

MCJA - BUILDING C LIMITED RENOVATIONS

15 OAK GROVE RD
VASSALBORO, ME 04989

PERMIT SET
DATE OF ISSUE: APR 16, 2025

ADDENDUM 1
APRIL 30, 2025

PROJECT TEAM

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ARCHITECTUAL ABBREVIATIONS

AR AB ADCL ADJ ADMIN AFF ALUM ALT AP APROX APV ARCH	ABUSE RESISTANT ANCHOR BOLT ACOUSTICAL CEILING TILE ADJACENT ADMINISTRATION ABOVE FINISH FLOOR ALUMINUM ALTERNATE ACCESS PANEL APPROXIMATELY ASPHALT PAVEMENT ARCHITECT	E EA EF EJ EL ELEV ELEC EQ EWC EXAM EXIST EXT	EAST EACH EXHAUST FAN EXPANSION JOINT ELEVATION ELEVATOR ELECTRIC/ELECTRICAL ELECTRIC WATER COOLER EXAMINATION EXISTING EXTERIOR	JAN JC JT KIT LAM LAV LCC LF LIGHT LIN	JANITOR JANITOR CLOSET JOINT KITCHEN LAMINATE/LAMINATED LAVATORY LEAD COATED COPPER LINEAR FOOT EXISTING LINEN	QT QUART	
BD BF BIT BLDG BLKG BM BRG BTW	BOARD BOTTLE FILLER BITUMINOUS BUILDING BLOCKING BENCHMARK BEARING BETWEEN	FBO FCO FD FOP FE FEC FEC/GR FEC/FR FG FIN FL FOS FT FTG F.O.	FURNISHED BY OWNER FLOOR CLEAN OUT FLOOR DRAIN FIRE CONTROL PANEL FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FEC, SEMI RECESSED FEC, FULLY RECESSED FIBERGLASS FINISH FLOOR FACE OF STUD FOOT FOOTING FACE OF	MTRL MAS MAX MECH MED MFR MGR MH MIN MISC MO MOLD MR MTD MTG MTL	MATERIAL MASONRY MAXIMUM MECHANICAL MEDICAL MANUFACTURER MANAGER MANHOLE MINIMUM MISCELLANEOUS MASONRY OPENING MOLDING MOISTURE RESISTANT MOUNTED MOUNTING METAL	Q R RD REC RECT REF REQ REFR REIN RESIL REV RM RND RO	QUART RADIUS/RISER/RANGE ROOF DRAIN RECREATION RECTANGLE REFERENCE REQUIRED REFRIGERATOR REINFORCE/REINFORCING RESILIENT REVISE/REVISION ROOM ROUND ROUGH OPENING
CAB CB CEM CF CG CIRC CJ CL CLG CLO CMU COL CONC CONST CONT COORD COORD CRS CT CTV CUH CY	CABINET CATCH BASIN CEMENT CUBIC FEET CORNER GUARD CIRCLE/CIRCULAR CONTROL JOINT CENTER LINE CEILING CLOSET CONCRETE MASONRY UNIT CLEAN OUT COLUMN CONCRETE CONSTRUCTION CONTINUE, CONTINUOUS CORRUGATED COORDINATED COURSE CERAMIC TILE CABLE TELEVISION LINE CABINET UNIT HEATER CUBIC YARD	GA GAL GALV GC GL GR GWB GYP	GAUGE GALLON GALVANIZED GENERAL CONTRACTOR GLASS GRANITE GYPSUM WALL BOARD GYPSUM	N NATL NIC NL NO NTS	NORTH NATURAL NOT IN CONTRACT NIGHT LIGHT NUMBER NOT TO SCALE	STD STL STOR SS STC	SOUTH/SINK SANITARY SOLID CORE SECT SECTION SHEET SIMILAR SPECIFICATION(S) SPRAY FOAM INSULATION SQUARE SOUND TRANSMISSION COEFFICIENT STANDARD STEEL STORAGE STAINLESS STEEL SUSPENDED
DBL DEFL DEMO DF DIA DIAG DIM DR DIV DN DNL DWG	DOUBLE DEFLECTION DEMOLITION DRINKING FOUNTAIN DIAMETER DIAGONAL DIMENSION DIRECTOR/DOOR DIVISION DOWN DETAIL DRAWING	HD HR HC HWR HFS HGT HM HO HORZ HTG HVAC HW HYD	HIGH DENSITY HOUR HOLLOW CORE HARDWARE HOLLOW SCALE HEIGHT HOLLOW METAL HOLD OPEN HORIZONTAL HEATING HEATING, VENTILATION & AIR CONDITIONING HOT WATER HYDRANT	OC OCFI OZ	ON CENTER OWNER FURNISHED CONTRACTOR INSTALLED ONCE		
		INCL ID IN INSUL INT INV	INCLUDE/INCLUDING INSIDE DIAMETER INCH INSULATE/INSULATION INTERIOR INVERT	PNT PART BD PC PERM PL PLAS PLAM PLYWD PNT POLY PREP PSF PSI PTD PVM	PANEL PAINT PART BOARD/PARTICLE BOARD PIECE PERIMETER PLATE PLASTER PLASTIC LAMINATE PLYWOOD PAINT POLYURETHANE PREPARATION POUNDS / SQUARE FOOT POUNDS / SQUARE INCH PRESERVATIVE TREATED PAINTED PAVEMENT		

MATERIALS

	COURSE GRAVEL
	CONCRETE
	STONE
	EARTH/COMPACT FILL
	GYPSUM/PLASTER
	PLYWOOD
	FINISH WOOD
	ROUGH WOOD
	BLOCKING WOOD
	CONCRETE MASONRY
	BRICK MASONRY
	SAND/FINE GRAVEL
	DENSE PAK CELLULOSE INSULATION
	SPRAY FOAM INSULATION
	BATT INSULATION
	XPS INSULATION
	EPS INSULATION

ARCHITECTURAL SYMBOLS

FINISH MATERIAL	CL1	PROPOSED ELEVATION	TOP OF FIN. FLOOR EL. + X'-X"
CASEWORK TYPE	CW1	BUILDING SECTION	X A XXX
ROOM NUMBER	101	BUILDING ELEVATION	X A XXX
DOOR NUMBER	101A	WALL SECTION	X A XXX
WINDOW TYPE	NO	INTERIOR ELEVATION	N X A XXX E S
PARTITION TYPE	MM 01	COLUMN REFERENCE	X
REVISION REFERENCE	1	NEW DOOR	X A XXX
FIRE EXTINGUISHER, RECESSED CABINET	FEC		
FIRE EXTINGUISHER SURFACE MOUNT	FE		
DETAIL			

