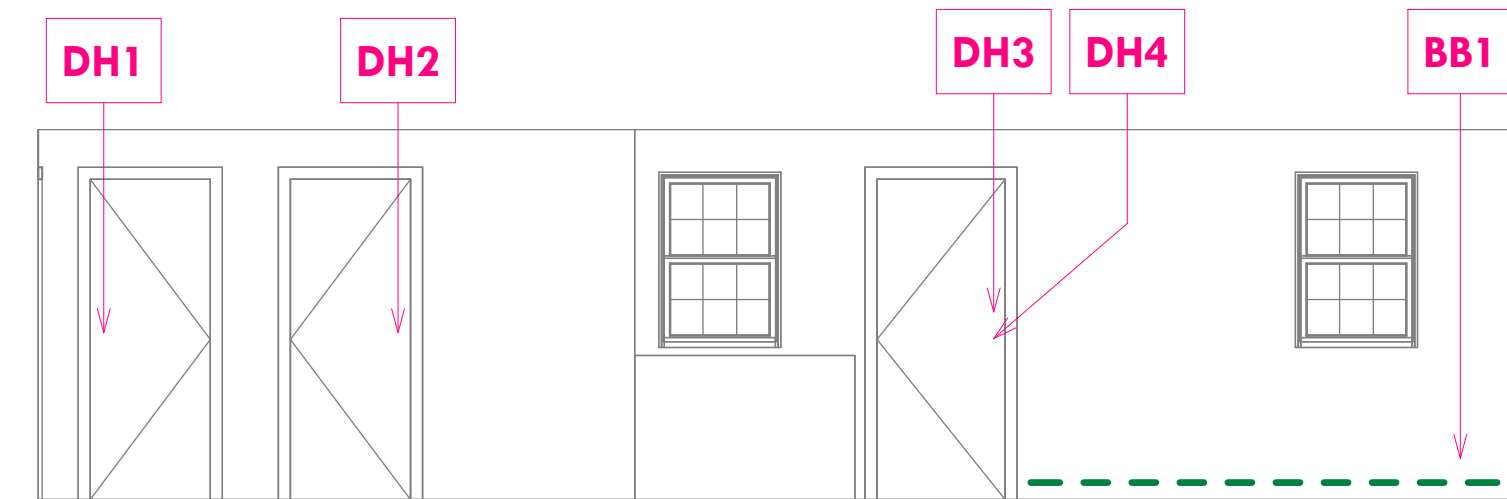
H1-ML-07 Living/Kitchen



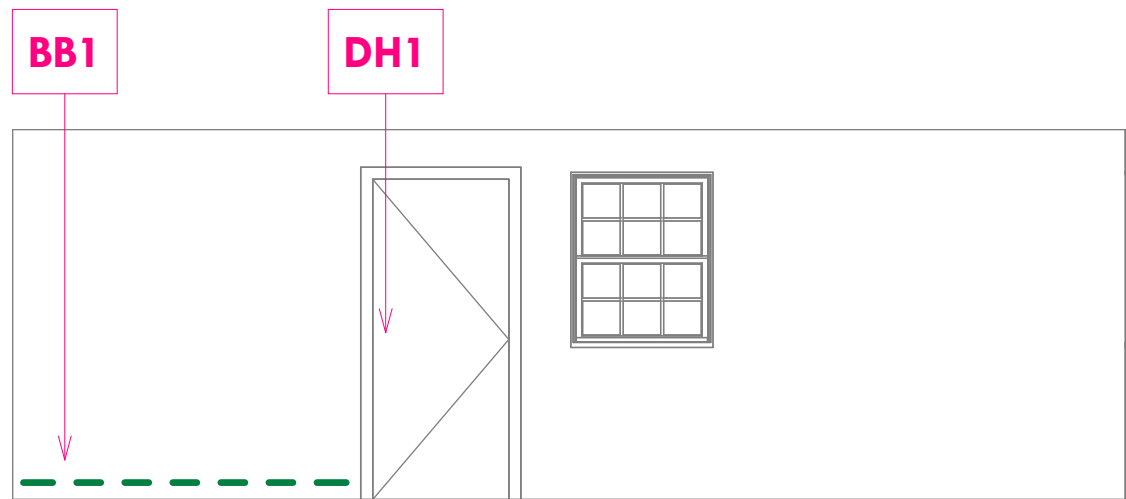
⑤ H1-ML-02-WE
1/4" = 1'-0"



⑥ H1-ML-02-WN
1/4" = 1'-0"



⑦ H1-ML-02-WS
1/4" = 1'-0"



⑧ H1-ML-02-WW
1/4" = 1'-0"



FIG. 43



FIG. 44

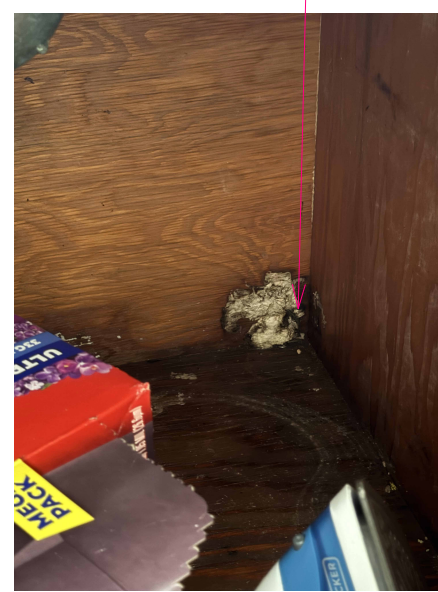


FIG. 45



FIG. 46



FIG. 47

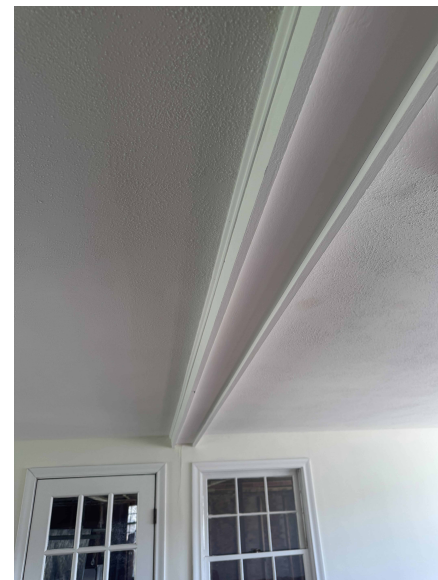


FIG. 48

SCOPE OF WORK

KEY	NOTES
DH1	<ul style="list-style-type: none">Remove & replace door handle hardware
DH2	<ul style="list-style-type: none">Remove & replace door handle hardware
DH3	<ul style="list-style-type: none">Remove & replace door handle hardware, install deadbolt
DH4	<ul style="list-style-type: none">Remove & replace door handle hardware
BB1	<ul style="list-style-type: none">Provide unit cost for hydronic baseboard replacement within a \$10,000 net allowanceReplace hydronic piping in accordance with unit cost and net allowanceReplace all baseboard covers
GN#	<ul style="list-style-type: none">Replace trap with SJ Tubular, and replace supply lines to sink with a Braided Stainless steel pair. New seals and ensure watertight connection at joints.





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Sheet Size: D 24 in x 36 in

H1-ML-08 Bunkroom 1

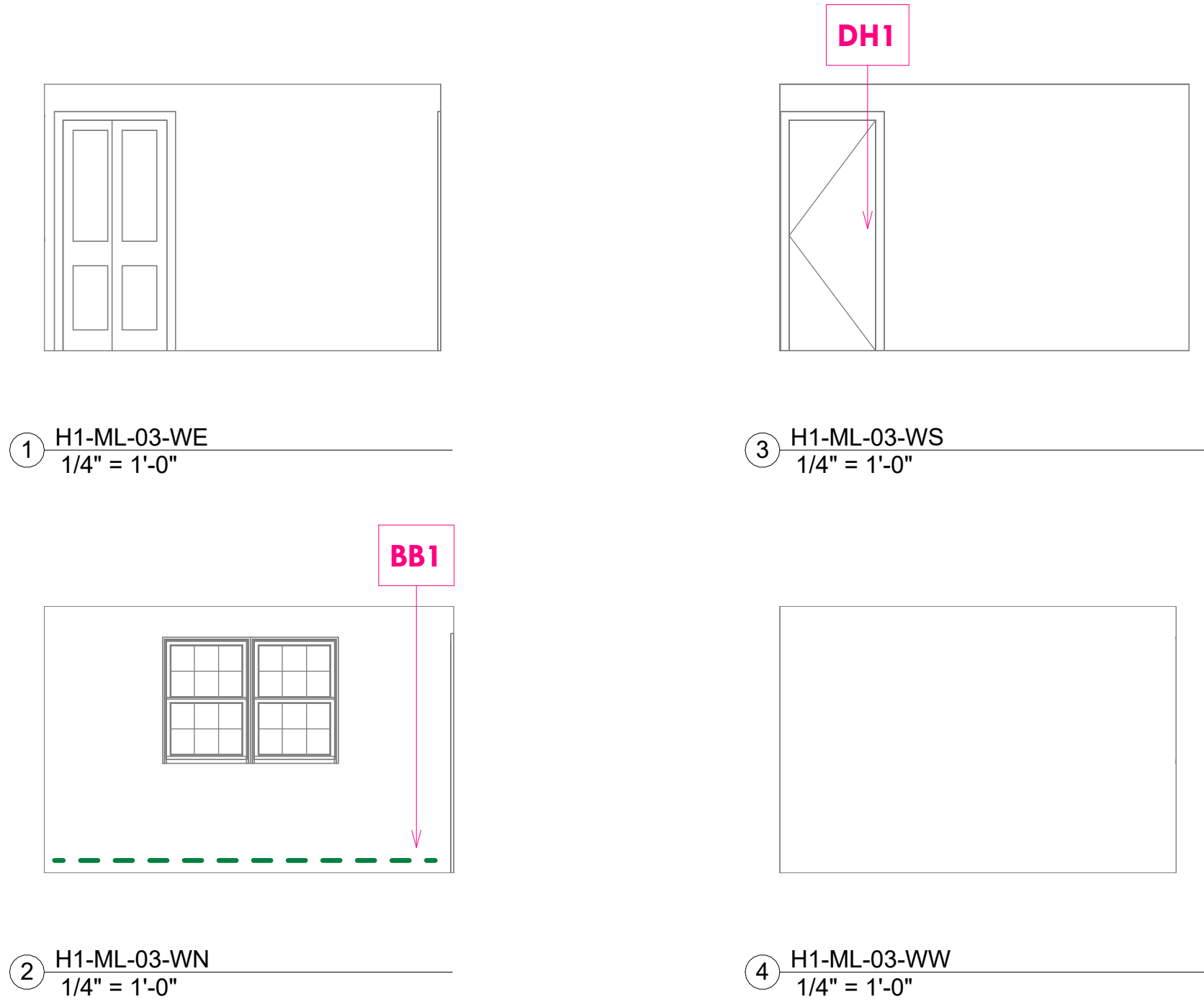


FIG. 49



FIG. 50

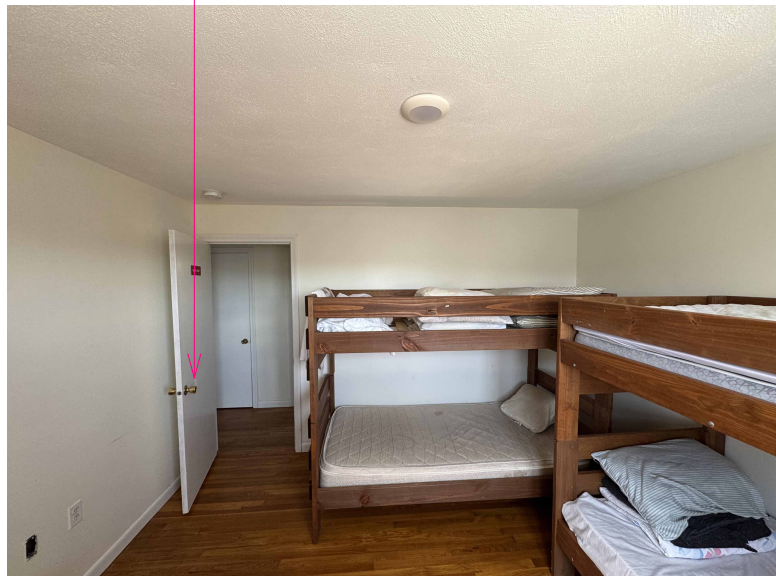


FIG. 51

SCOPE OF WORK

KEY	NOTES
DH1	<ul style="list-style-type: none">Remove & replace door handle hardware
BB1	<ul style="list-style-type: none">Provide unit cost for hydronic baseboard replacement within a \$10,000 net allowanceReplace hydronic piping in accordance with unit cost and net allowanceReplace all baseboard covers