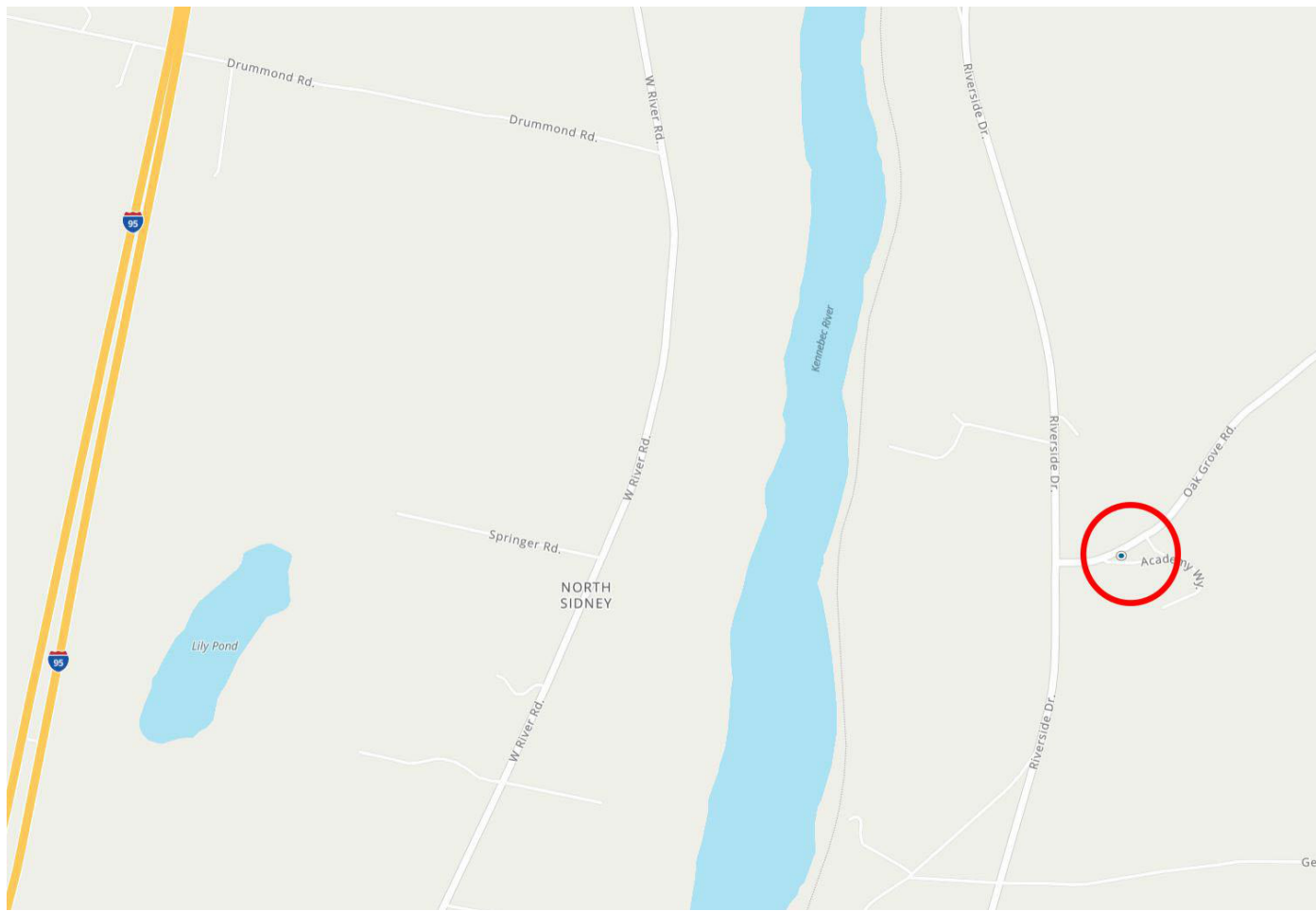
PROJECT SUMMARY

RENOVATION OF FLOORS 2, 3, AND 4 AT MCJA BUILDING C.

EXISTING DORMITORY SPACES ON FLOOR 2 WILL RECEIVE NEW MECHANICAL SYSTEMS AND REFRESHED FINISHES; SPATIAL RELATIONSHIPS WILL REMAIN AS EXISTING.

EXISTING DORMITORY SPACES ON FLOORS 3 AND 4 WILL BE RECONFIGURED WITH NEW WALLS, NEW RESTROOMS, AND NEW MEP SYSTEMS.

TOTAL PROJECT AREA EXCLUSIVE OF EXTERIOR WALLS IS 11,095 GSF.



DRAWING LIST

ISSUED IN SET INCORPORATED WITHOUT CHANGES X REMOVED FROM SET

SHEET NO.	SHEET NAME	2025.04.08 - ISS. FOR BID	2025.04.30 - ADDENDUM 1	2025.05.06 - ADDENDUM 2	TBD
G001	COVER SHEET				
G002	LIFE SAFETY PLANS				
G003	CODE SUMMARY				
G004	PARTITION TYPES & TYP. DETAILS				
G005	FIRE DETAILS				
G006	ACCESSIBILITY REQUIREMENTS				

AD102	SECOND FLOOR DEMO PLAN				
AD103	THIRD FLOOR DEMO PLAN				
AD104	FOURTH FLOOR DEMO PLAN				
AD105	ROOF DEMO PLAN				

A102	BUILDING C - SECOND FLOOR PLAN				
A103	BUILDING C - THIRD FLOOR PLAN				
A104	BUILDING C - FOURTH FLOOR PLAN				
A105	BUILDING C - ROOF PLAN				
A111	ENLARGED BATH PLANS & ELEVATIONS				
A112	INTERIOR ELEVATIONS - DORMS				
A113	INTERIOR ELEVATIONS - CORRIDORS				
A122	SECOND FLOOR FINISH PLAN				
A123	THIRD FLOOR FINISH PLAN				
A124	FOURTH FLOOR FINISH PLAN				
A125	RESTROOM TILE LAYOUT DETAILS				
A126	FINISHES BOARD				
A132	SECOND FLOOR RCP				
A133	THIRD FLOOR RCP				
A134	FOURTH FLOOR RCP				
A143	THIRD FLOOR FURNITURE PLAN				
A144	FOURTH FLOOR FURNITURE PLAN				
A301	BUILDING SECTIONS				
A302	BUILDING SECTIONS				
A303	BUILDING SECTIONS				
A400	DEDUCT ALT 1				
A401	PLAN DETAILS				
A411	VERTICAL DETAILS				
A421	MILLWORK DETAILS				
A422	TILE & TRANSITION DETAILS				
A601	DOOR SCHEDULES				
A602	DOOR DETAILS				
A603	SIGNAGE SCHEDULE				
A604	EXISTING WINDOWS FOR ROLLER SHADES				

S000	STRUCTURAL GENERAL INFORMATION				
S001	STRUCTURAL SPECIAL INSPECTIONS				
S102	EXISTING SECOND FLOOR PLAN				
S103	EXISTING THIRD FLOOR PLAN				
S104	EXISTING FOURTH FLOOR PLAN				
S105	EXISTING ROOF PLAN				
S110	STRUCTURAL FRAMING PART PLANS				
S500	STRUCTURAL DETAILS				

P000	PLUMBING AND HVAC NOTES, LEGEND, AND ABBREVIATIONS				
PD102	PLUMBING DRAINAGE DEMOLITION PLAN - SECOND FLOOR				
PD103	PLUMBING DRAINAGE DEMOLITION PLAN - THIRD FLOOR				
PD104	PLUMBING DRAINAGE DEMOLITION PLAN - FOURTH FLOOR				
PD201	PLUMBING SUPPLY DEMOLITION PART PLANS				
PD202	PLUMBING SUPPLY DEMOLITION PLAN - SECOND FLOOR				
PD203	PLUMBING SUPPLY DEMOLITION PLAN - THIRD FLOOR				

SHEET NO.	SHEET NAME	2025.04.08 - ISS. FOR BID	2025.04.30 - ADDENDUM 1	2025.05.06 - ADDENDUM 2	TBD
P101	PLUMBING DRAINAGE PART PLANS				
P102	PLUMBING DRAINAGE PLAN - SECOND FLOOR				
P103	PLUMBING DRAINAGE PLAN - THIRD FLOOR				
P104	PLUMBING DRAINAGE PLAN - FOURTH FLOOR				
P202	PLUMBING SUPPLY PLAN - SECOND FLOOR				
P203	PLUMBING SUPPLY PLAN - THIRD FLOOR				
P204	PLUMBING SUPPLY PLAN - FOURTH FLOOR				

MD101	MECHANICAL DEMOLITION PART PLANS				
MD102	MECHANICAL DEMOLITION PLAN - SECOND FLOOR				
MD103	MECHANICAL DEMOLITION PLAN - THIRD FLOOR				
MD104	MECHANICAL DEMOLITION PLAN - FOURTH FLOOR				
MD105	MECHANICAL DEMOLITION PLAN - ROOF LEVEL				
MD202	MECHANICAL PIPING DEMOLITION PLAN - SECOND FLOOR				
MD203	MECHANICAL PIPING DEMOLITION PLAN - THIRD FLOOR				
MD204	MECHANICAL PIPING DEMOLITION PLAN - FOURTH FLOOR				
MH101	MECHANICAL PART PLANS				
MH102	MECHANICAL PLAN - SECOND FLOOR				
MH103	MECHANICAL PLAN - THIRD FLOOR				
MH104	MECHANICAL PLAN - FOURTH FLOOR				
MH105	MECHANICAL PLAN - ROOF LEVEL				
MP102	MECHANICAL PIPING PLAN - SECOND FLOOR				
MP103	MECHANICAL PIPING PLAN - THIRD FLOOR				
MP104	MECHANICAL PIPING PLAN - FOURTH FLOOR				
M500	MECHANICAL DIAGRAMS				
M501	MECHANICAL DIAGRAM				
M600	MECHANICAL SCHEDULES				