H1-ML-09 Bunkroom 2

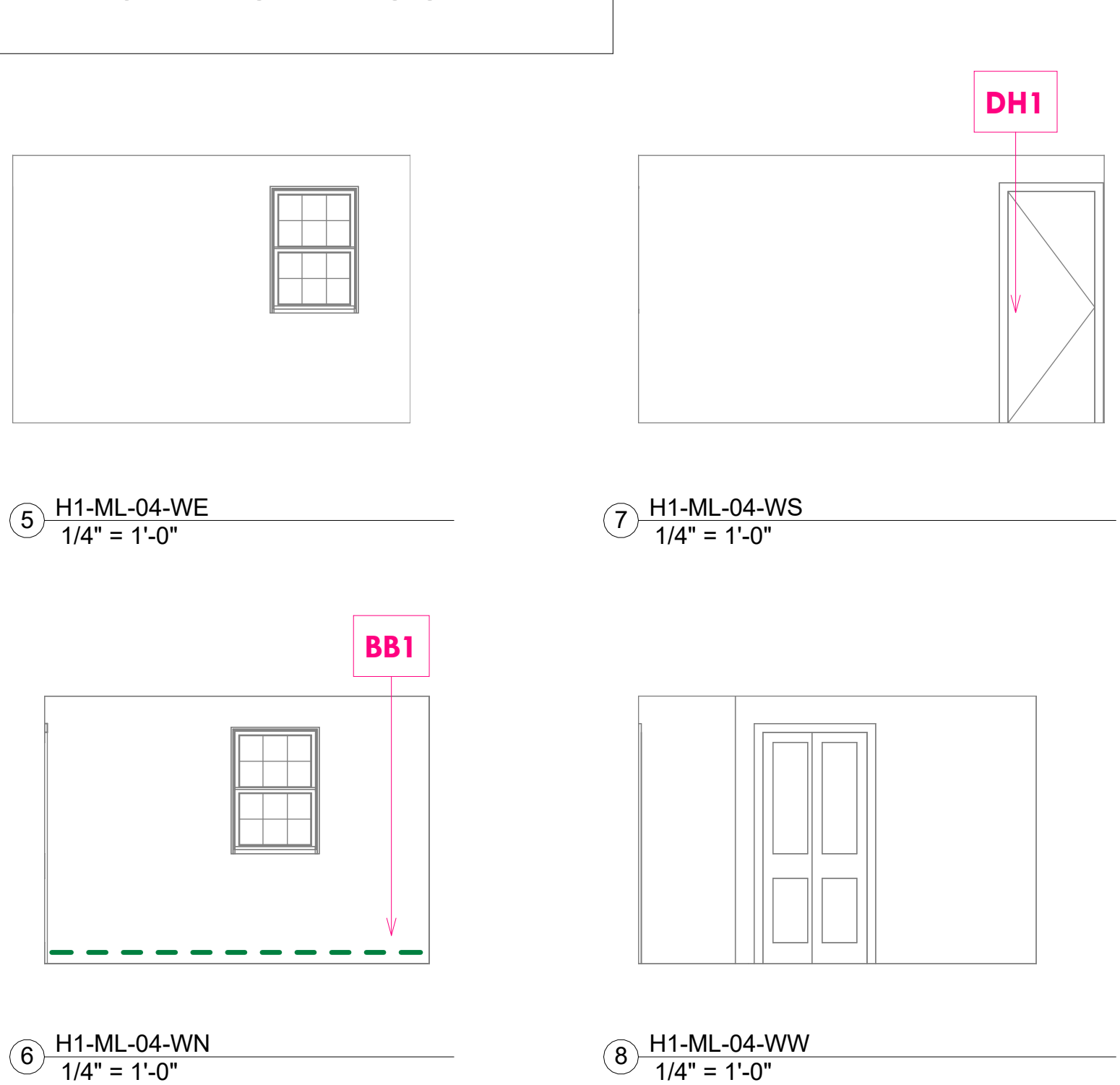


FIG. 52

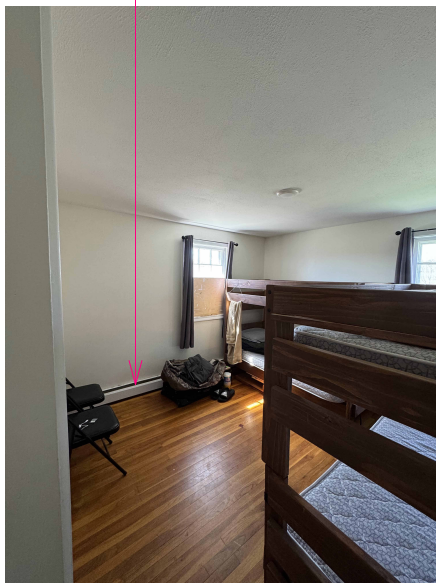


FIG. 53

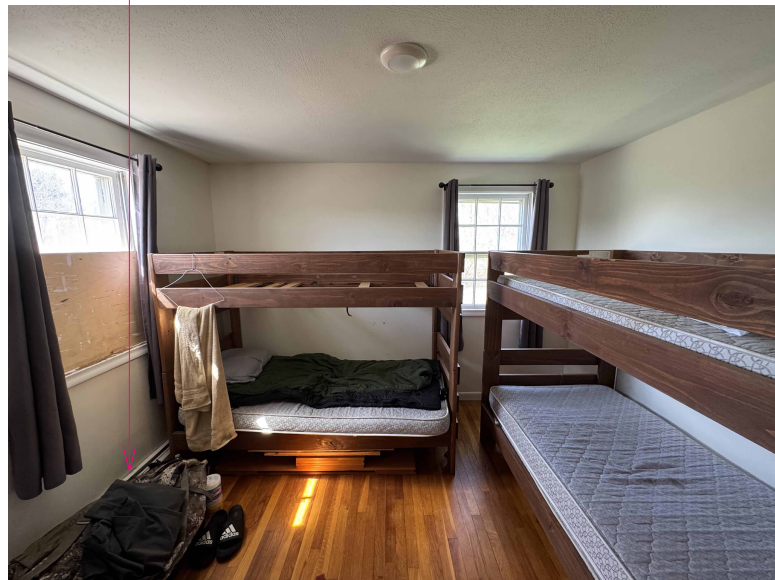


FIG. 54



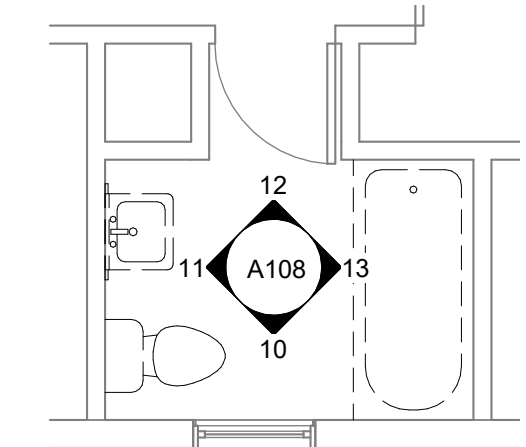
FIG. 55

SCOPE OF WORK

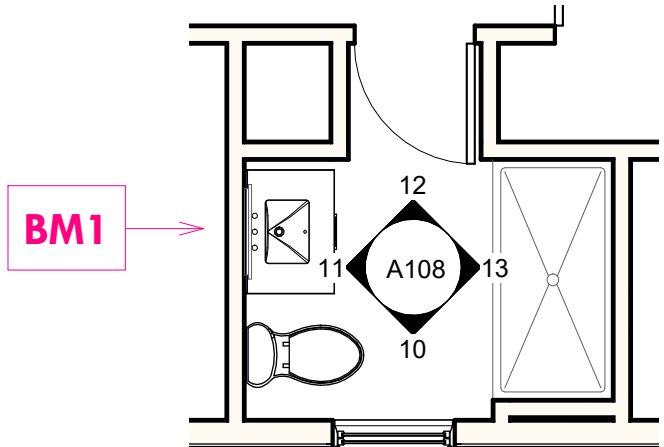
KEY	NOTES
DH1	<ul style="list-style-type: none">Remove & replace door handle hardware
BB1	<ul style="list-style-type: none">Provide unit cost for hydronic baseboard replacement within a \$10,000 net allowanceReplace hydronic piping in accordance with unit cost and net allowanceReplace all baseboard covers



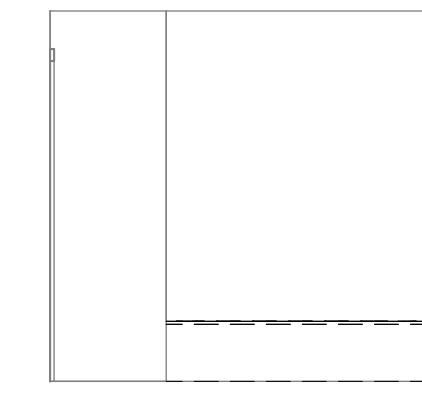
H1-ML-10 Bathroom



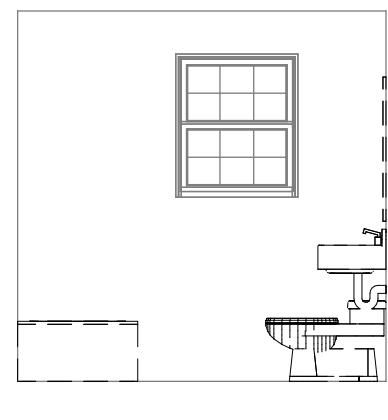
9 Demo - H1-ML-05
1/4" = 1'-0"



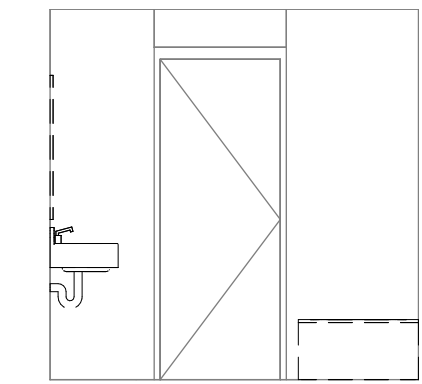
14 H1-ML-05
1/4" = 1'-0"



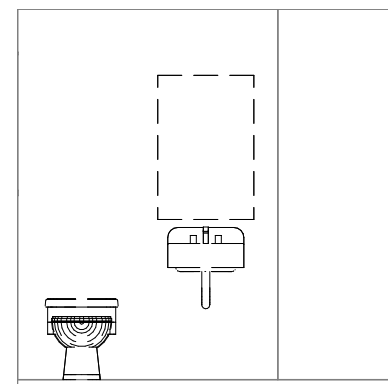
13 Demo - H1-ML-05-WE
1/4" = 1'-0"



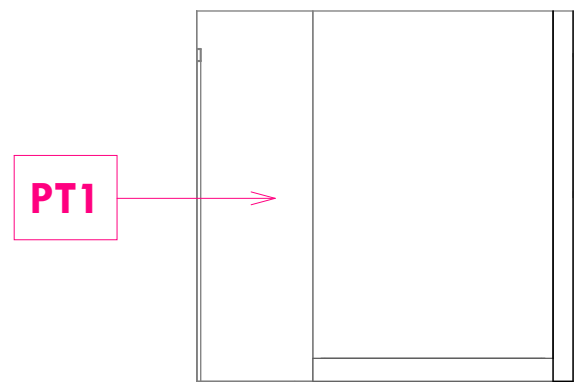
10 Demo - H1-ML-05-WS
1/4" = 1'-0"



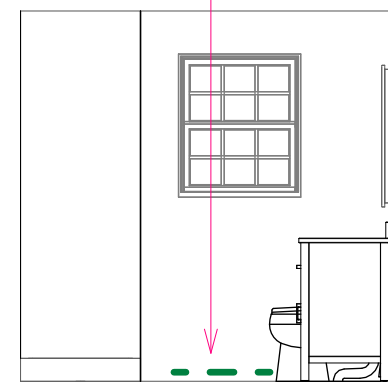
12 Demo - H1-ML-05-WN
1/4" = 1'-0"



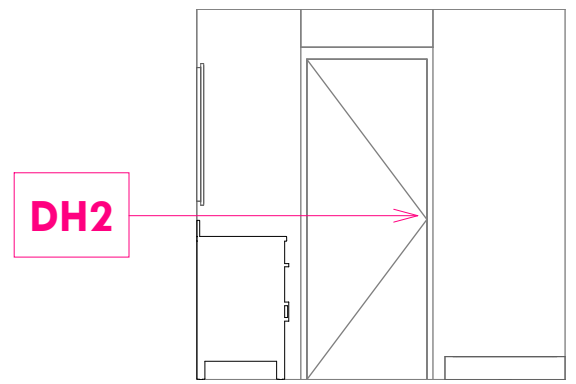
11 Demo - H1-ML-05-WV
1/4" = 1'-0"



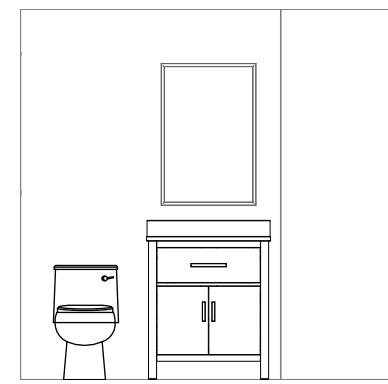
1 H1-ML-05-WE
1/4" = 1'-0"



3 H1-ML-05-WS
1/4" = 1'-0"



2 H1-ML-05-WN
1/4" = 1'-0"

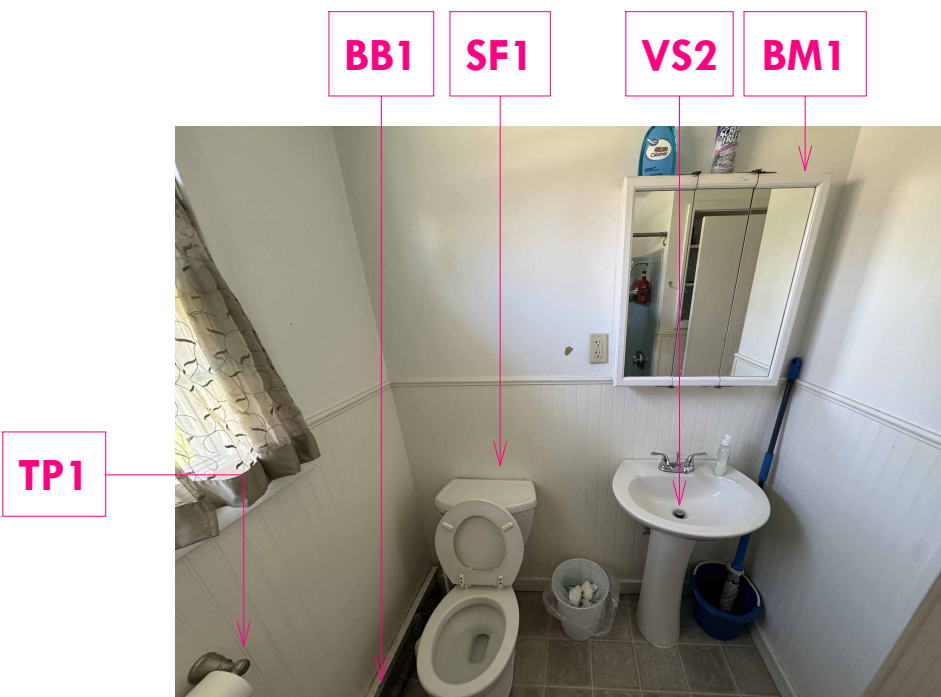


4 H1-ML-05-WV
1/4" = 1'-0"



FIG. 56

FIG. 57



TP1

FIG. 58

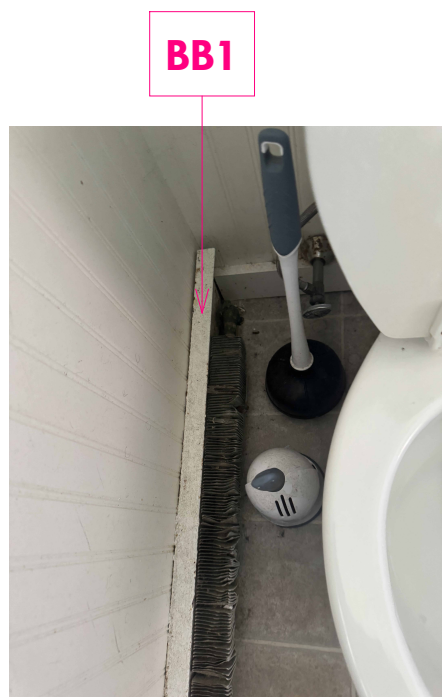
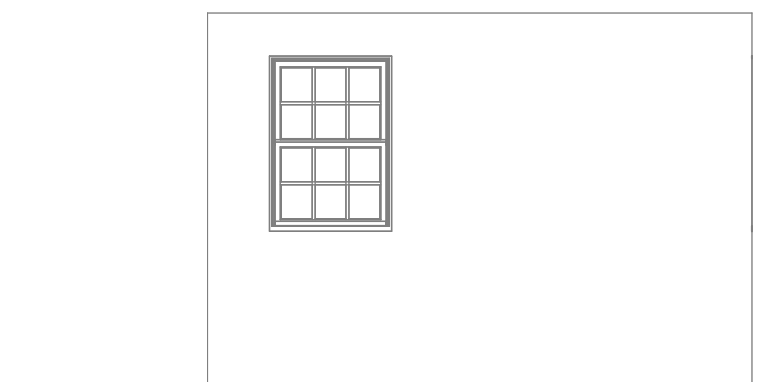


FIG. 59

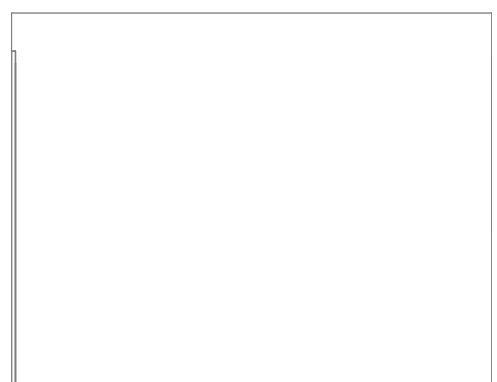
SCOPE OF WORK

KEY	NOTES
PT1	<ul style="list-style-type: none">Paint walls
BB1	<ul style="list-style-type: none">Provide unit cost for hydronic baseboard replacement within a \$10,000 net allowanceReplace hydronic piping in accordance with unit cost and net allowanceReplace all baseboard covers
DH2	<ul style="list-style-type: none">Remove & replace door handle hardware
BM1	<ul style="list-style-type: none">Remove existing medicine cabinet & lightInstall necessary wiring for new backlit mirrorMount Mirror at 42" AFF
SF1	<ul style="list-style-type: none">Remove existing sink faucetInstall new sink faucet with new trap and supply linesNew wax seals and ensure watertight at all joints
VS2	<ul style="list-style-type: none">Remove existing vanity base & topInstall and secure new vanitySecure counter to vanity as needed (comes as a set)
CT2	<ul style="list-style-type: none">Remove existing floorScrape remaining glue residue and prepare for tile installInstall new ceramic floor tile
WC1	<ul style="list-style-type: none">Remove old toiletReplace wax sealInstall new toilet
TP1	<ul style="list-style-type: none">Remove & replace existing toilet paper holder
SB3	<ul style="list-style-type: none">Remove acrylic tub baseRemove & close off tub spoutInstall new acrylic shower base

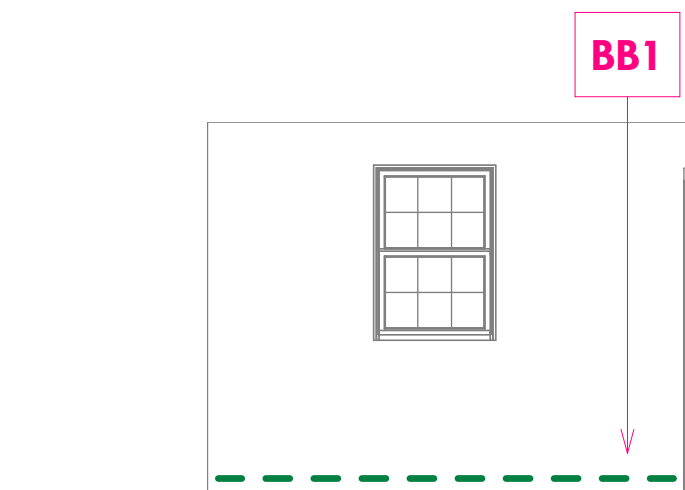
H1-ML-11 Bunkroom 3



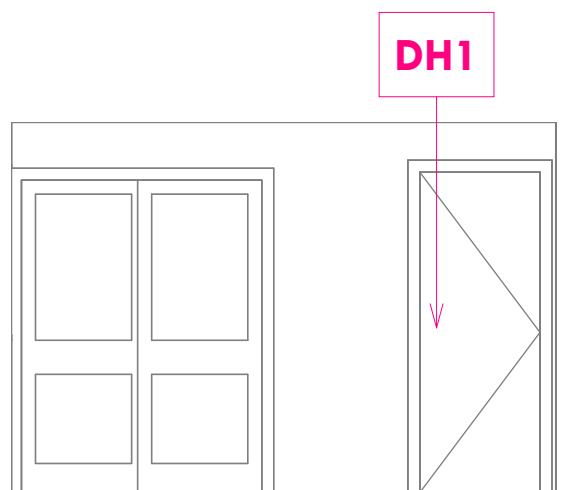
5 H1-ML-06-WE
1/4" = 1'-0"



6 H1-ML-06-WN
1/4" = 1'-0"



7 H1-ML-06-WS
1/4" = 1'-0"



8 H1-ML-06-WV
1/4" = 1'-0"

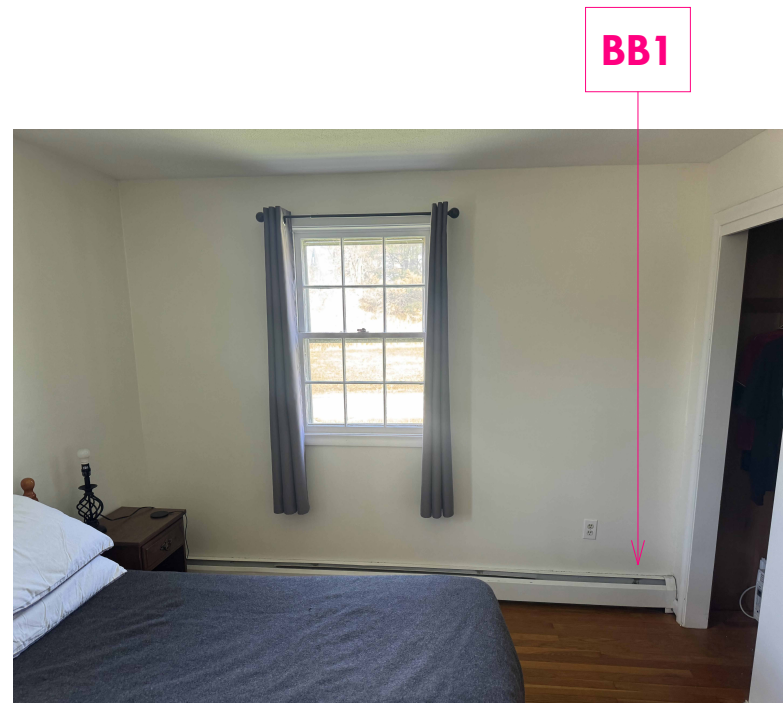


FIG. 60



FIG. 61



FIG. 62

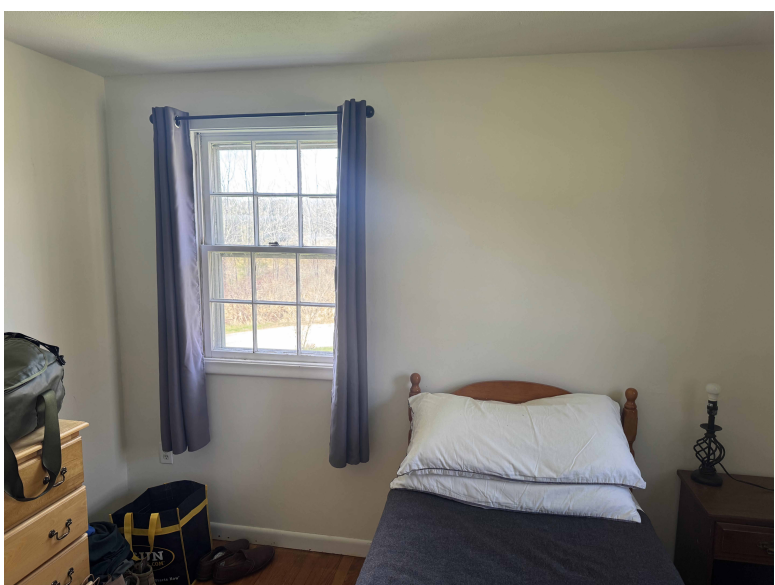


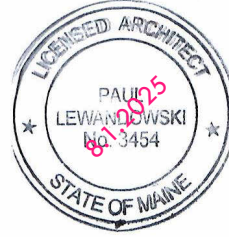
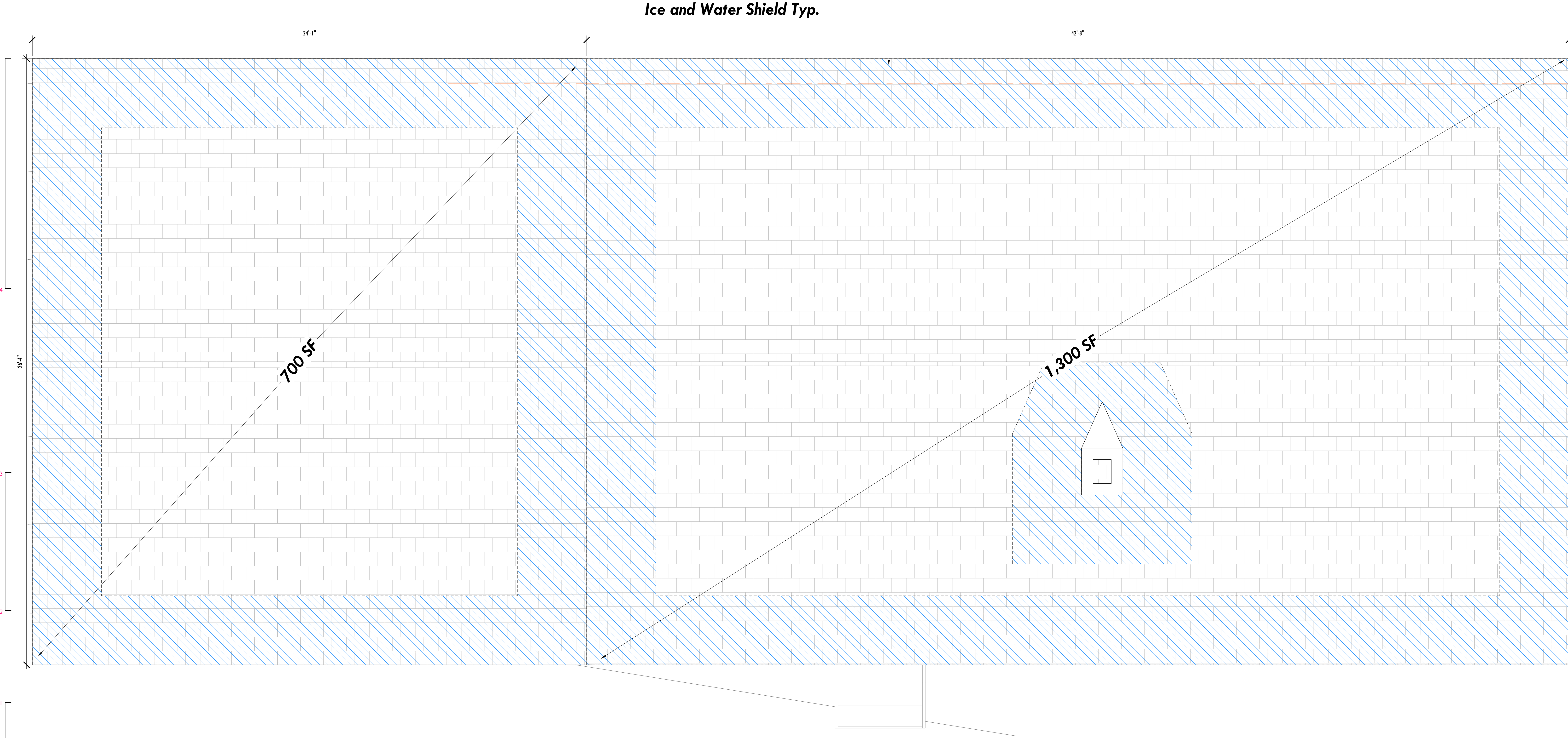
FIG. 63

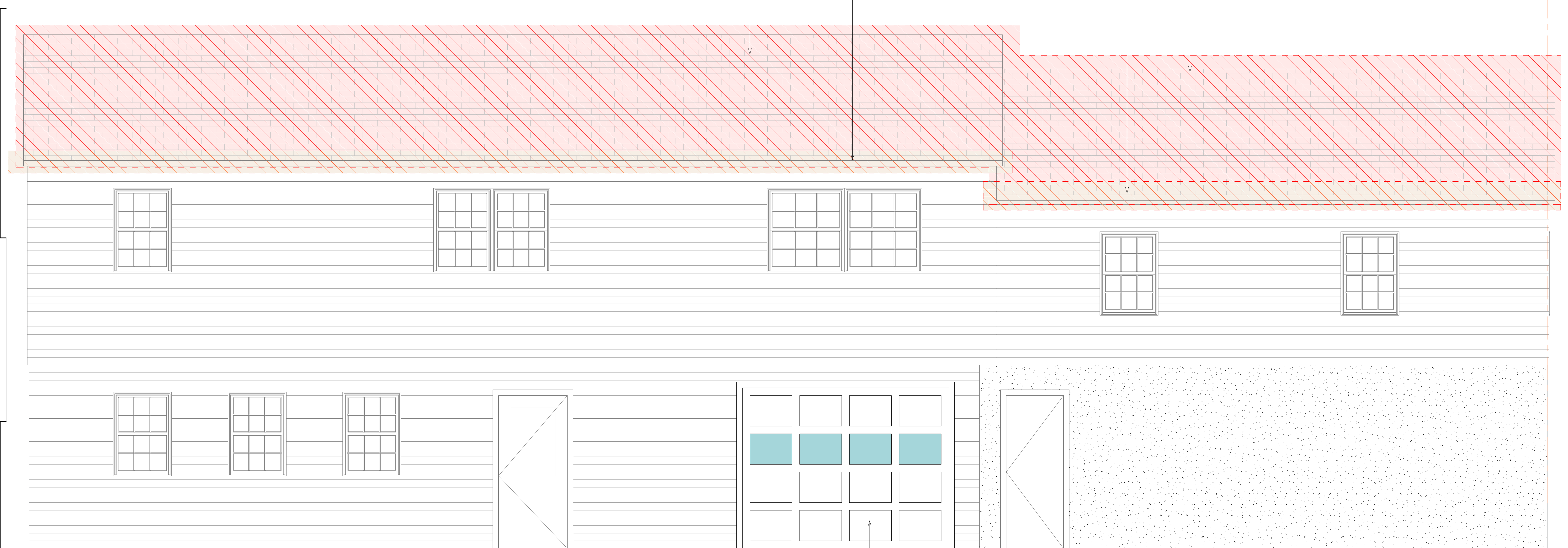
SCOPE OF WORK

KEY	NOTES
BB1	<ul style="list-style-type: none">Remove damaged & rusted baseboard coversEvaluate hydronic piping for damageReplace baseboard covers w/ new
DH1	<ul style="list-style-type: none">Remove & replace door handle hardware

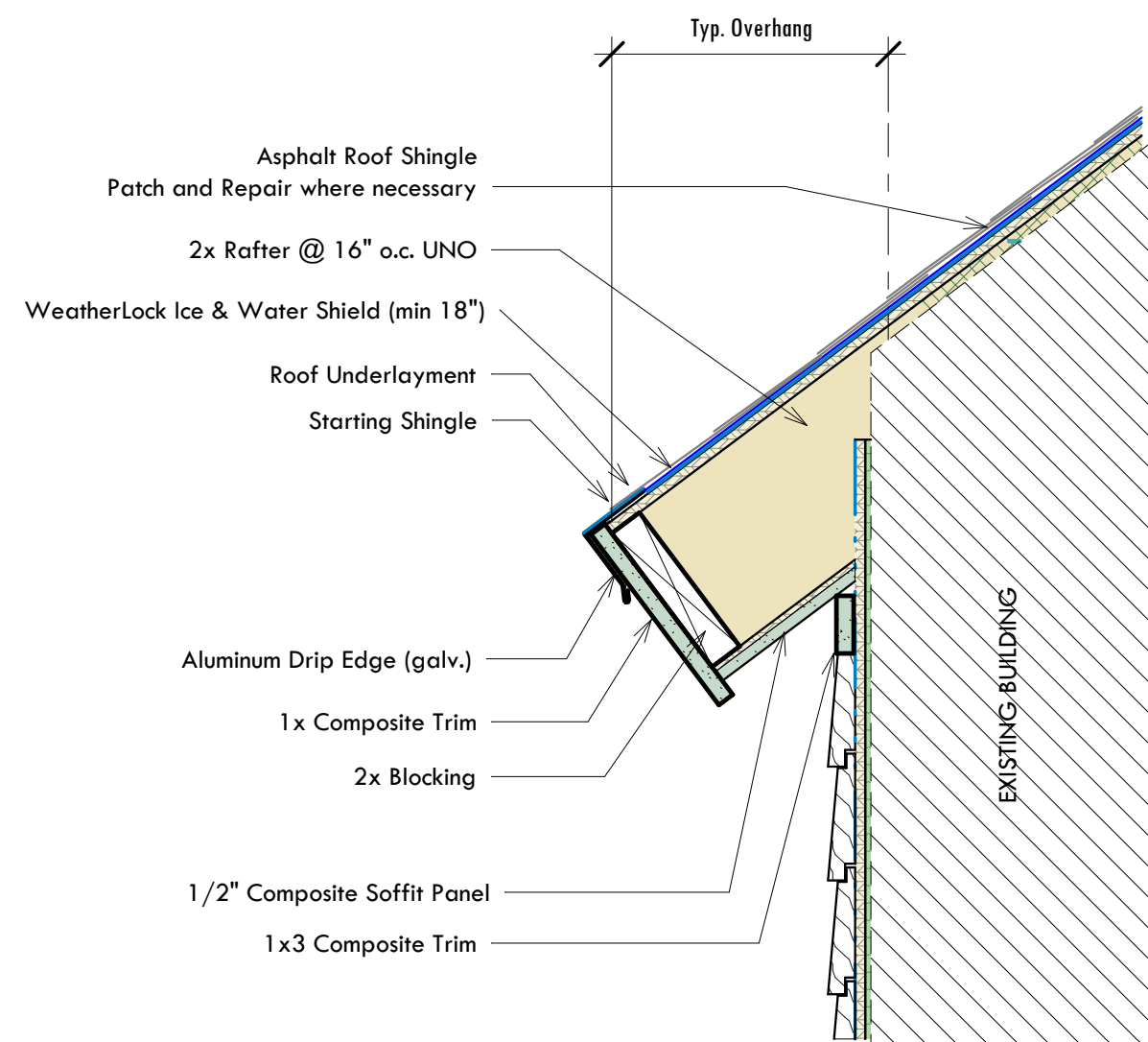


1 03 Roof
1/2" = 1'-0"

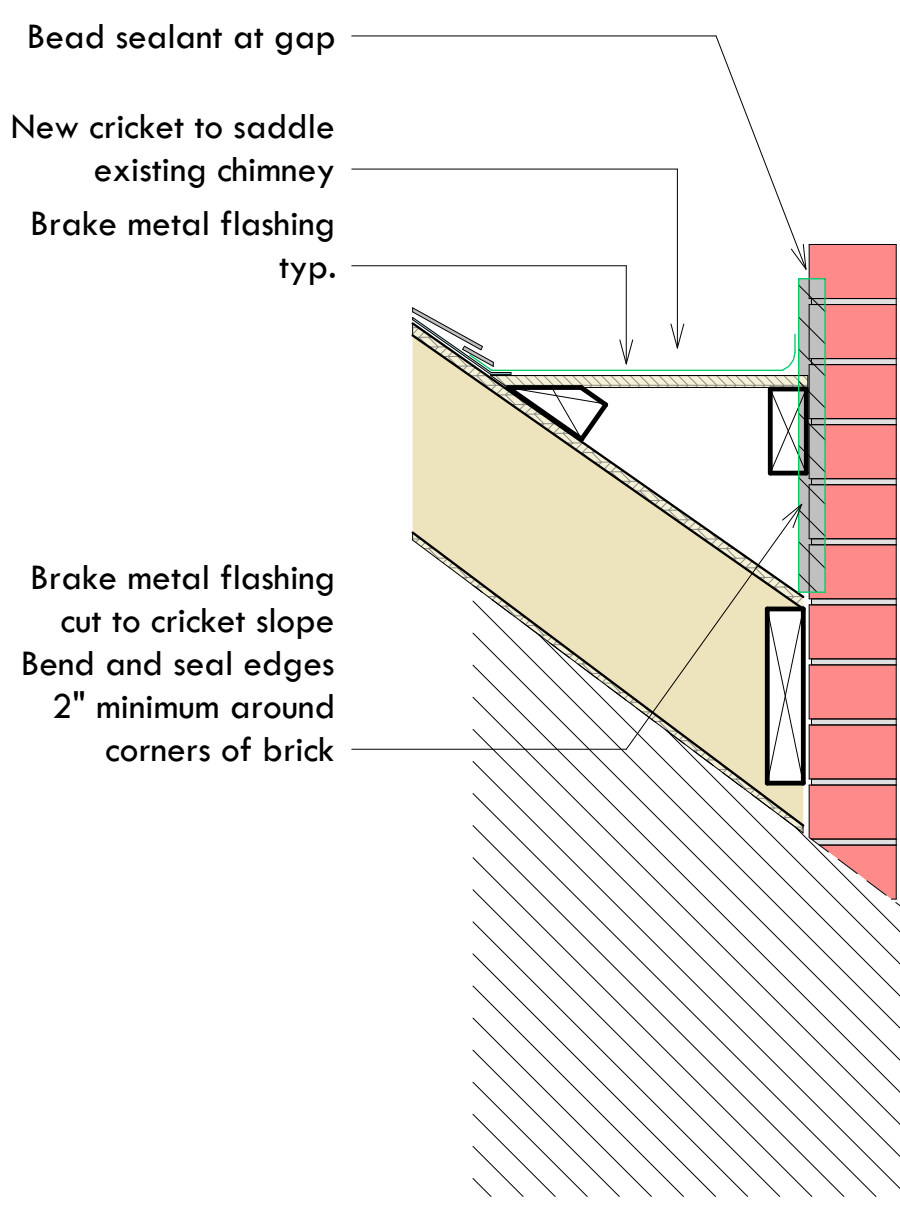




① Elevation - H1-EX-N
1/2" = 1'-0"