E000	ELECTRICAL LEGEND AND ABBREVIATIONS				
E001	ELECTRICAL NOTES				
EL102	LIGHTING PLAN - SECOND FLOOR				
EL103	LIGHTING PLAN - THIRD FLOOR				
EL104	LIGHTING PLAN - FOURTH FLOOR				
EL600	LIGHTING SCHEDULE AND DETAILS				
EP100	POWER & SYSTEMS PLAN - BASEMENT				
EP102	POWER & SYSTEMS PLAN - SECOND FLOOR				
EP103	POWER & SYSTEMS PLAN - THIRD FLOOR				
EP104	POWER & SYSTEMS PLAN - FOURTH FLOOR				
EP105	POWER & SYSTEMS PLAN - ROOF				
E400	ELECTRICAL ENLARGED PLANS				
E500	ONLINE DIAGRAMS AND NOTES				
E501	ELECTRICAL DETAILS				
E600	ELECTRICAL SCHEDULES				
E601	PANEL SCHEDULES				

ALTERNATES

DEDUCT ALTERNATE 1

DELETE TYPE W6 WALLS FROM PROJECT.
PARTIAL LIST OF ASSOCIATED WORK:
- EXISTING EXTERIOR WALLS TO REMAIN AND BE REPAINTED ON INTERIOR SIDE.
- DELETE NEW WINDOW SILLS; REFINISH EXISTING WOOD WINDOW SILLS.
- REDUCE WORK AT WINDOW JAMBS AND HEADS.
- DELETE CEILING SOFFIT AT EXTERIOR WALLS ON FLOOR 3.
- DELETE ADJUSTMENT TO RADIATOR PIPING AT EXTERIOR WALLS ON FLOORS 3 AND 4.
- RETAIN EXISTING WIREMOLD AT EXTERIOR WALLS, RECONFIGURE OUTLETS.
REFER TO ARCHITECTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.

DEDUCT ALTERNATE 2

DELETE HEAT PUMPS AND CORRESPONDING OUTDOOR UNITS FROM FLOOR 2 SPACES ONLY. VENTILATION AIR TO REMAIN AS DOCUMENTED.

simons architects
designed for human potential

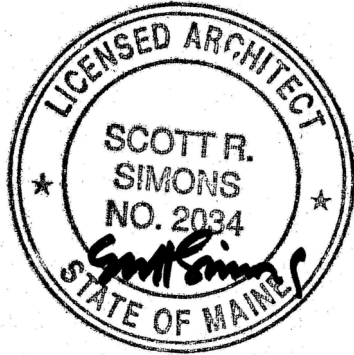
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PROJECT NAME:

MCJA - BUILDING C LIMITED RENOVATIONS

15 OAK GROVE RD
VASSALBORO, ME 04989

SEAL:



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REVISIONS

1 ADDENDUM 1 04.30.25

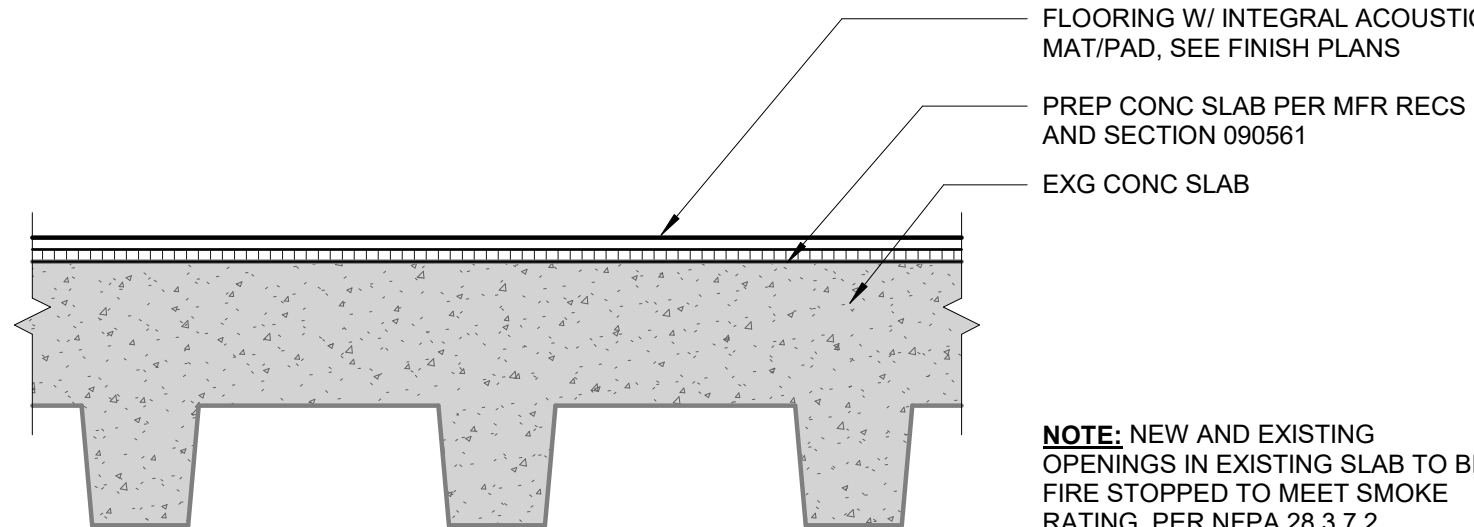
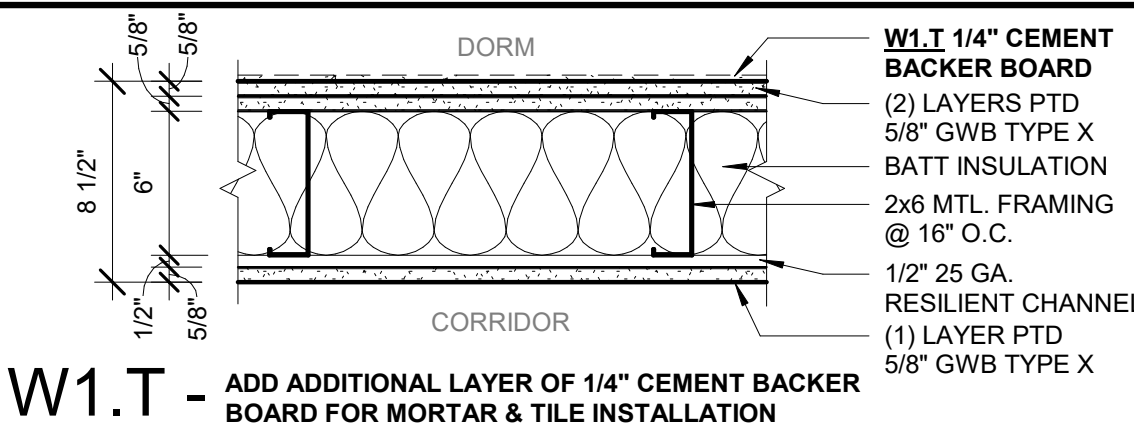
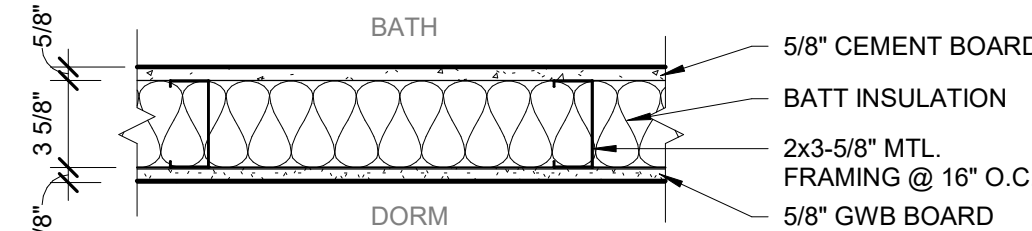
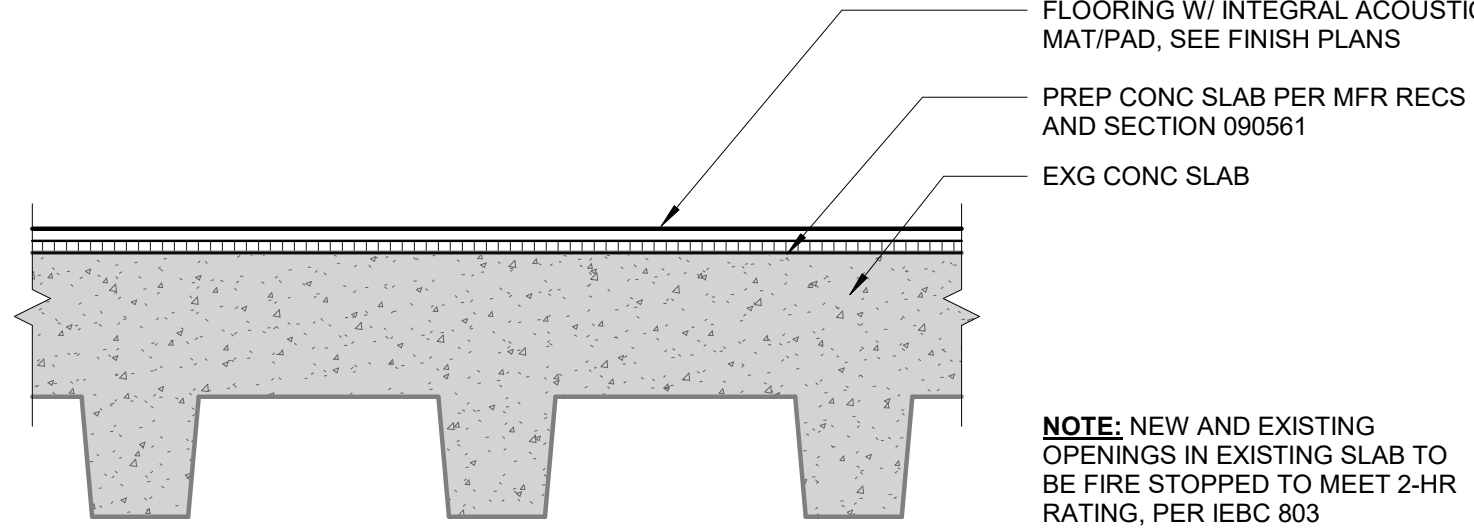
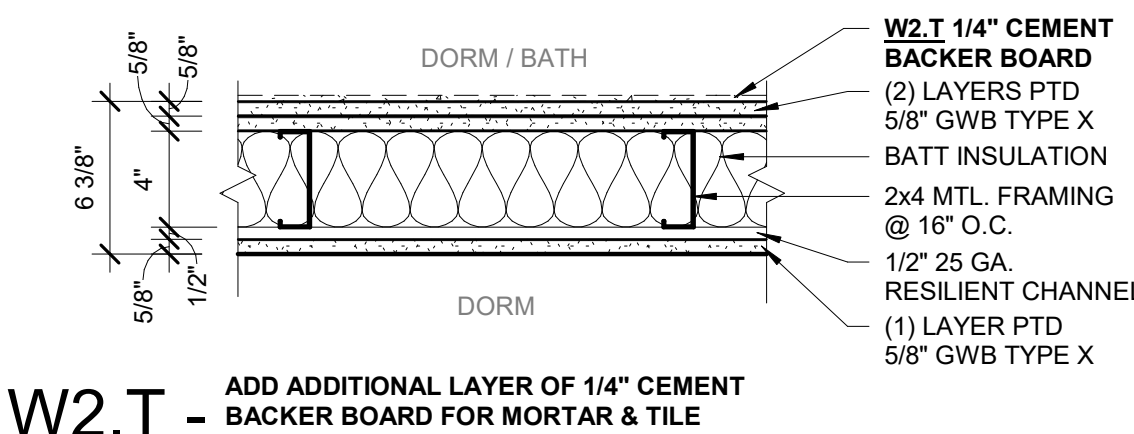
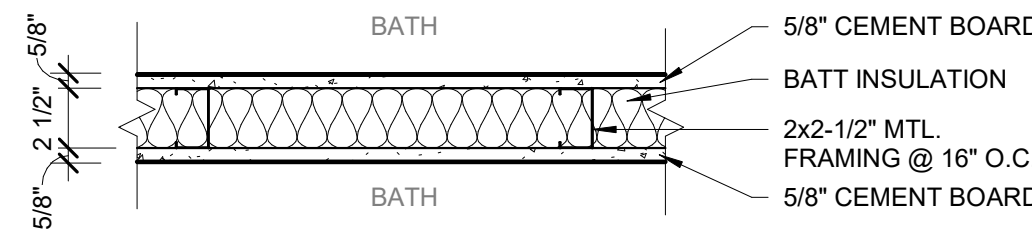
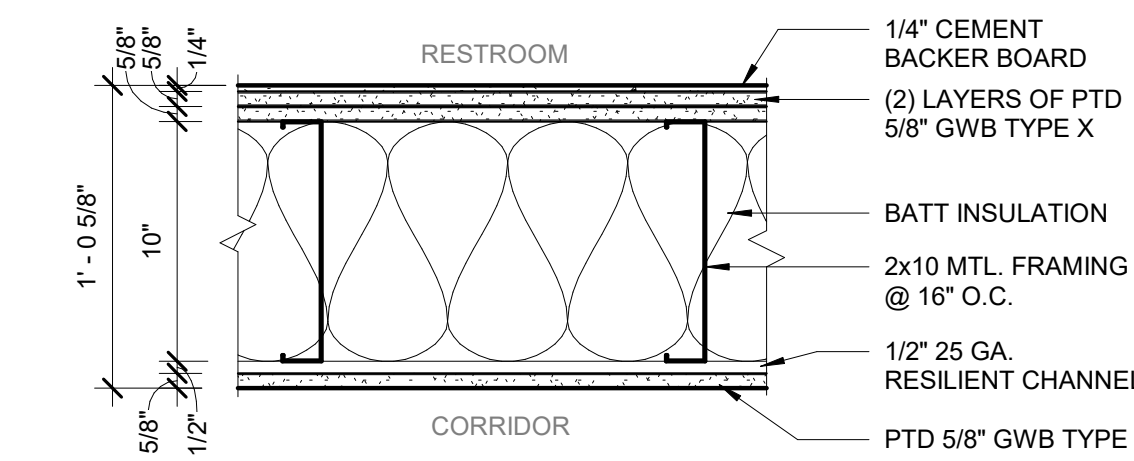