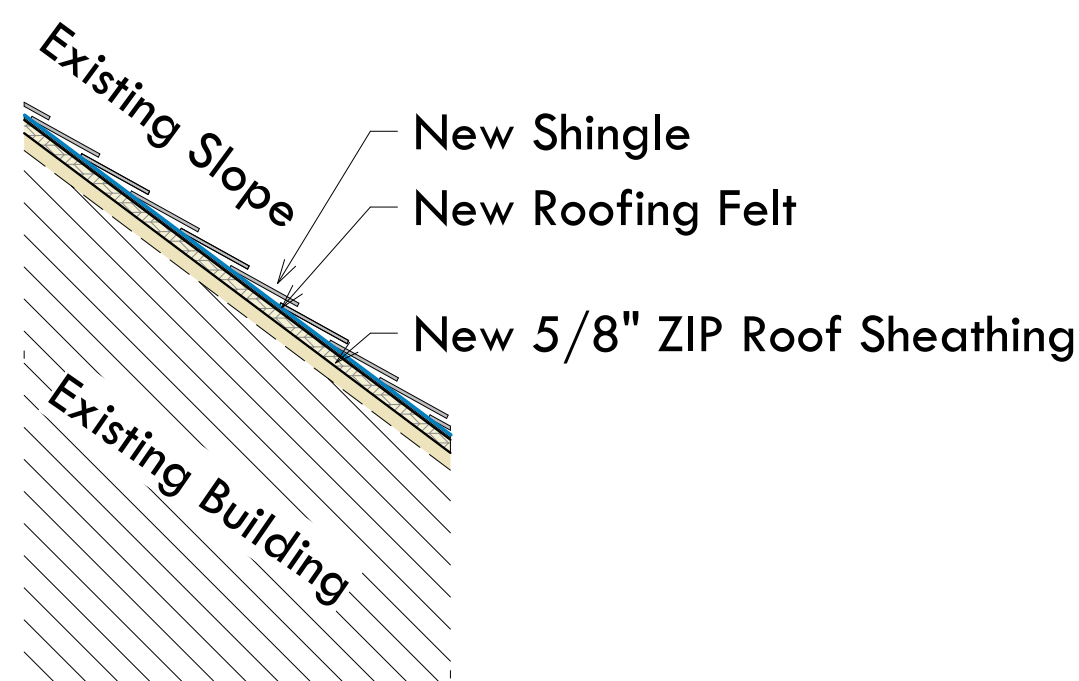


② Detail - Roof Eave - Repair
1 1/2" = 1'-0"



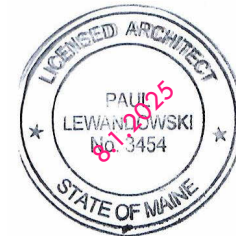
③ Detail - Chimney Flashing + Saddle
1 1/2" = 1'-0"

Overhead Door Carraige 7540-E2
90x70
White

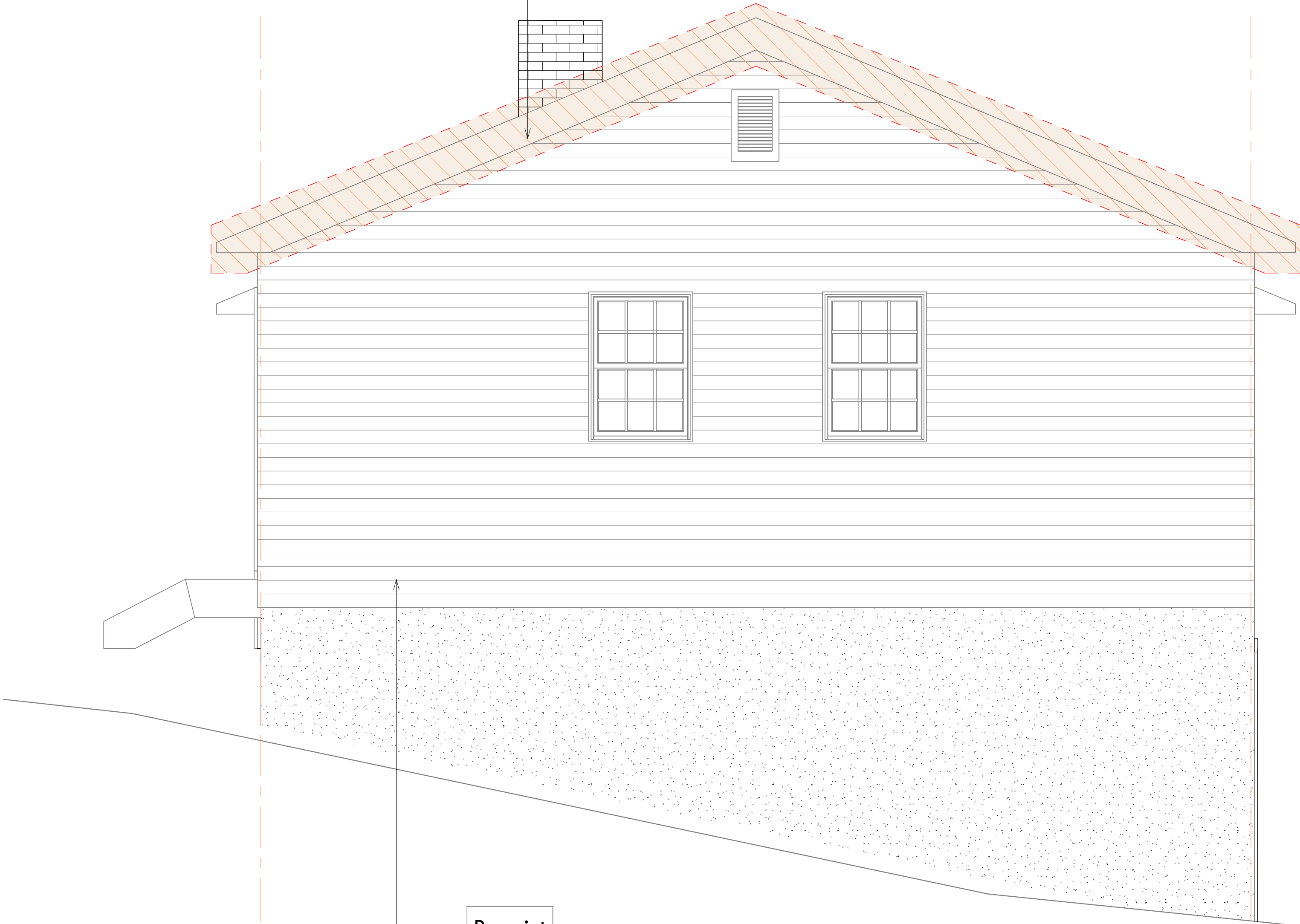


NOTE: Check and verify integrity of substrates, especially for water penetration, and moisture areas on rafter and attic insulation. Inform Architect of any on-site discoveries

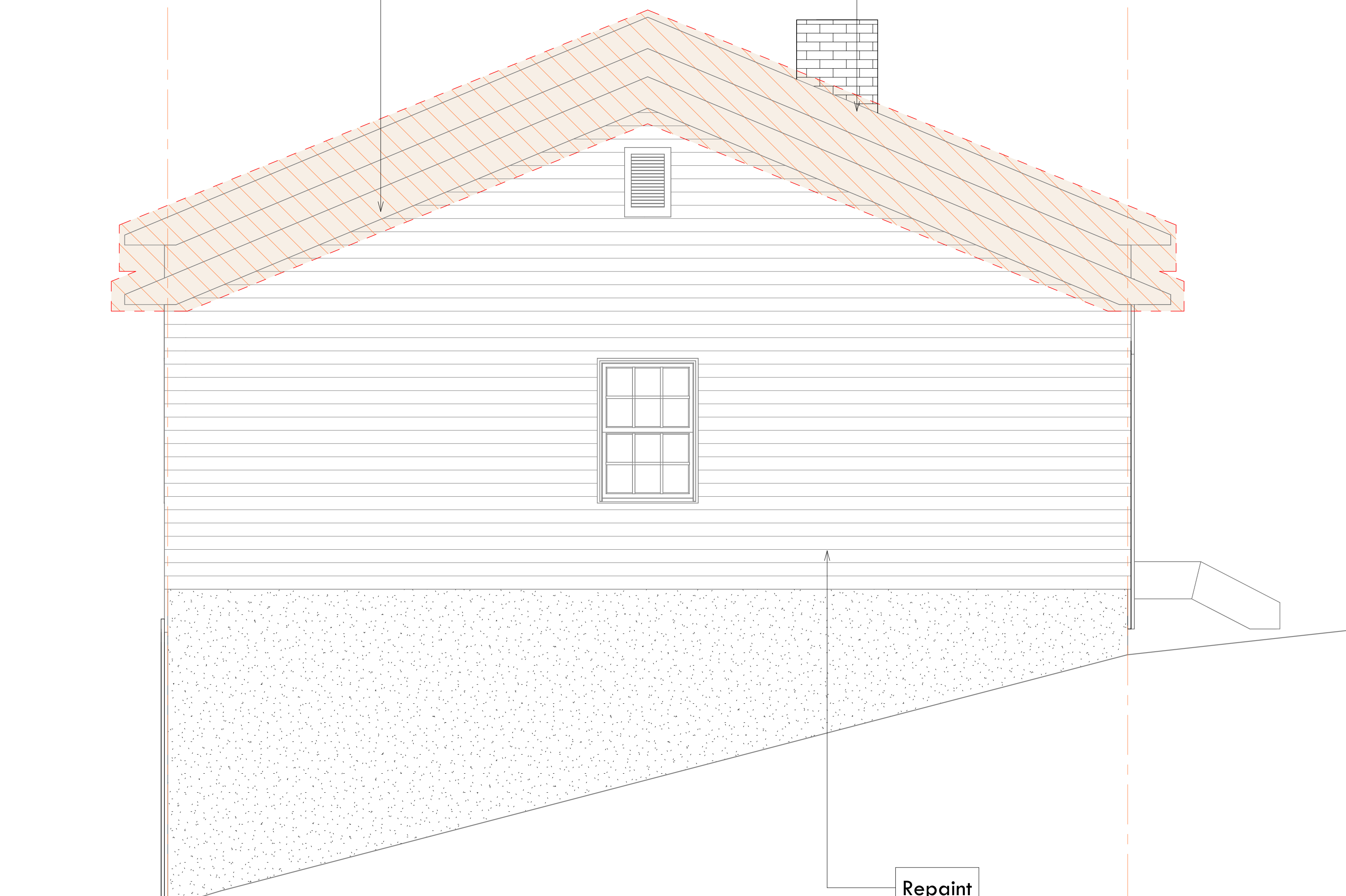
④ Detail - Roof Detail Typ.
1 1/2" = 1'-0"

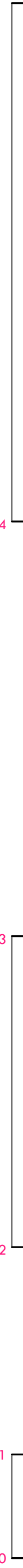


① Elevation - H1-EX-E
1/2" = 1'-0"



② Elevation - H1-EX-W
1/2" = 1'-0"





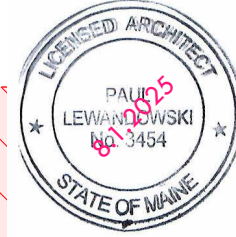
① Elevation - H1-EX-S
1/2" = 1'-0"

Overhead Door Carraige 7540-E2
90x70
White

Replace Roof

Replace Flashing

Repaint





4
3
2
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Sheet Size: D 36 in x 36 in

OUTLINE SPECIFICATION

Key	Quantity	Division	Details	Notes
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05 00 00 METALS				

06 00 00 WOOD, PLASTICS & COMPOSITES				

07 00 00 THERMAL & MOISTURE PROTECTION				

08 00 00 OPENINGS					
GD 1	3	08 34 19	RESIDENTIAL GARAGE DOORS	Overhead Door Company Impression Fiberglass Collection, 7'-0" x 9'-0" White, Plain Window Square, Clear Glass	PREPARATION INSTRUCTIONS:
DH 1	22	08 71 00	DOOR HARDWARE	Schlage J Series Stratus Knob, Hall & Closet Bright Brass Finish	PREPARATION INSTRUCTIONS:
DH 2	6	08 71 00	DOOR HARDWARE	Schlage J Series Stratus Knob, Bed & Bath Bright Brass Finish	PREPARATION INSTRUCTIONS:
DH 3	2	08 71 00	DOOR HARDWARE	Schlage J Series Single Cylinder Deadbolt Satin Stainless Steel Finish	PREPARATION INSTRUCTIONS:
DH 4	2	08 71 00	DOOR HARDWARE	Schlage J Series Stratus Knob, Keyed Entry Lock Satin Stainless Steel Finish	PREPARATION INSTRUCTIONS:
DH 5	4	08 74 00	DOOR HARDWARE	Schlage Dexter Keypad Deadbold w/ Corona Knob Satin Stainless Steel Finish	PREPARATION INSTRUCTIONS:

09 00 00 FINISHES					
GW8 2	-- sqft	09 29 00	GYPSON BOARD	CertainTeed M2Tech Moisture & Mold-Resistant Drywall	APPLICATION: PREPARATION INSTRUCTIONS:
CT 1	-- sqft	09 30 13	CERAMIC TILING	Daltile Rhetoric in Aristotle White 12x24 Horizontal Stack Bond	APPLICATION: Floors & Shower Walls PREPARATION INSTRUCTIONS:
CT 2	-- sqft	09 30 13	CERAMIC TILING	Daltile Outlander Sterling Grande 12x24 Horizontal Stack Bond	APPLICATION: Floor PREPARATION INSTRUCTIONS:
CT 3	-- sqft	09 30 13	CERAMIC TILING	Daltile Bryne Mist 12x24 Horizontal Stack Bond	APPLICATION: Floor PREPARATION INSTRUCTIONS:
CT 4	-- sqft	09 30 13	CERAMIC TILING	Daltile Bryne Mist Fluted 12x24 Vertical Stack Bond	APPLICATION: Shower Walls PREPARATION INSTRUCTIONS:
ACT 1	--	09 51 00	ACOUSTICAL CEILINGS	CertainTeed --	PREPARATION INSTRUCTIONS:
LVT 1	-- sqft	09 65 19	LUXURY VINYL TILE	Tarkett Even Plane in Dark Grey S18-401 01 Quarter Turn	PREPARATION INSTRUCTIONS:
WB 1	-- lf	09 65 53	RESILIENT WALL BASE	Flexco Floors Base Sculptures, "Resolute" 6" Profile Color TBD	PREPARATION INSTRUCTIONS:
PT GW8 1	-- sqft	09 96 00	HIGH PERFORMANCE PAINT	Sherwin Williams SW 7570 "Egret White", Satin Finish Scuff Tuff Interior Waterbased Enamel	PREPARATION INSTRUCTIONS:
PT GW8 2	-- sqft	09 96 00	HIGH PERFORMANCE PAINT	Sherwin Williams SW 9127 "At Ease Soldier", Satin Finish Scuff Tuff Interior Waterbased Enamel	PREPARATION INSTRUCTIONS:
PT GW8 3	-- sqft	09 96 00	HIGH PERFORMANCE PAINT	Sherwin Williams SW 9143 "Cadet", Satin Finish Scuff Tuff Interior Waterbased Enamel	PREPARATION INSTRUCTIONS:
PT EXT 1	-- sqft	09 96 00	HIGH PERFORMANCE PAINT	Sherwin Williams SW 7008 "Alabaster", Satin Finish Emerald Rain Refresh Exterior Acrylic Latex Paint	PREPARATION INSTRUCTIONS:

10 00 00 SPECIALTIES					
TP1	5	10 28 13	TOILET ACCESSORIES	American Standard Studio S Wall Mounted Toilet Paper Holder Polished Chrome	PREPARATION INSTRUCTIONS:
BM 1	5	10 28 16	BATH ACCESSORIES	Bobrick B-167, 24x36 Backlit Bathroom Mirror	MOUNTING HEIGHT: 4" above vanity top edge PREPARATION INSTRUCTIONS:
SD 1	3	10 28 19	SHOWER DOORS & ENCLOSURES	American Standard Aspirations 60x72 Bypass Frameless Shower Door Clear glass, Silver Shine	PREPARATION INSTRUCTIONS:

Key	Quantity	Division	Details	Notes
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11 00 00 EQUIPMENT					

12 00 00 FURNISHINGS					
VS 1	1	12 35 30.23	BATHROOM CASEWORK	Kohler Kresla 37" Free Standing Single Basin Vanity Set White Base, Quartz Top	PREPARATION INSTRUCTIONS:
VS 2	1	12 35 30.23	BATHROOM CASEWORK	Kohler Kresla 31" Free Standing Single Basin Vanity Set Light Oak Base, Quartz Top	PREPARATION INSTRUCTIONS:
VS 3	1	12 35 30.23	BATHROOM CASEWORK	Kohler Kresla 31" Free Standing Single Basin Vanity Set White Base, Quartz Top	PREPARATION INSTRUCTIONS:

13 00 00 SPECIAL CONSTRUCTION					

21 00 00 FIRE SUPPRESSION					

22 00 00 PLUMBING					
SB 1	1	22 41 00	PLUMBING FIXTURES	American Standard Aspirations 60"x36" Shower Base w/ Threshold, Right Drain Placement	PREPARATION INSTRUCTIONS:
SB 2	1	22 41 00	PLUMBING FIXTURES	American Standard Aspirations 60"x36" Shower Base w/ Threshold, Left Drain Placement	PREPARATION INSTRUCTIONS:
SB 3	1	22 41 00	PLUMBING FIXTURES	American Standard Aspirations 60"x30" Shower Base w/ Threshold, Right Drain Placement	PREPARATION INSTRUCTIONS:
WC 1	5	22 41 13	COMMERCIAL LAVATORIES	American Standard Cadet Right Height Pressure Assisted Toilet 1.6 GPF Elongated Everclean	PREPARATION INSTRUCTIONS:
SH 1	3	22 41 23	COMMERCIAL WASH FOUNTAINS	American Standard Spectra Retrofit Shower in Polished Chromee 11" Rain Head, Hand Shower, Slide Bar w/ Diverter	PREPARATION INSTRUCTIONS:
SF 1	3	22 41 39	COMMERCIAL WATER CLOSETS	American Standard Corsam 8" Widespread Faucet in Polished Chrome 2 Handle, 1.2 gpm/4.5L w/ Level Handle	PREPARATION INSTRUCTIONS:

23 00 00 HVAC					
EF 1	4	23 34 00	HVAC FANS	Panasonic 100 CFM .5 Sone Ceiling Mount Exhaust Fan Exhaust Fan with LED Light and "Smart Flow"	PREPARATION INSTRUCTIONS:

25 00 00 INTEGRATED AUTOMATION					

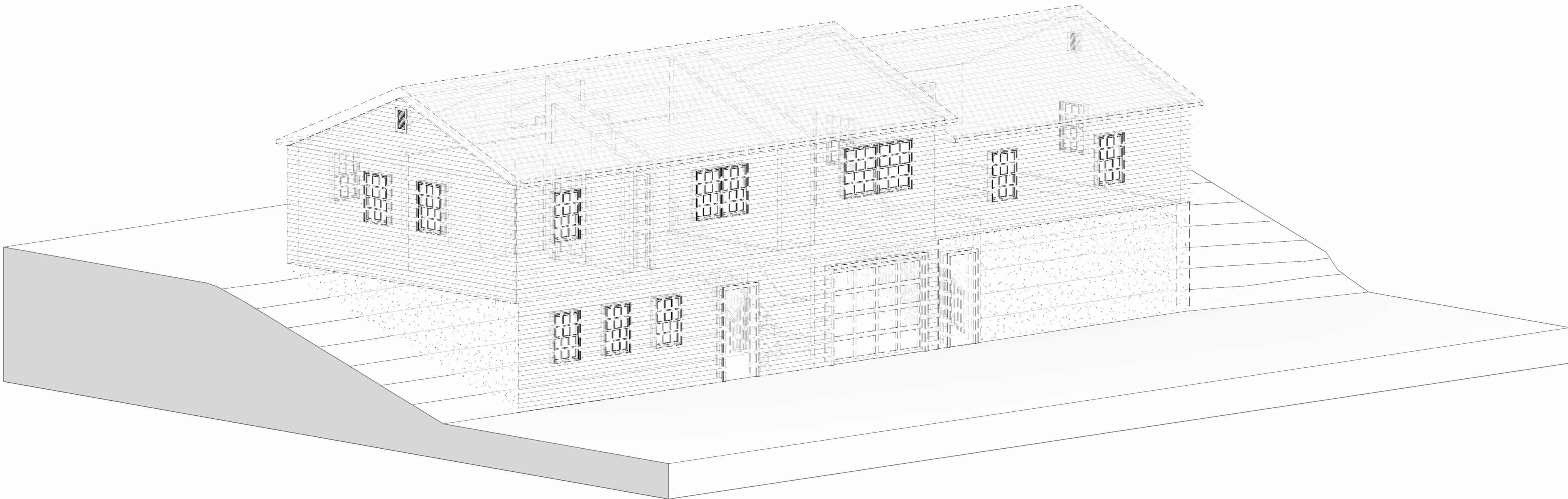
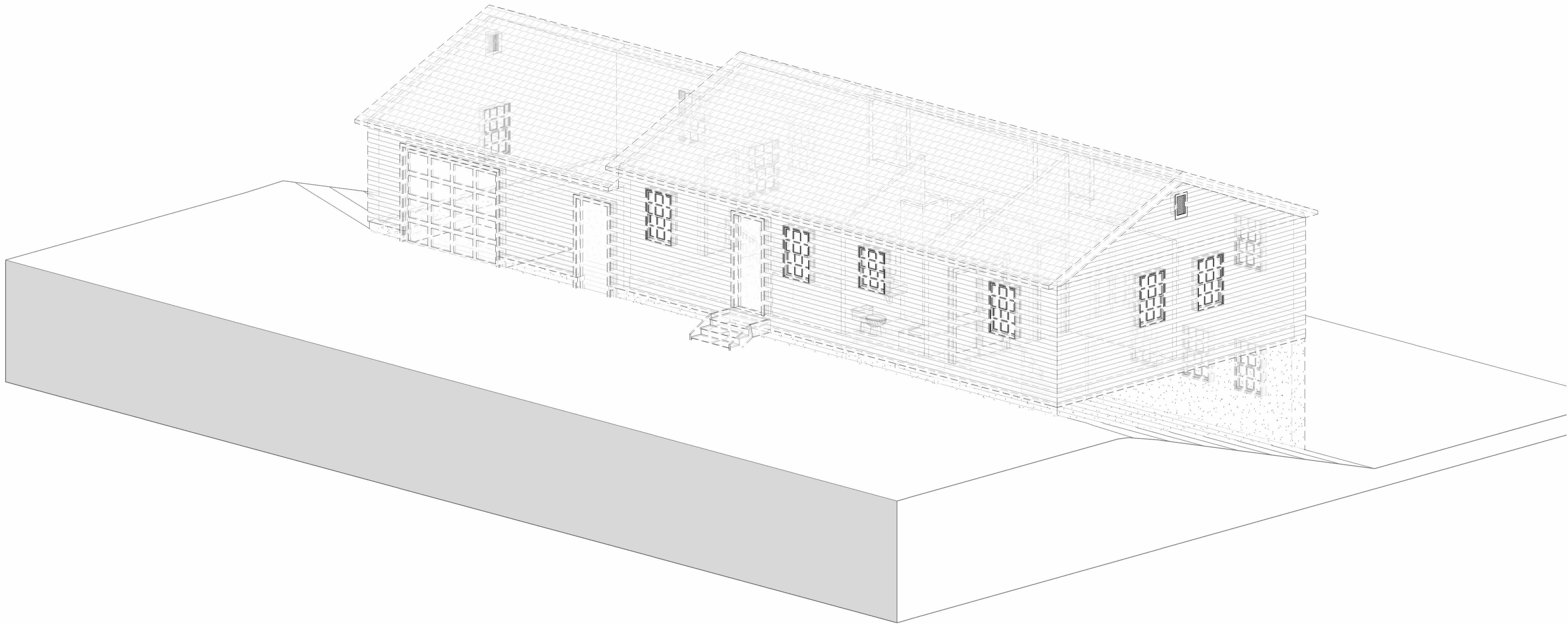
26 00 00 ELECTRICAL					
SM 1	TBD	26 51 19	LED INTERIOR LIGHTING	Cooper Lighting Solutions HALO 1/2" Ultra-Low Profile Lens Downlight	PREPARATION INSTRUCTIONS:

27 00 00 COMMUNICATIONS					

28 00 00 ELECTRICAL SAFETY & SECURITY					

32 00 00 EXTERIOR IMPROVEMENTS					





Sheet List	
Sheet Number	Sheet Name
A000	COVER
A001	GENERAL NOTES & CODE INFORMATION
A002	Demo Specification
D100	HOUSE 2 DEMOLITION

DOC - Maine State Prison

Ship St. Housing Renovations

Ship Street Circle - Thomaston, Maine

BID REVIEW DEMO DOCUMENTS



Sheet Size: D 24 in x 36 in

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GENERAL NOTES

1: **DRAWING NOTES:** CONTRACTOR TO FURNISH AND INSTALL ALL NOTED LABOR AND MATERIALS UNLESS OTHERWISE NOTED.

2: **CODE COMPLIANCE:** ALL WORK SHALL CONFORM TO THE LATEST EDITION OF STATE, LOCAL AND OTHER CODES WHICH APPLY TO THIS PROJECT OR HAVE JURISDICTION.

3: **COORDINATION:** IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL DISCIPLINES AND TRADES SO THAT ALL BUILDING SYSTEMS AND COMPONENTS CAN BE ASSEMBLED WITHOUT CONFLICTS. IN THE EVENT THAT THE CONSTRUCTION DOCUMENTS DEFINE CONDITIONS WHICH PROHIBIT, OR MAY PROHIBIT, SUCH ASSEMBLY, THE CONTRACTOR SHALL BRING TO THE ARCHITECT'S ATTENTION, IN WRITING AND IN A TIMELY FASHION, SUCH CONDITION. THE CONTRACTOR AND HIS/HER SUBCONTRACTORS SHALL BE RESPONSIBLE FOR PROVIDING MATERIALS AND SYSTEMS SHOWN IN THE CONSTRUCTION DOCUMENTS REGARDLESS OF WHERE THE INFORMATION IS LOCATED. WHERE COMPONENTS OF A SYSTEM ARE INDICATED THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL LABOR AND MATERIALS NECESSARY TO COMPLETE THE SYSTEM.

4: **DISCREPANCIES & CLARIFICATIONS:** THIS PROJECT INVOLVES THE FIT-UP OF AN EXISTING BUILDING. EXISTING DIMENSIONS SHOWN ON THE DRAWINGS ARE BELIEVED TO BE ACCURATE, BUT CANNOT BE GUARANTEED, MEASURE AND VERIFY DIMENSIONS IN FIELD PRIOR TO FABRICATION AND CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BRING TO THE ARCHITECTS ATTENTION ANY DISCREPANCIES OR AMBIGUITIES IN THE DRAWINGS AND/OR SPECIFICATIONS.

5: **LAYOUT:** UNLESS INDICATED OTHERWISE, CENTER WALL FRAMING AND PARTITION FRAMING ON COLUMN LINES. FLOOR PLAN DIMENSIONS ARE TO FACE OF FRAMING, FACE OF CONCRETE, FACE OF CMU, OR FROM COLUMN CENTERLINES, UNLESS INDICATED OTHERWISE.

6: **ACCESSIBILITY:** ALL HANDICAPPED ACCESSIBLE BATHROOMS, GRAB BARS, AND DOOR OPENINGS SHALL MEET THE REQUIREMENTS OF TITLE 94-348, CHAPTER 5 OF THE MAINE HUMAN RIGHTS COMMISSION TITLE LATEST EDITION & THE DEPARTMENT OF JUSTICE ADA STANDARDS FOR ACCESSIBLE DESIGN.

7: **DRAWING SCALES:** WORK FROM THE GIVEN DIMENSIONS ONLY. SCALE IS INDICATED ON THE DRAWINGS FOR CONVENIENCE ONLY. IT IS NOT INTENDED THAT INFORMATION BE DETERMINED BY SCALING THE DRAWINGS SINCE SOME ITEMS MAY NOT BE TO SCALE.

8: **WATER-RESISTANT GWB:** INSTALL WATER-RESISTANT GYPSUM WALL BOARD IN ALL REST ROOMS & TOILET ROOMS OR AT ANY WALL WITH PLUMBING FIXTURES.

9: **BUILDING INSULATION:** PROVIDE AS INDICATED IN WALL SECTIONS AND IN ACCORDANCE WITH PARTITION TYPES, WHETHER OR NOT SHOWN IN DETAILS AND OTHER DRAWINGS. FOR CLARITY, INSULATION MAY NOT BE SHOWN IN SOME CASES, EVEN IF IT IS TO BE PROVIDED.

10: **BLOCKING:** INSTALL BLOCKING BEHIND ALL SURFACE-APPLIED FIXTURES TRIM, CASEWORK, SHELVES, BRACKETS, TOILET ACCESSORIES, CHAIR RAILS, PICTURE RAILS, GRAB BARS, BASE MOLDINGS, AND AS OTHERWISE REQUIRED, WHEN SUCH ITEMS ARE APPLIED ON STUD WALLS.

11: **PENETRATIONS AT STRUCTURAL MEMBERS:** BEFORE PENETRATING JOISTS, BEAMS OR OTHER STRUCTURAL MEMBERS, CONSULT WITH THE ARCHITECT.

12: **DAMAGED WORK:** BUILDING OR SITE COMPONENTS WHICH ARE AFFECTED BY NEW WORK, DEMOLITION, OR WHICH MAY BE DAMAGED BY THE GENERAL CONTRACTOR OR ANY SUB-CONTRACTOR SHALL BE REPLACED OR RESTORED TO ORIGINAL CONDITION AND COLOR TO MEET THE APPROVAL OF THE ARCHITECT.

13: **RATED CONSTRUCTION:** PROVIDE RATED CONSTRUCTION AS REQUIRED BY CODE, AS SPECIFIED, AND AS INDICATED ON DRAWINGS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE AND INSTALL ALL COMPONENTS REQUIRED TO CREATE SUCH RATED CONSTRUCTION, REGARDLESS OF WHETHER OR NOT SUCH COMPONENTS ARE INDICATED. PROVIDE CONTINUITY OF SUCH RATED CONSTRUCTION AROUND AND BETWEEN SPACES, INCLUDING AT CHASES AND AT FLOORS, TO MAINTAIN COMPLETE SEPARATIONS, EVEN IF NOT SPECIFICALLY INDICATED.

14: **INTERIOR FINISHES:** ALL INTERIOR FINISHES AND FURNISHINGS ARE TO BE CLASS 'A' FIRE-RATED AND ARE TO COMPLY WITH IBC CHAPTER-8 (INTERIOR FLAME SPREAD).

15: **TEMPORARY FACILITIES:** PROVIDE ALL TEMPORARY FACILITIES AND SERVICES, CONSTRUCTION AND SUPPORT FACILITIES, AND SECURITY AND PROTECTION AS NEEDED TO PROTECT NEW AND EXISTING CONSTRUCTION FOR THE DURATION OF A COMPLETE INSTALLATION.

16: **MANUFACTURERS INSTRUCTIONS:** ALL MATERIALS & EQUIPMENT SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.

17: **ASBESTOS:** ALL MATERIAL USED FOR THE CONSTRUCTION OF THIS PROJECT, WHETHER BUILDING MATERIALS OR APPURTENANCES, SHALL BE NON-ASBESTOS CONTAINING MATERIAL.

18: **HAZARDOUS FUMES:** THE GENERAL CONTRACTOR SHALL CONFIRM THAT ALL MATERIAL AND FINISHES SPECIFIED AND THEIR FABRICATION OR INSTALLATION WILL NOT RELEASE FUMES OR AROMAS DURING CONSTRUCTION WHICH MAY BE A HAZARD OR NUISANCE TO PERSONNEL.

19: **PEST CONTROL:** SEAL AND CAULK AROUND ALL PENETRATIONS, CRACKS AND CREVICES AND ANY OPENINGS CAPABLE OF HARBORING INSECTS/RODENTS.

20: **EXPOSED UTILITIES:** ALL EXPOSED UTILITY WIRES AND PIPES (ELECTRICAL, PLUMBING, ETC.) SHALL BE INSTALLED IN A WAY THAT DOES NOT OBSTRUCT OR PREVENT THE CLEANING OF FLOORS, WALLS, AND CEILING AREAS. THEY SHALL BE INSTALLED A MINIMUM OF 6" OFF FLOORS AND 1" OFF WALLS, CEILINGS AND ADJACENT PIPES.