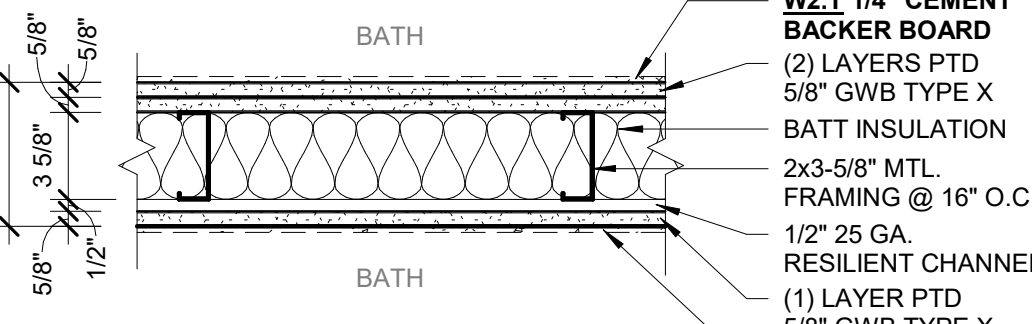
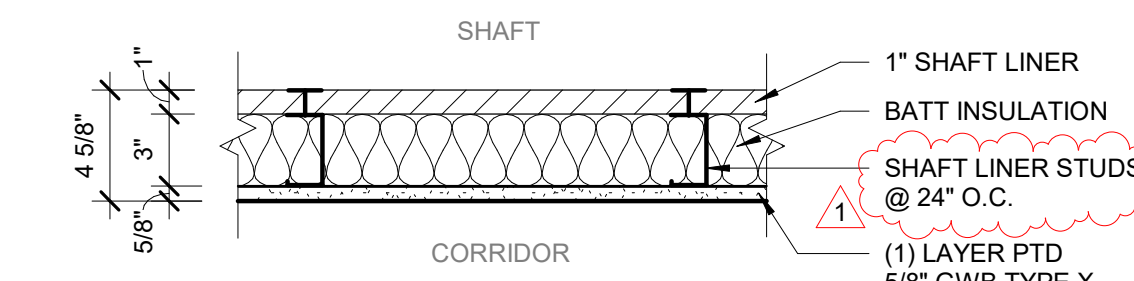
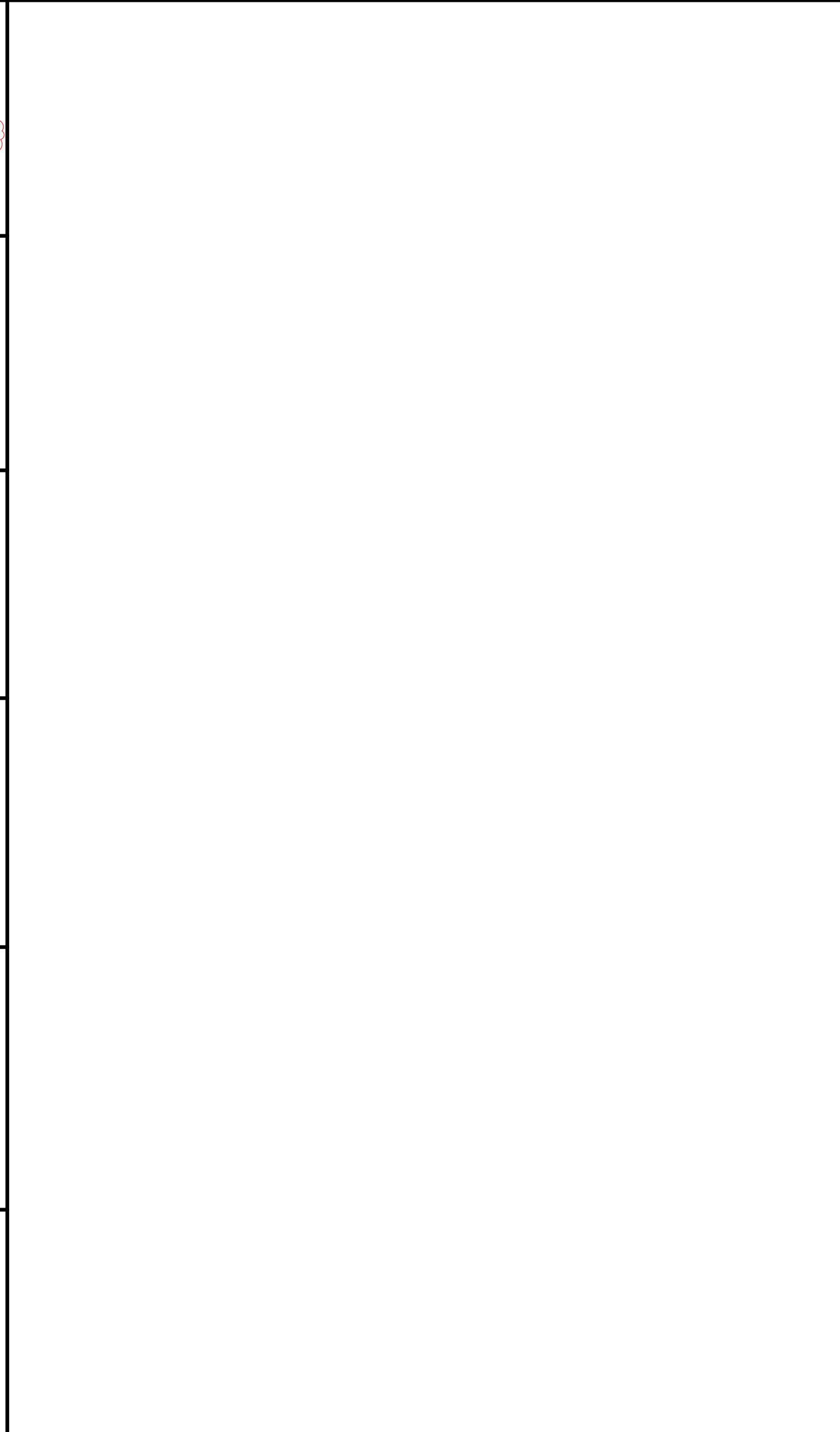
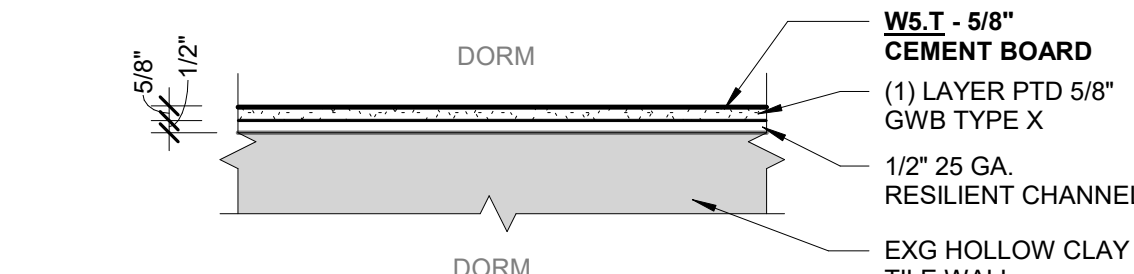
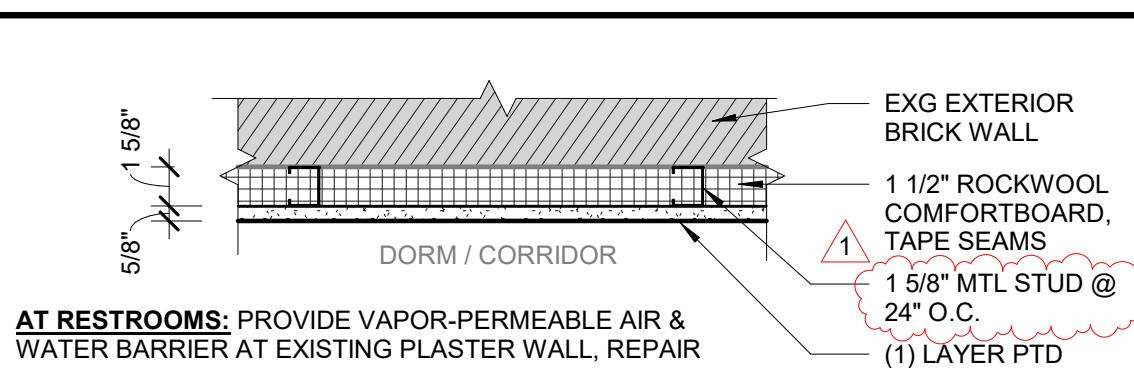
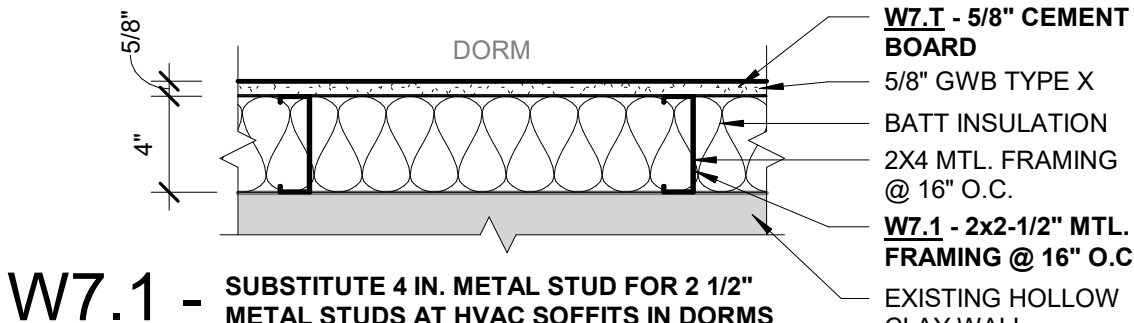
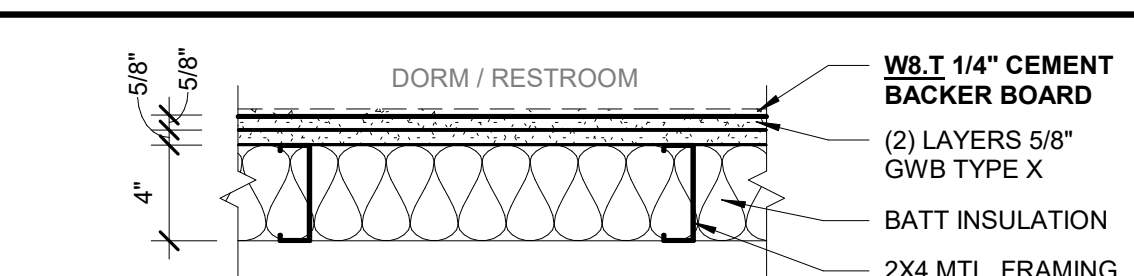
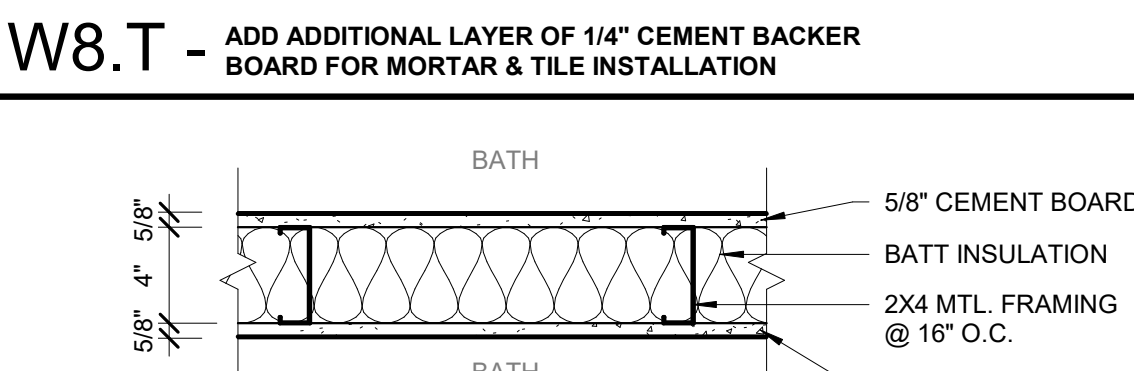
DATE OF ISSUE: APR 16, 2025