21: **OWNER SUPPLIED EQUIPMENT:** EQUIPMENT SUPPLIED BY THE OWNER AND INSTALLED BY THE GENERAL CONTRACTOR. EQUIPMENT INFORMATION AND SPECIFICATIONS ARE TO BE THE MOST CURRENT AVAILABLE AT THE TIME OF DOCUMENTATION PREPARATION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING WITH THE OWNER THE EXACT DIMENSIONS AND EQUIPMENT CONNECTION REQUIREMENTS (INCLUDING ELECTRICAL CIRCUIT REQUIREMENTS) OF EQUIPMENT TO BE SUPPLIED. THE GENERAL CONTRACTOR SHALL MAKE ALL FINAL CONNECTIONS AS NOTED ON THE DRAWINGS, INSTALL THE SET UP IN WORKING ORDER, CHECK WARRANTIES, TEST AND NOT VOID WARRANTIES. THE GENERAL CONTRACTOR SHALL COORDINATE WITH THE OWNER DELIVERY, STORAGE AND INSTALLATION OF ALL OWNER SUPPLIED EQUIPMENT. THE GENERAL CONTRACTOR SHALL STORE EQUIPMENT IF REQUESTED BY THE OWNER UNTIL INSTALLATION. SEE DRAWINGS FOR OTHER OWNER SUPPLIED/GENERAL CONTRACTOR INSTALLED ITEMS.

22: **FIRE PROTECTION NOTE:** EXISTING SPRINKLERHEADS, ALARM SYSTEM AND DETECTORS ARE TO BE MODIFIED TO CONFORM. WITH THE PROPOSED PLAN. COORDINATE WITH THE ARCHITECT, ANY MODIFICATION OR LOCATIONS WHERE EXISTING SYSTEMS ARE AFFECTED BY THE NEW DESIGN.

23: **SOILS AT FOOTINGS:** REPORT THE LOCATION OF ALL UNSUITABLE SOILS AND MATERIALS BELOW ANTICIPATED LEVEL OF FOOTING TO THE ARCHITECT PRIOR TO THE SETTING OF FORMS.

24: **ACCESS PANELS:** CONTRACTOR IS RESPONSIBLE FOR COORDINATING QUANTITY AND LOCATION OF ALL REQUIRED ACCESS PANELS FOR ALL MEP CONTROLS, CLEANOUTS, DAMPERS, PULL BOXES, ETC.

25: **EXISTING HAZARDOUS MATERIALS:** ALL HAZARDOUS MATERIALS INCLUDING BUT NOT LIMITED TO ASBESTOS AND LEAD PAINT ARE TO BE HANDLED, ENCAPSULATED, ABATED AND DISPOSED OF IN ACCORDANCE WITH ANY AND ALL FEDERAL, STATE AND LOCAL REQUIREMENTS AND REGULATIONS.

26: **PROVIDE GRADE SLOPE** AWAY FROM HOUSE FOR DRAINAGE AT ALL SIDES OF FOUNDATION

27: **FOUNDATION PAINTING** - EXISTING AND NEW EXPOSED FOUNDATION TO BE PAINTRED WITH CONCRETE PAINT, COLOR: TBD

28: **PLUMBING** - ADD NEW PLUMBING LINE TO WATER METER FOR IRRIGATION

MECHANICAL
PROVIDE EXHAUST FAN IN BATHS. COORDINATE LOCATION OF DUCTS AND VENTS REQUIRED FOR HVAC SYSTEM WITH ARCHITECT. COORDINATE LOCATION OF PLUMBING VENT STACK WITH ARCHITECT.

ELECTRICAL
ALL ELECTRICAL WORK TO COMPLY WITH THE NATIONAL ELECTRICAL CODE FIXTURES INSTALLED IN AN INSULATED CAVITY SHOULD BE RATED FOR SUCH APPLICATION. COORDINATE LOCATION OF ALL CEILING AND ELECTRICAL DEVICES WITH ARCHITECT.

STRUCTURAL
INCLUDING BUT NOT LIMITED TO ACI 318 "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE" AND ACI 301 "SPECIFICATIONS FOR STRUCTURAL CONCRETE."

CONCRETE SHALL BE READY-MIXED CONCRETE, PROPORTIONED, MIXED, AND PLACED IN ACCORDANCE WITH THE PROVISIONS SET FORTH IN ACI 318. JOB-SITE MIXING OF CONCRETE WILL NOT BE PERMITTED. REINFORCING BARS SHALL CONFORM TO ASTM A615 GRADE 60 DEFORMED BARS AND SHALL BE DETAILED, FABRICATED, AND PLACED IN ACCORDANCE WITH ACI 315. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185 AND SHALL BE PROVIDED IN FLAT SHEETS. LAP TWO SQUARES AT ALL JOINTS AND TIE AT 3'-0" ON CENTER.

CONCRETE MIX DESIGN: INTERIOR SLABS-ON-GRADE:

- STRENGTH: 3,000 PSI @ 28 DAYS
- AGGREGATE: 3/4"
- W/C RATIO: 0.55 MAX
- ENTRAPPED AIR ONLY (NO ENTRAINMENT): 3% MAX
- SLUMP: 4" MAX
- TYPICAL FLOOR SLAB SHALL BE CONCRETE SLAB ON GRADE W/ 6X6 – 1.4 X 1.4 WWF

- 1

1/2" GWB
2x4 Stud @ 16" o.c.
1/2" GWB
- 2

1/2" GWB
2x6 Stud @ 16" o.c.
1/2" GWB
- F1

5/8" GWB - TYPE X
2x6 Stud @ 16" o.c.
Batt Insulation
5/8" GWB - TYPE X
- SW

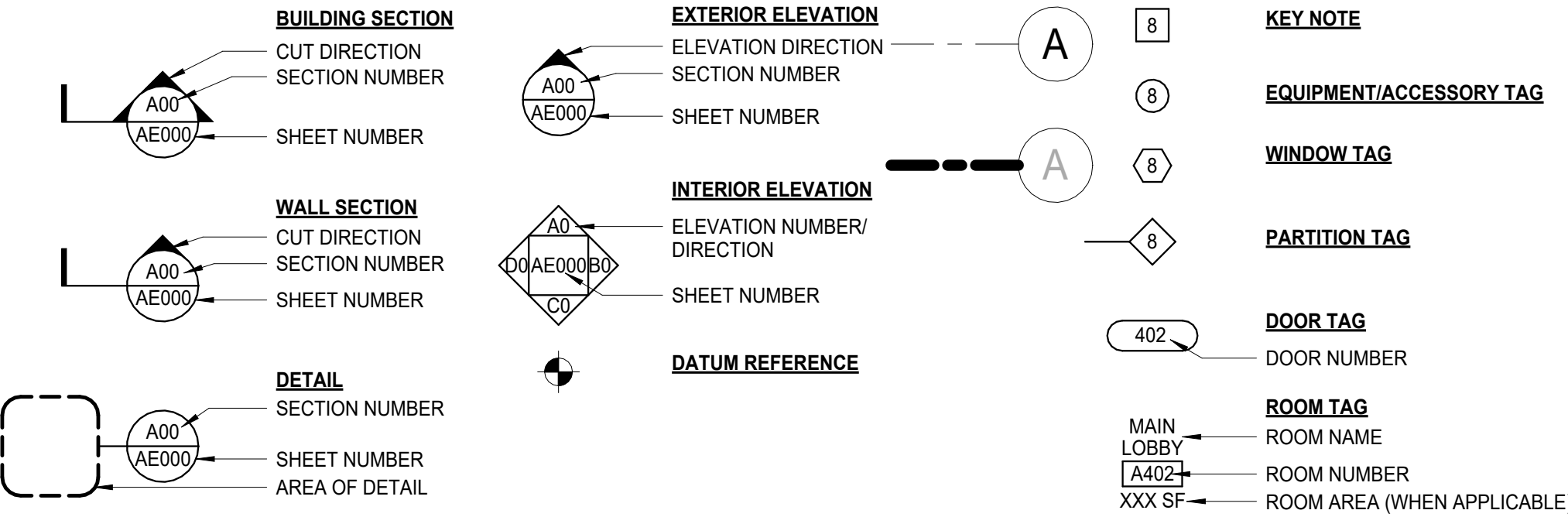
1/2" GWB
7/16" Plywood Sheathing
2x4 Stud @ 16" o.c.
1/2" GWB

Wall Types
1/2" = 1'-0"

	GRAVEL		WOOD (Blocking)
	CONCRETE		ROUGH WOOD
	EARTH		BATT INSULATION
	GYPSUM		RIGID INSULATION
	PLYWOOD		BLOWN IN
	CMU		SAND
	WOOD		WOOD (FINISH)

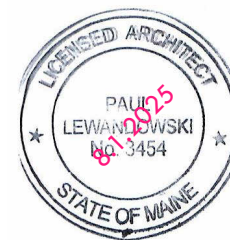
Material Key
3/16" = 1'-0"

SYMBOL LEGEND:



A001

Scale As Indicated



Department of Corrections
Ship Street - Thomaston, ME

GENERAL NOTES & CODE INFORMATION

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PAULDESIGNSPROJECT

10.03.2025



SECTION 02 05 00

DEMOLITION OF EXISTING STRUCTURES

PART 1 – GENERAL

- 1.01 Section Includes
- a. Building removal/demolition
 - b. Miscellaneous Structure Removal / Demolition

1.02 RELATED SECTIONS

- A. 01 14 13 Access to Site
- B. 01 57 13 TEMPORARY EROSION and SEDIMENT CONTROL
- C. 01 74 19 Construction Waste Management and Disposal
- D. 01 74 23 Final Cleaning
- E. 31 10 00 Site Clearing
- F. 31 20 00 Earth Moving

1.03 REFERENCES

- A. American National Standards Institute (ANSI):
 - 1. ANSI A10.6 Safety Requirements for Demolition Operations

1.04 DESCRIPTION

A. Scope of Work

1. This section specifies the labor, materials, equipment, and incidentals required for the demolition, relocation, and/or disposal of all structures, building materials, equipment, and accessories to be removed as shown on the Drawings and as specified herein.
2. There may be existing and active stormwater, wastewater, water, and other facilities on site as indicated on the Drawings. **It is essential that these facilities, when encountered, remain intact and in service during the proposed demolition.** Consequently, the Contractor shall be responsible for the protection of these facilities and shall diligently direct all his activities toward maintaining continuous operation of the existing facilities and minimizing operational inconvenience.
3. Demolition generally includes:
 - a. Complete demolition and removal of manholes, valve vaults, wetwells, piping, and mechanical and electrical equipment related to the Work as shown on the Drawings and specified herein.
 - b. Complete demolition and removal of all above and below ground structures, concrete slabs and foundations, vaults, and underground

- B. Do not interrupt existing utilities serving occupied or operational facilities, except when authorized by Owner. Provide temporary services during interruptions to existing utilities as acceptable to the County.
- C. The Contractor shall cooperate with the Owner to shut off utilities serving structures of the existing facilities as required by demolition operations.
- D. The Contractor shall be solely responsible for making all necessary arrangements and for performing any necessary work involved in connection with the interruption of all public and private utilities or services.
- E. All utilities being abandoned shall be terminated at the service mains in conformance with the requirement of the utility companies or the municipality owning or controlling them.

1.13 EXTERMINATION

- A. If required, before starting demolition, the Contractor shall employ a certified rodent and vermin exterminator and treat the facilities in accordance with governing health laws and regulations. Any rodents, insects, or other vermin appearing before or during the demolition shall be killed or otherwise prevented from leaving the immediate vicinity of the demolition work.

1.12 POLLUTION CONTROL

- A. For pollution control, use water sprinkling, temporary enclosures, and other suitable methods as necessary to limit the amount of dust rising and scattering in the air to the lowest level of air pollution practical for the conditions of work. The Contractor shall comply with the governing regulations.
- B. Clean adjacent structures and improvements of all dust and debris caused by demolition operations as directed by the Owner. Return areas to conditions existing prior to the start of Work.

PART 2 – PRODUCTS

2.01 MATERIALS, EQUIPMENT, AND FACILITIES

- A. The Contractor shall furnish all materials, tools, equipment, devices, appurtenances, facilities, and services as required for performing the demolition and removal Work.
- B. Materials used for backfill shall conform to the requirements for backfill of Section 31 20 00 - Earth Moving.

PART 3 - EXECUTION

3.01 PRESERVATION OF REFERENCE MARKERS

utilities (water, wastewater, electrical, etc.) as shown on the Drawings and specified herein.

- c. All material, equipment, rubble, debris, and other products of the demolition shall become the property of the Contractor for his disposal off-site in accordance with all applicable laws and ordinances at the Contractor's expense. The sale of salvageable materials by the Contractor shall only be conducted off-site.

4. The Contractor shall examine the various Drawings, visit the site, determine the extent of the Work, the extent of work affected therein, and all conditions under which he is required to perform the various operations.
5. The Contractor shall fill and compact all voids left by the removal of pipe, structures, etc. with materials described herein to a grade that will provide for positive drainage of the disturbed area to drain run-off in direction consistent with the surrounding area. The Contractor shall provide all fill materials to the site as needed. Compaction of fill shall match the compaction of adjacent undisturbed material.

B. Demolition as follows:

1. Building structures, including basements, foundations, footings, and foundation systems shall be completely removed.
2. Piles shall be removed to a minimum of 5 feet below the bottom of foundations unless shown otherwise on the Construction Drawings.
3. Miscellaneous structures, including box culverts, retaining walls, U-walls and junction boxes, shall be completely removed.
4. Utility services to facilities to be removed or demolished shall be disconnected, cut, and capped.

1.05 QUALITY ASSURANCE

- A. Contractor shall notify Dig Safe www.digsafe.com prior to commencing any work.
- B. Permits and Licenses: The Contractor shall obtain all special permits and licenses and give all notices required for the performance and completion of the structure demolition and removal work, hauling, and disposal of debris.
- C. Notices: Contractor shall issue written notices of planned demolition to companies or local authorities owning utility conduit, wires, or pipes running to or through the project site. Copies of said notices shall be submitted to the Owner.

- A. Record the locations and designation of any existing survey markers and monuments affected by the structure demolition. Provide three reference points for each survey marker and monument removed, established by a licensed civil engineer or land surveyor.
- B. Store removed markers and monuments during demolition work, and replace them upon completion of the work. Re-establish survey markers and monuments in conformance with the recorded reference points.

3.02 STRUCTURE DEMOLITION

- A. Perform structure demolition and removal Work in accordance with the reviewed demolition plan and ANSI A10.6 as applicable.
- B. Remove walls and masonry construction to a minimum depth of one foot below existing ground level or 3 feet below finished grade, whichever is lower, in areas where such items do not interfere with new construction.
- C. Cap or plug sanitary sewer in accordance with the utility owner's standard details and instructions. Cap and plug pipe and other conduits abandoned due to demolition, with approved type caps and plugs as required by the utility owners.
- D. Backfill and compact depressions caused by excavations, demolition, and removal in accordance with applicable requirements of Section 31 00 00 -Earthwork.

3.03 SALVAGE

- A. If requested, salvaging shall include the removal, disassembly, preparation, marking, building, packaging, tagging, hauling and stockpiling of salvaged materials to the location designated by the Owner.

3.04 DISPOSAL OF REMOVED MATERIALS AND DEBRIS

- A. Dispose of removed materials, waste, trash, and debris in a safe, acceptable manner, in accordance with applicable laws and ordinances and as prescribed by authorities having jurisdiction.
- B. Burying of trash and debris on the site will not be permitted. Burning of trash and debris at the site will not be permitted.
- C. Remove trash and debris from the site at frequent intervals so that their presence will not delay the progress of the work or cause hazardous conditions for workers and the public.
- D. Removed materials, trash, and debris shall become the property of the Contractor and shall be removed from the project site and be disposed of in a legal manner. Location of disposal site and length of haul shall be the Contractor's responsibility.

- D. Utility Services: Contractor shall notify utility companies or local authorities furnishing gas, water, electrical, telephone, or sewer service to remove any equipment in the structures to be demolished and to remove, disconnect, cap, or plug their services to facilitate demolition.

1.05 SHOP DRAWINGS AND SUBMITTALS

- A. Submittals shall be submitted to the Owner for review and acceptance prior to construction in accordance with the General Conditions and specifications Section 01 32 19 Submittals Schedule.
- B. Submit to the Owner for their approval, 2 copies of proposed methods and operations of demolition or relocation of the structures specified below prior to the start of Work. Include in the schedule the coordination of shut-off, capping, and continuation of utility service as required.
- C. Provide a detailed sequence of demolition and removal work to ensure the uninterrupted progress of the Owner's operations.
- D. Before commencing demolition work, all structure relocation, bypassing, capping, or modifications necessary will be completed. Actual work will not begin until the Architect has inspected and approved the prerequisite work and authorized commencement of the demolition work.

1.06 SITE CONDITIONS

- A. Prior to demolition, the Contractor shall obtain written verification from the utility owner(s) that the existing utilities, including stormwater, wastewater, and/or water facilities, are not operational and are ready for demolition.
- B. The Owner assumes no responsibility for the actual condition of the structures to be demolished or relocated.
- C. Conditions existing at the time of inspection for bidding purposes will be maintained by the Owner insofar as practicable. However, variations within each site may occur prior to the start of demolition work.
- D. Certain information regarding the reputed presence, size, character and location of existing underground structures, pipes and conduit has been shown on the Drawings. There is no certainty of the accuracy of this information, and the location of underground structures shown may be inaccurate and other obstructions than those shown may be encountered. The Contractor hereby distinctly agrees that the Owner is not responsible for the correctness or sufficiency of the information given; that in no event is this information to

3.05 CLEANUP

- A. Provide a clean and orderly site at all times

END OF SECTION 02 50 00

be considered as a part of the Contract; that he shall have no claim for delay or extra compensation on account of incorrectness of information regarding obstructions either revealed or not revealed by the Drawings; and that he shall have no claim for relief from any obligation or responsibility under this Contract in case the location, size, or character of any pipe or other underground structure is not as indicated on the Drawings, or in case any pipe or other underground structure is encountered that is not shown on the Drawings.

1.07 RESTRICTIONS

- A. No building, tank or structure, or any part thereof, shall be demolished until an application has been filed by the Contractor with the Building Department Inspector and a permit issued if a permit is required. The fee for this permit shall be the Contractor's responsibility. Demolition shall be in accordance with applicable provisions of the Building Code of the State.
- B. No explosives shall be used at any time during the demolition. No burning of combustible material will be allowed.

1.08 DISPOSAL OF MATERIAL

- A. All materials not retained by the Owner shall become the Contractor's property and shall be removed off-site.

1.09 TRAFFIC AND ACCESS

- A. Conduct work to ensure minimum interference with on-site and off-site roads, streets, sidewalks, and occupied or used facilities.

1.10 PROTECTION

- A. Conduct operations to minimize damage by falling debris or other causes to adjacent buildings, structures, roadways, other facilities, and persons. Provide interior and exterior shoring, bracing, or support to prevent movement or settlement or collapse of structures to be demolished and adjacent facilities to remain.

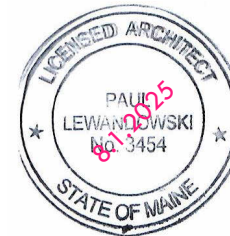
1.11 DAMAGE

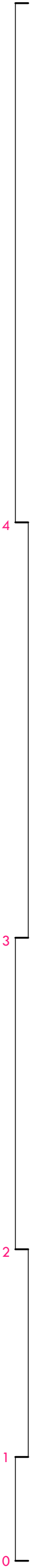
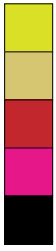
- A. Promptly repair damage caused to adjacent facilities by demolition operations as directed by the Owner at no cost to the Owner.

1.12 UTILITIES

- A. Maintain existing utilities as directed by the Owner to remain in service and protect against damage during demolition operations.

Scale



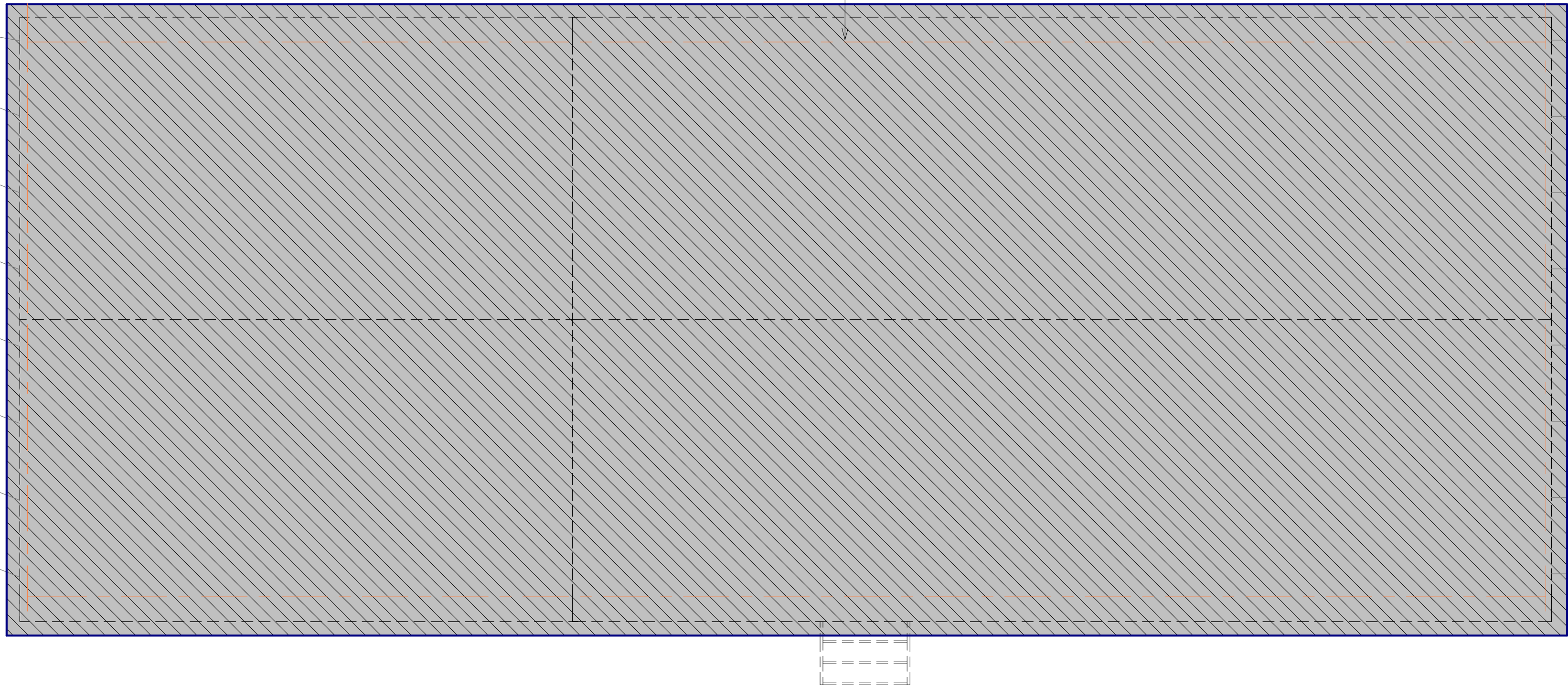


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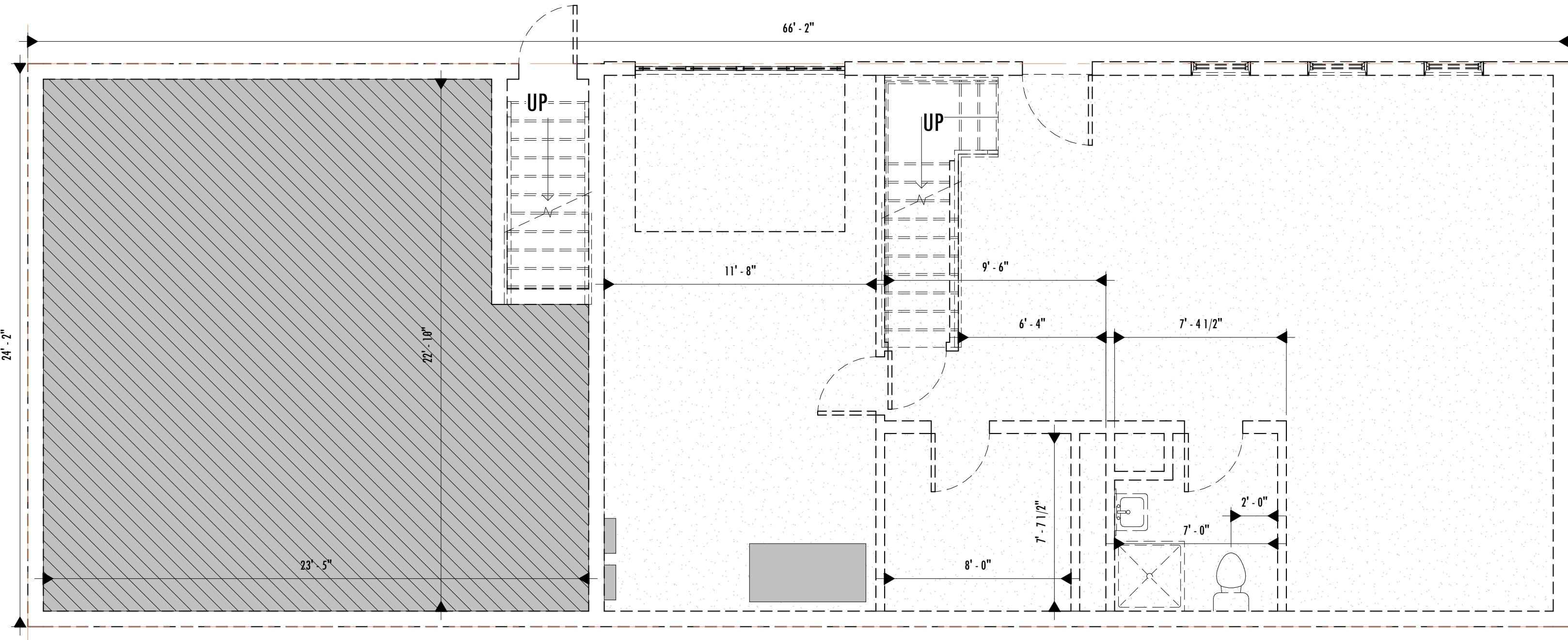
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HOUSE 2

Backfill and Grade to match existing topography upon removal of building material (1,900 sf)



1 Site Plan - Demolition
1/4" = 1'-0"



2 00 Ground - House 2 - Demolition
1/4" = 1'-0"

DEMOLITION & SITE PREPARATION NARRATIVE:

This initial phase of the project involves complete demolition of the existing building on the site of Ship Street Building 2. After a study of the building, it was deemed unfit to repair.

Architectural & Engineering Coordination

The architects and engineers will provide demolition sheets outlining contents of the building and any areas of interest needed for extra precaution throughout the demolition. These documents will clearly define the extent of the demolition work required to facilitate a fully cleared site.

1. Contractor's Responsibilities

The contractor will be responsible for demolishing all building elements in its entirety alongside removal of all said material from the site otherwise specified by the architects and engineers.

The contractor is to perform this work in coordination with the project team, ensuring that all elements are demolished correctly and safely throughout the process.

2. Documentation

In the demolition of the building, documenting any and all points of interest in the site will be critical during and post-demolition. The contractor will be responsible for noting anything of magnitude that would affect the future construction on the site.

3. Disposal & Recycling

Alongside demolition will be removal of all demolished material from the site. All material must be removed from the site after site preparation and msut not be present in any form when new construction begins unless specified otherwise. Any instances of recycling material will be specified by architects or engineers or after discussion with contractor during demolition.

Project will commence with on site meeting to refine scope of work.

Demolition Notes

- Remove all existing constructions and finishes necessary for the completion of the work as depicted on the drawings, including but not limited to, items shown on the plans with dashed lines. necessary disconnects and alterations to existing mechanical and electrical systems shall be included. patch as required all constructions to remain in accordance with the contract drawings. where contractor is designated to make removals, disposition of materials is the responsibility of the contractor. verify with owner, the disposition and removal of any components of salvageable value.
- All removals and salvage, unless specifically noted or requested by the owner shall become the property of the contractor.
- Remove only nonload bearing construction and partitions. contractor to verify, prior to removal, that no structural components, i.e. bearing walls, beams, headers, etc.. supporting floor, roof or ceiling joists are designated for removal. contact the architect prior to removal of any construction in question or deviating from the design intent.
- Patch all finishes to match existing, including but not limited to, gypsum board, plaster, acoustic systems, wood trim, covers, base, panels, rails and wainscot. verify match of new finish materials to existing in color, texture, thickness, cut, etc. to satisfaction of owner prior to installations. provide other materials to match existing when required. to be approved by owner.
- Where applicable level all existing floors as required to receive new floor finishes. install required transition pieces between various floor finishes suitable for conditions and acceptable to the owner. match existing wherever possible.

DEMOLITION LEGEND:

- S1 DEMOLITION NOTE
- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE REMOVED

DEMOLITION NOTES:

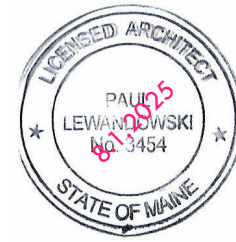
- ALL PENETRATIONS, OPENINGS, OR DAMAGE RESULTING FROM DEMOLITION TO COMPLETE THE SCOPE OF WORK SHALL BE PATCHED/REPAIRED.
- DASHED LINES REPRESENT ITEMS TO BE REMOVED, U.N.O.
- REMOVE PARTITIONS TO STRUCTURE ABOVE, U.N.O.
- REMOVE DOORS, FRAMES AND HARDWARE INCLUDING SIDELIGHTS, TRANSOMS, AND THRESHOLDS WHERE DOORS ARE SHOWN DASHED, U.N.O.
- REMOVE ALL EXISTING WALL MOUNTED ITEMS, U.N.O.

DEMOLITION NOTE SCHEDULE:

1. Remove Existing Wall/Partition
2. Remove Existing Plumbing or Mechanical Equipment
3. Remove Doors or Windows, Fill if Necessary
4. Remove Stairs or Decking
5. Remove Existing Casework or Countertops
6. Remove Slab and All Foundations Below
7. Remove Existing Structural Columns

D100

Scale As Indicated



Department of Corrections
Ship Street - Thomaston, ME
HOUSE 2 DEMOLITION

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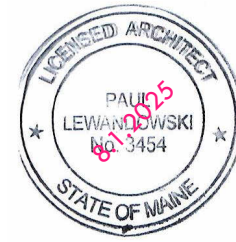
DOC - Maine State Prison
Ship St. Housing Renovations
HOUSE 3

Ship Street Circle - Thomaston, Maine

Sheet List	
Sheet Number	Sheet Name
A000	COVER
A002	GENERAL NOTES & CODE INFORMATION
A100	HOUSE 3
A101	FLOOR PLAN - HOUSE 3 - LOWER LEVEL
A102	HOUSE 3 - Lower Level 001/002
A103	HOUSE 3 - Lower Level 003
A104	FLOOR PLAN - HOUSE 3 - MAIN LEVEL
A105	HOUSE 3 - Main Level - 101/102
A106	HOUSE 3 - Main Level - 103/104
A107	HOUSE 3 - Main Level - 105/106
A108	FLOOR PLAN - HOUSE 3 - UPPER LEVEL
A109	HOUSE 3 - Upper Level - 201/202
A110	HOUSE 3 - Upper Level - 203/204
A111	HOUSE 3 - FLOOR PLAN - ROOF
A112	HOUSE 3 - DECK
A113	HOUSE 3 - STAIRS
A200	ELEVATIONS - H3-N
A201	ELEVATIONS - H3-E
A202	ELEVATIONS - H3-S
A203	ELEVATIONS - H3-W
A603	OUTLINE SPECIFICATIONS

REVIEW BID DOCUMENTS

A000



Department of Corrections
Ship Street - Thomaston, ME
COVER

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PAULDESIGNSPROJECT
08.01.2025



GENERAL NOTES

1: **DRAWING NOTES:** CONTRACTOR TO FURNISH AND INSTALL ALL NOTED LABOR AND MATERIALS UNLESS OTHERWISE NOTED.

2: **CODE COMPLIANCE:** ALL WORK SHALL CONFORM TO THE LATEST EDITION OF STATE, LOCAL AND OTHER CODES WHICH APPLY TO THIS PROJECT OR HAVE JURISDICTION.

3: **COORDINATION:** IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL DISCIPLINES AND TRADES SO THAT ALL BUILDING SYSTEMS AND COMPONENTS CAN BE ASSEMBLED WITHOUT CONFLICTS. IN THE EVENT THAT THE CONSTRUCTION DOCUMENTS DEFINE CONDITIONS WHICH PROHIBIT, OR MAY PROHIBIT, SUCH ASSEMBLY, THE CONTRACTOR SHALL BRING TO THE ARCHITECT'S ATTENTION, IN WRITING AND IN A TIMELY FASHION, SUCH CONDITION. THE CONTRACTOR AND HIS/HER SUBCONTRACTORS SHALL BE RESPONSIBLE FOR PROVIDING MATERIALS AND SYSTEMS SHOWN IN THE CONSTRUCTION DOCUMENTS REGARDLESS OF WHERE THE INFORMATION IS LOCATED. WHERE COMPONENTS OF A SYSTEM ARE INDICATED THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL LABOR AND MATERIALS NECESSARY TO COMPLETE THE SYSTEM.