PROJECT NUMBER: 2023-0070

STATUS: PERMIT SET

COVER SHEET

G001

FLOORS		INTERIOR PARTITIONS						
F1	 <p>NOTE: NEW AND EXISTING OPENINGS IN EXISTING SLAB TO BE FIRE STOPPED TO MEET SMOKE RATING, PER NFPA 28.3.7.2</p>	W1	 <p>W1.T 1/4" CEMENT BACKER BOARD (2) LAYERS PTD 5/8" GWB TYPE X BATT INSULATION 2x6 MTL. FRAMING @ 16" O.C. 1/2" 25 GA. RESILIENT CHANNEL (1) LAYER PTD 5/8" GWB TYPE X</p> <p>W1.T - ADD ADDITIONAL LAYER OF 1/4" CEMENT BACKER BOARD FOR MORTAR & TILE INSTALLATION</p>	W10.T	 <p>5/8" CEMENT BOARD BATT INSULATION 2x3-5/8" MTL. FRAMING @ 16" O.C. 5/8" GWB BOARD</p>			
RATING: SMOKE		RATING: 1 HR						
UL: N/A		UL: U419						
STC: TBD		STC: XX						
F2	 <p>NOTE: NEW AND EXISTING OPENINGS IN EXISTING SLAB TO BE FIRE STOPPED TO MEET 2-HR RATING, PER IBC 803</p>	W2	 <p>W2.T 1/4" CEMENT BACKER BOARD (2) LAYERS PTD 5/8" GWB TYPE X BATT INSULATION 2x4 MTL. FRAMING @ 16" O.C. 1/2" 25 GA. RESILIENT CHANNEL (1) LAYER PTD 5/8" GWB TYPE X</p> <p>W2.T - ADD ADDITIONAL LAYER OF 1/4" CEMENT BACKER BOARD FOR MORTAR & TILE INSTALLATION</p>	W11.T	 <p>5/8" CEMENT BOARD BATT INSULATION 2x2-1/2" MTL. FRAMING @ 16" O.C. 5/8" CEMENT BOARD</p>			
RATING: 2 HR		RATING: 1 HR						
UL: N/A		UL: U419						
STC: TBD		STC: XX						
<p>GENERAL NOTES:</p> <ol style="list-style-type: none">SEE ALSO STRUCTURAL DOCUMENTS.FIRE BARRIERS TO BE CONTINUOUS FROM DECK TO HORIZONTAL ASSEMBLY OR ROOF SHEATHING.SEAL ALL PENETRATIONS AS REQUIRED.SEE G002 FOR FIRE RATED LOCATIONS.SEE G005 FOR FIRE RATING DETAILS.ALL PARTITIONS AT WET LOCATIONS, ENTIRETY OF BATHROOMS AND TOILET ROOMS ETC. TO RECEIVE MOISTURE RESISTANT GWB.ALL CEILINGS IN BATHROOMS AND TOILET ROOMS TO RECEIVE MOISTURE RESISTANT GWB.ALL PARTITIONS WITH TILE TO HAVE CERAMIC TILE UNDERLAY / GLASROC IN PLACE OF GWB.ALL PLUMBING AND ELECTRICAL TO BE WITHIN WALLS ON FLOORS 3 AND 4 EXCEPT AT EXISTING TO REMAIN WALLS. EXPOSED / SURFACE-MOUNTED PIPES, CONDUIT, AND INFRASTRUCTURE ARE NOT ACCEPTABLE AT NEW WALLS.AT WALL TYPES WITH 4" MTL STUD, OPTION TO PROVIDE 3 5/8" MTL STUD INSTEAD.		W3	 <p>1/4" CEMENT BACKER BOARD (2) LAYERS OF PTD 5/8" GWB TYPE X BATT INSULATION 2x10 MTL. FRAMING @ 16" O.C. 1/2" 25 GA. RESILIENT CHANNEL PTD 5/8" GWB TYPE X</p>	W12.T	 <p>W2.T 1/4" CEMENT BACKER BOARD (2) LAYERS PTD 5/8" GWB TYPE X BATT INSULATION 2x3-5/8" MTL. FRAMING @ 16" O.C. 1/2" 25 GA. RESILIENT CHANNEL (1) LAYER PTD 5/8" GWB TYPE X W2.T 1/4" CEMENT BACKER BOARD</p>			
		RATING: 1 HR		RATING: 1 HR				
		UL: U419		UL: U419				
		STC: XX		STC: XX				
		W4	 <p>1" SHAFT LINER BATT INSULATION SHAFT LINER STUDS @ 24" O.C. (1) LAYER PTD 5/8" GWB TYPE X</p>					
		RATING: 1 HR						
		UL: U415						
		STC: XX						
		W5	 <p>W5.T - 5/8" CEMENT BOARD (1) LAYER PTD 5/8" GWB TYPE X 1/2" 25 GA. RESILIENT CHANNEL EXG HOLLOW CLAY TILE WALL</p> <p>W5.T - SUBSTITUTE 5/8" GYP BOARD FOR 5/8" CEMENT BOARD</p>					
		W6	 <p>EXG EXTERIOR BRICK WALL 1 1/2" ROCKWOOL COMFORTBOARD, TAPE SEAMS 1 5/8" MTL STUD @ 24" O.C. (1) LAYER PTD 5/8" GWB TYPE X</p> <p>AT RESTROOMS: PROVIDE VAPOR-PERMEABLE AIR & WATER BARRIER AT EXISTING PLASTER WALL, REPAIR PLASTER FOR A&W BARRIER AS REQ'D</p>					
		DEDUCT ALT 1						
		W7	 <p>W7.T - 5/8" CEMENT BOARD 5/8" GWB TYPE X BATT INSULATION 2x4 MTL. FRAMING @ 16" O.C. W7.1 - 2x2-1/2" MTL. FRAMING @ 16" O.C. EXISTING HOLLOW CLAY WALL</p> <p>W7.1 - SUBSTITUTE 4 IN. METAL STUD FOR 2 1/2" METAL STUDS AT HVAC SOFFITS IN DORMS W7.T - SUBSTITUTE 5/8" GYP BOARD FOR 5/8" CEMENT BOARD</p>					
		W8	 <p>W8.T 1/4" CEMENT BACKER BOARD (2) LAYERS 5/8" GWB TYPE X BATT INSULATION 2x4 MTL. FRAMING @ 16" O.C.</p> <p>W8.T - ADD ADDITIONAL LAYER OF 1/4" CEMENT BACKER BOARD FOR MORTAR & TILE INSTALLATION</p>					
		W9.T	 <p>5/8" CEMENT BOARD BATT INSULATION 2x4 MTL. FRAMING @ 16" O.C. 5/8" CEMENT BOARD</p>					

DEMO LEGEND:

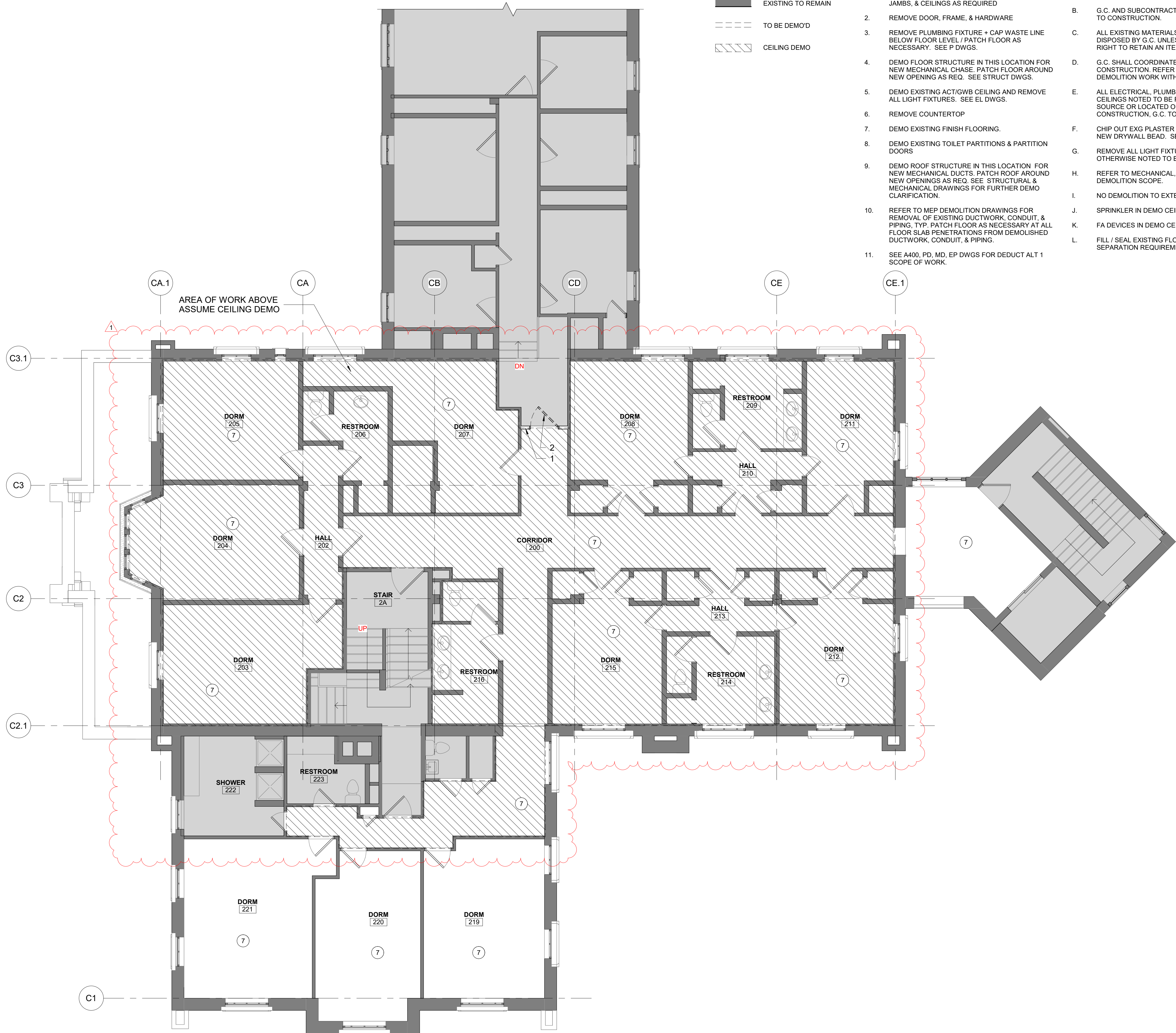
- EXISTING TO REMAIN
TO BE DEMO'D
CEILING DEMO

DEMO KEYNOTES:

- REMOVE WALL AS INDICATED, PATCH FLOOR, JAMBS, & CEILINGS AS REQUIRED
- REMOVE DOOR, FRAME, & HARDWARE
- REMOVE PLUMBING FIXTURE + CAP WASTE LINE BELOW FLOOR LEVEL / PATCH FLOOR AS NECESSARY. SEE P DWGS.
- DEMO FLOOR STRUCTURE IN THIS LOCATION FOR NEW MECHANICAL CHASE. PATCH FLOOR AROUND NEW OPENING AS REQ. SEE STRUCT DWGS.
- DEMO EXISTING ACT/GWB CEILING AND REMOVE ALL LIGHT FIXTURES. SEE EL DWGS.
- REMOVE COUNTERTOP
- DEMO EXISTING FINISH FLOORING.
- DEMO EXISTING TOILET PARTITIONS & PARTITION DOORS
- DEMO ROOF STRUCTURE IN THIS LOCATION FOR NEW MECHANICAL DUCTS. PATCH ROOF AROUND NEW OPENINGS AS REQ. SEE STRUCTURAL & MECHANICAL DRAWINGS FOR FURTHER DEMO CLARIFICATION.
- REFER TO MEP DEMOLITION DRAWINGS FOR REMOVAL OF EXISTING DUCTWORK, CONDUIT, & PIPING. TYP. PATCH FLOOR AS NECESSARY AT ALL FLOOR SLAB PENETRATIONS FROM DEMOLISHED DUCTWORK, CONDUIT, & PIPING.
- SEE A400, PD, MD, EP DWGS FOR DEDUCT ALT 1 SCOPE OF WORK.

GENERAL DEMOLITION NOTES:

- G.C. TO PROTECT ADJACENT AREAS NOT AFFECTED BY CONSTRUCTION.
- G.C. AND SUBCONTRACTOR TO FIELD VERIFY ALL FIELD CONDITIONS PRIOR TO CONSTRUCTION.
- ALL EXISTING MATERIALS NOTED TO BE REMOVED SHALL BE PROPERLY DISPOSED BY G.C. UNLESS NOTED OTHERWISE. OWNER RESERVES THE RIGHT TO RETAIN AN ITEM NOTED FOR DEMOLITION.
- G.C. SHALL COORDINATE EXTENT OF ALL DEMOLITION WORK WITH NEW CONSTRUCTION. REFER TO COMPLETE DRAWING SET TO COORDINATE DEMOLITION WORK WITH TRADES.
- ALL ELECTRICAL, PLUMBING, AND MECHANICAL LOCATED IN WALLS AND CEILINGS NOTED TO BE REMOVED SHALL BE EITHER REMOVED BACK TO THE SOURCE OR LOCATED OUT OF HARM'S WAY. FOR RELOCATIONS IN NEW CONSTRUCTION, G.C. TO COORDINATE.
- CHIP OUT EXG PLASTER AT ALL WINDOWS ON FLOORS 3 AND 4 TO RECEIVE NEW DRYWALL BEAD. SEE A400. OMIT THIS SCOPE IN DEDUCT ALT 1.
- REMOVE ALL LIGHT FIXTURES IN DEMO'D CLGS AND DISPOSE UNLESS OTHERWISE NOTED TO BE SALVAGED.
- REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING FOR ADDITIONAL DEMOLITION SCOPE.
- NO DEMOLITION TO EXTERIOR WALLS, TYP, UNO.
- SPRINKLER IN DEMO CEILING TO BE REMOVED.
- FA DEVICES IN DEMO CEILING TO BE REMOVED. SEE EP DWGS.
- FILL / SEAL EXISTING FLOOR PENETRATIONS TO MEET REQUIRED SEPARATION REQUIREMENTS. SEE LIFE SAFETY PLANS ON G002.