4: **DISCREPANCIES & CLARIFICATIONS:** THIS PROJECT INVOLVES THE FIT-UP OF AN EXISTING BUILDING. EXISTING DIMENSIONS SHOWN ON THE DRAWINGS ARE BELIEVED TO BE ACCURATE, BUT CANNOT BE GUARANTEED, MEASURE AND VERIFY DIMENSIONS IN FIELD PRIOR TO FABRICATION AND CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BRING TO THE ARCHITECTS ATTENTION ANY DISCREPANCIES OR AMBIGUITIES IN THE DRAWINGS AND/OR SPECIFICATIONS.

5: **LAYOUT:** UNLESS INDICATED OTHERWISE, CENTER WALL FRAMING AND PARTITION FRAMING ON COLUMN LINES. FLOOR PLAN DIMENSIONS ARE TO FACE OF FRAMING, FACE OF CONCRETE, FACE OF CMU, OR FROM COLUMN CENTERLINES, UNLESS INDICATED OTHERWISE.

6: **ACCESSIBILITY:** ALL HANDICAPPED ACCESSIBLE BATHROOMS, GRAB BARS, AND DOOR OPENINGS SHALL MEET THE REQUIREMENTS OF TITLE 94-348, CHAPTER 5 OF THE MAINE HUMAN RIGHTS COMMISSION TITLE LATEST EDITION & THE DEPARTMENT OF JUSTICE ADA STANDARDS FOR ACCESSIBLE DESIGN.

7: **DRAWING SCALES:** WORK FROM THE GIVEN DIMENSIONS ONLY. SCALE IS INDICATED ON THE DRAWINGS FOR CONVENIENCE ONLY. IT IS NOT INTENDED THAT INFORMATION BE DETERMINED BY SCALING THE DRAWINGS SINCE SOME ITEMS MAY NOT BE TO SCALE.

8: **WATER-RESISTANT GWB:** INSTALL WATER-RESISTANT GYPSUM WALL BOARD IN ALL REST ROOMS & TOILET ROOMS OR AT ANY WALL WITH PLUMBING FIXTURES.

9: **BUILDING INSULATION:** PROVIDE AS INDICATED IN WALL SECTIONS AND IN ACCORDANCE WITH PARTITION TYPES, WHETHER OR NOT SHOWN IN DETAILS AND OTHER DRAWINGS. FOR CLARITY, INSULATION MAY NOT BE SHOWN IN SOME CASES, EVEN IF IT IS TO BE PROVIDED.

10: **BLOCKING:** INSTALL BLOCKING BEHIND ALL SURFACE-APPLIED FIXTURES TRIM, CASEWORK, SHELVES, BRACKETS, TOILET ACCESSORIES, CHAIR RAILS, PICTURE RAILS, GRAB BARS, BASE MOLDINGS, AND AS OTHERWISE REQUIRED, WHEN SUCH ITEMS ARE APPLIED ON STUD WALLS.

11: **PENETRATIONS AT STRUCTURAL MEMBERS:** BEFORE PENETRATING JOISTS, BEAMS OR OTHER STRUCTURAL MEMBERS, CONSULT WITH THE ARCHITECT.

12: **DAMAGED WORK:** BUILDING OR SITE COMPONENTS WHICH ARE AFFECTED BY NEW WORK, DEMOLITION, OR WHICH MAY BE DAMAGED BY THE GENERAL CONTRACTOR OR ANY SUB-CONTRACTOR SHALL BE REPLACED OR RESTORED TO ORIGINAL CONDITION AND COLOR TO MEET THE APPROVAL OF THE ARCHITECT.

13: **RATED CONSTRUCTION:** PROVIDE RATED CONSTRUCTION AS REQUIRED BY CODE, AS SPECIFIED, AND AS INDICATED ON DRAWINGS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE AND INSTALL ALL COMPONENTS REQUIRED TO CREATE SUCH RATED CONSTRUCTION, REGARDLESS OF WHETHER OR NOT SUCH COMPONENTS ARE INDICATED. PROVIDE CONTINUITY OF SUCH RATED CONSTRUCTION AROUND AND BETWEEN SPACES, INCLUDING AT CHASES AND AT FLOORS, TO MAINTAIN COMPLETE SEPARATIONS, EVEN IF NOT SPECIFICALLY INDICATED.

14: **INTERIOR FINISHES:** ALL INTERIOR FINISHES AND FURNISHINGS ARE TO BE CLASS 'A' FIRE-RATED AND ARE TO COMPLY WITH IBC CHAPTER-8 (INTERIOR FLAME SPREAD).

15: **TEMPORARY FACILITIES:** PROVIDE ALL TEMPORARY FACILITIES AND SERVICES, CONSTRUCTION AND SUPPORT FACILITIES, AND SECURITY AND PROTECTION AS NEEDED TO PROTECT NEW AND EXISTING CONSTRUCTION FOR THE DURATION OF A COMPLETE INSTALLATION.

16: **MANUFACTURERS INSTRUCTIONS:** ALL MATERIALS & EQUIPMENT SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.

17: **ASBESTOS:** ALL MATERIAL USED FOR THE CONSTRUCTION OF THIS PROJECT, WHETHER BUILDING MATERIALS OR APPURTENANCES, SHALL BE NON-ASBESTOS CONTAINING MATERIAL.

18: **HAZARDOUS FUMES:** THE GENERAL CONTRACTOR SHALL CONFIRM THAT ALL MATERIAL AND FINISHES SPECIFIED AND THEIR FABRICATION OR INSTALLATION WILL NOT RELEASE FUMES OR AROMAS DURING CONSTRUCTION WHICH MAY BE A HAZARD OR NUISANCE TO PERSONNEL.

19: **PEST CONTROL:** SEAL AND CAULK AROUND ALL PENETRATIONS, CRACKS AND CREVICES AND ANY OPENINGS CAPABLE OF HARBORING INSECTS/RODENTS.

20: **EXPOSED UTILITIES:** ALL EXPOSED UTILITY WIRES AND PIPES (ELECTRICAL, PLUMBING, ETC.) SHALL BE INSTALLED IN A WAY THAT DOES NOT OBSTRUCT OR PREVENT THE CLEANING OF FLOORS, WALLS, AND CEILING AREAS. THEY SHALL BE INSTALLED A MINIMUM OF 6" OFF FLOORS AND 1" OFF WALLS, CEILINGS AND ADJACENT PIPES.

21: **OWNER SUPPLIED EQUIPMENT:** EQUIPMENT SUPPLIED BY THE OWNER AND INSTALLED BY THE GENERAL CONTRACTOR. EQUIPMENT INFORMATION AND SPECIFICATIONS ARE TO BE THE MOST CURRENT AVAILABLE AT THE TIME OF DOCUMENTATION PREPARATION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING WITH THE OWNER THE EXACT DIMENSIONS AND EQUIPMENT CONNECTION REQUIREMENTS (INCLUDING ELECTRICAL CIRCUIT REQUIREMENTS) OF EQUIPMENT TO BE SUPPLIED. THE GENERAL CONTRACTOR SHALL MAKE ALL FINAL CONNECTIONS AS NOTED ON THE DRAWINGS, INSTALL THE SET UP IN WORKING ORDER, CHECK WARRANTIES, TEST AND NOT VOID WARRANTIES. THE GENERAL CONTRACTOR SHALL COORDINATE WITH THE OWNER DELIVERY, STORAGE AND INSTALLATION OF ALL OWNER SUPPLIED EQUIPMENT. THE GENERAL CONTRACTOR SHALL STORE EQUIPMENT IF REQUESTED BY THE OWNER UNTIL INSTALLATION. SEE DRAWINGS FOR OTHER OWNER SUPPLIED/GENERAL CONTRACTOR INSTALLED ITEMS.

22: **FIRE PROTECTION NOTE:** EXISTING SPRINKLERHEADS, ALARM SYSTEM AND DETECTORS ARE TO BE MODIFIED TO CONFORM. WITH THE PROPOSED PLAN. COORDINATE WITH THE ARCHITECT, ANY MODIFICATION OR LOCATIONS WHERE EXISTING SYSTEMS ARE AFFECTED BY THE NEW DESIGN.

23: **SOILS AT FOOTINGS:** REPORT THE LOCATION OF ALL UNSUITABLE SOILS AND MATERIALS BELOW ANTICIPATED LEVEL OF FOOTING TO THE ARCHITECT PRIOR TO THE SETTING OF FORMS.

24: **ACCESS PANELS:** CONTRACTOR IS RESPONSIBLE FOR COORDINATING QUANTITY AND LOCATION OF ALL REQUIRED ACCESS PANELS FOR ALL MEP CONTROLS, CLEANOUTS, DAMPERS, PULL BOXES, ETC.

25: **EXISTING HAZARDOUS MATERIALS:** ALL HAZARDOUS MATERIALS INCLUDING BUT NOT LIMITED TO ASBESTOS AND LEAD PAINT ARE TO BE HANDLED, ENCAPSULATED, ABATED AND DISPOSED OF IN ACCORDANCE WITH ANY AND ALL FEDERAL, STATE AND LOCAL REQUIREMENTS AND REGULATIONS.

26: **PROVIDE GRADE SLOPE** AWAY FROM HOUSE FOR DRAINAGE AT ALL SIDES OF FOUNDATION

27: **FOUNDATION PAINTING** - EXISTING AND NEW EXPOSED FOUNDATION TO BE PAINTRED WITH CONCRETE PAINT, COLOR: TBD

28: **PLUMBING** - ADD NEW PLUMBING LINE TO WATER METER FOR IRRIGATION

MECHANICAL
PROVIDE EXHAUST FAN IN BATHS. COORDINATE LOCATION OF DUCTS AND VENTS REQUIRED FOR HVAC SYSTEM WITH ARCHITECT. COORDINATE LOCATION OF PLUMBING VENT STACK WITH ARCHITECT.

ELECTRICAL
ALL ELECTRICAL WORK TO COMPLY WITH THE NATIONAL ELECTRICAL CODE FIXTURES INSTALLED IN AN INSULATED CAVITY SHOULD BE RATED FOR SUCH APPLICATION. COORDINATE LOCATION OF ALL CEILING AND ELECTRICAL DEVICES WITH ARCHITECT.

STRUCTURAL
INCLUDING BUT NOT LIMITED TO ACI 318 "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE" AND ACI 301 "SPECIFICATIONS FOR STRUCTURAL CONCRETE."

CONCRETE SHALL BE READY-MIXED CONCRETE, PROPORTIONED, MIXED, AND PLACED IN ACCORDANCE WITH THE PROVISIONS SET FORTH IN ACI 318. JOB-SITE MIXING OF CONCRETE WILL NOT BE PERMITTED. REINFORCING BARS SHALL CONFORM TO ASTM A615 GRADE 60 DEFORMED BARS AND SHALL BE DETAILED, FABRICATED, AND PLACED IN ACCORDANCE WITH ACI 315. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185 AND SHALL BE PROVIDED IN FLAT SHEETS. LAP TWO SQUARES AT ALL JOINTS AND TIE AT 3'-0" ON CENTER.

CONCRETE MIX DESIGN: INTERIOR SLABS-ON-GRADE:

- STRENGTH: 3,000 PSI @ 28 DAYS
- AGGREGATE: 3/4"
- W/C RATIO: 0.55 MAX
- ENTRAPPED AIR ONLY (NO ENTRAINMENT): 3% MAX
- SLUMP: 4" MAX
- TYPICAL FLOOR SLAB SHALL BE CONCRETE SLAB ON GRADE W/ 6X6 - 1.4 X 1.4 WWF

EGRESS WIDTH PER OCCUPANT (IBC 1005.1 (IEBC Table 1301.6.11(1)) (NFPA 07.3.3.1)
IBC 1005/1 IEBC Table 1301.6.11(1) NFPA 07.3.3.1

0.3 inches per occupant for stairways
0.2 inches per occupant for other egress component

STAIRWAY WIDTH (IBC 1009.3, 1011.2) (NFPA 101 Table 7.2.2.2.1.2(8), 7.3.3.1.2)

0.3 inches per occupant
44 inch width minimum for <2000>50
36 inch width min. for < 50

1 1/2" GWB
2x4 Stud @ 16" o.c.
1/2" GWB

2 1/2" GWB
2x6 Stud @ 16" o.c.
1/2" GWB

F1 5/8" GWB - TYPE X
2x6 Stud @ 16" o.c.
Batt Insulation
5/8" GWB - TYPE X

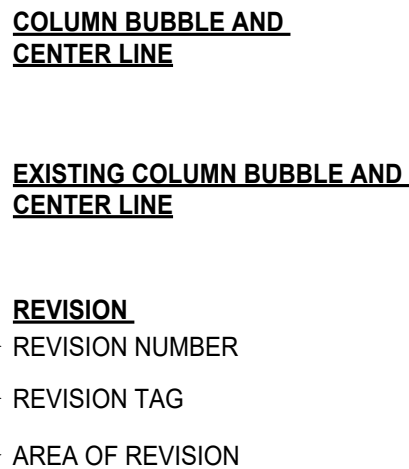
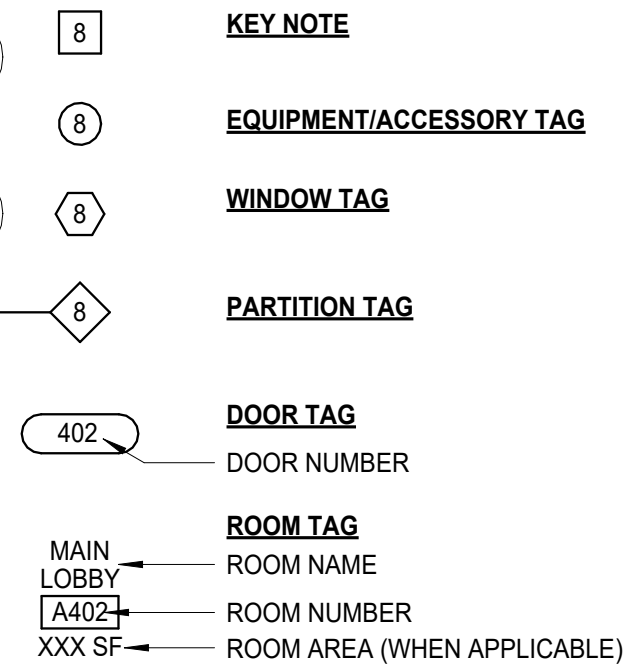
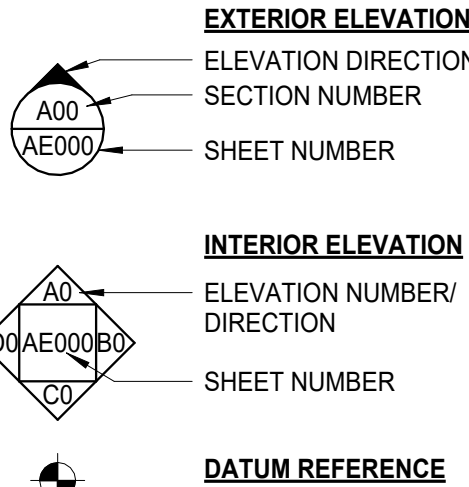
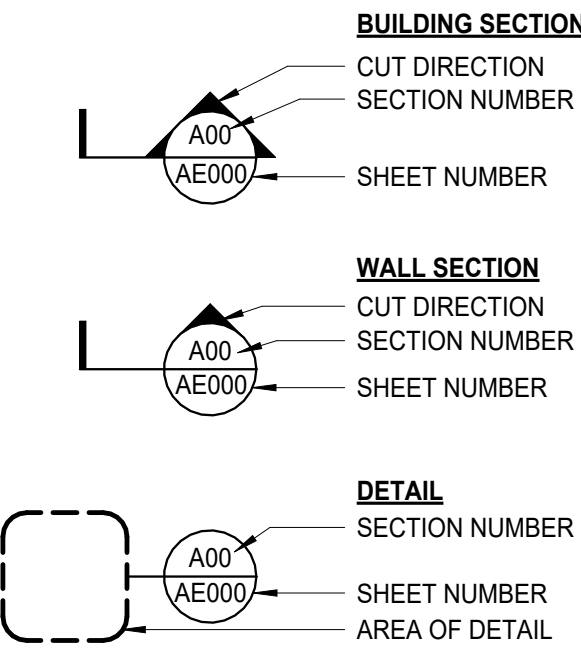
SW 1/2" GWB
7/16" Plywood Sheathing
2x4 Stud @ 16" o.c.
1/2" GWB

Wall Types
1/2" = 1'-0"

	GRAVEL		WOOD (Blocking)
	CONCRETE		ROUGH WOOD
	EARTH		BATT INSULATION
	GYPSUM		RIGID INSULATION
	PLYWOOD		BLOWN IN
	CMU		SAND
	WOOD		WOOD (FINISH)

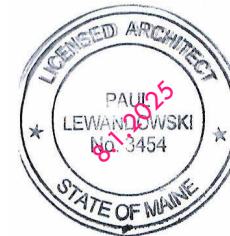
Material Key
3/16" = 1'-0"

SYMBOL LEGEND:



A002

Scale As Indicated



Department of Corrections
Ship Street - Thomaston, ME

GENERAL NOTES & CODE INFORMATION

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