CEILING LEGEND

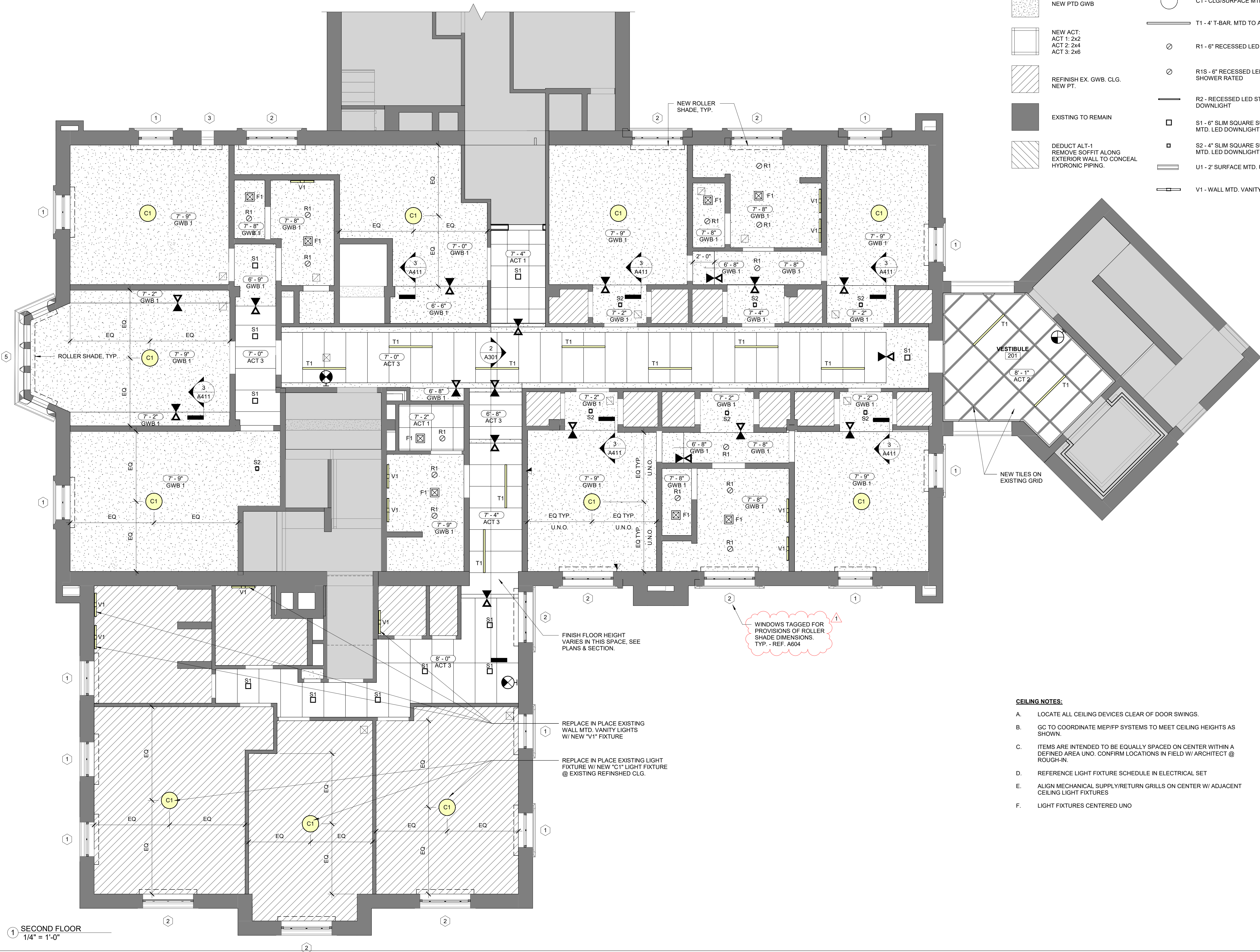
- NEW PTD GWB
- NEW ACT:
ACT 1: 2x2
ACT 2: 2x4
ACT 3: 2x6
- REFINISH EX. GWB. CLG.
NEW PT.
- EXISTING TO REMAIN
- DEDUCT ALT-1
REMOVE SOFFIT ALONG
EXTERIOR WALL TO CONCEAL
HYDRONIC PIPING.

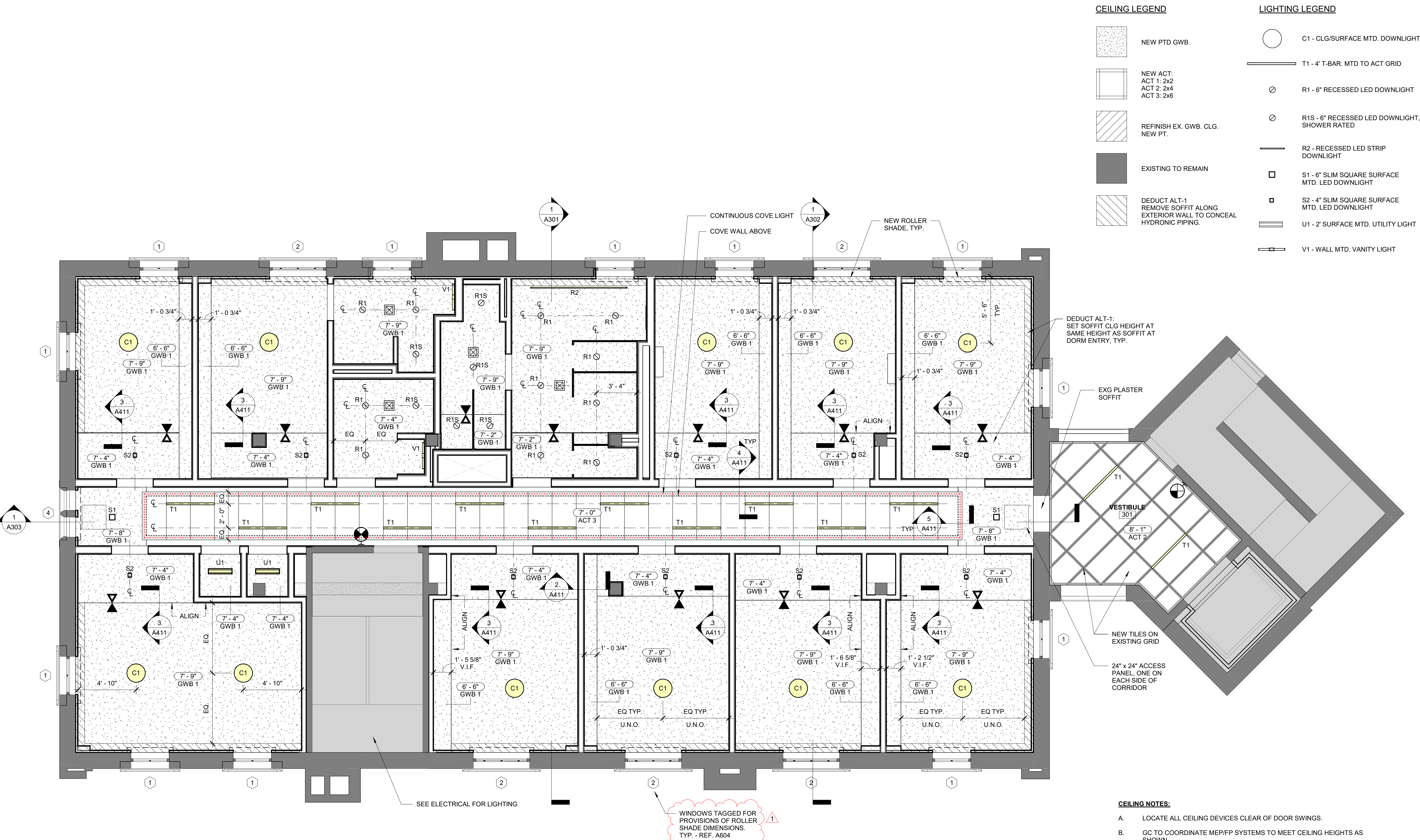
LIGHTING LEGEND

- C1 - CLG/SURFACE MTD. DOWNLIGHT
- T1 - 4' T-BAR. MTD TO ACT GRID
- R1 - 6" RECESSED LED DOWNLIGHT
- R1S - 6" RECESSED LED DOWNLIGHT,
SHOWER RATED
- R2 - RECESSED LED STRIP
DOWNLIGHT
- S1 - 6" SLIM SQUARE SURFACE
MTD. LED DOWNLIGHT
- S2 - 4" SLIM SQUARE SURFACE
MTD. LED DOWNLIGHT
- U1 - 2' SURFACE MTD. UTILITY LIGHT
- V1 - WALL MTD. VANITY LIGHT

CEILING NOTES:

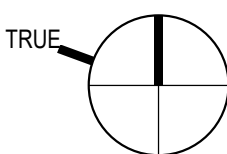
- A. LOCATE ALL CEILING DEVICES CLEAR OF DOOR SWINGS.
- B. GC TO COORDINATE MEP/FP SYSTEMS TO MEET CEILING HEIGHTS AS SHOWN.
- C. ITEMS ARE INTENDED TO BE EQUALLY SPACED ON CENTER WITHIN A DEFINED AREA UNO. CONFIRM LOCATIONS IN FIELD W/ ARCHITECT @ ROUGH-IN.
- D. REFERENCE LIGHT FIXTURE SCHEDULE IN ELECTRICAL SET
- E. ALIGN MECHANICAL SUPPLY/RETURN GRILLS ON CENTER W/ ADJACENT CEILING LIGHT FIXTURES
- F. LIGHT FIXTURES CENTERED UNO





1 THIRD FLOOR RCP
1/4" = 1'-0"

- CEILING NOTES:**
- A. LOCATE ALL CEILING DEVICES CLEAR OF DOOR SWINGS.
 - B. GC TO COORDINATE MEP/FP SYSTEMS TO MEET CEILING HEIGHTS AS SHOWN.
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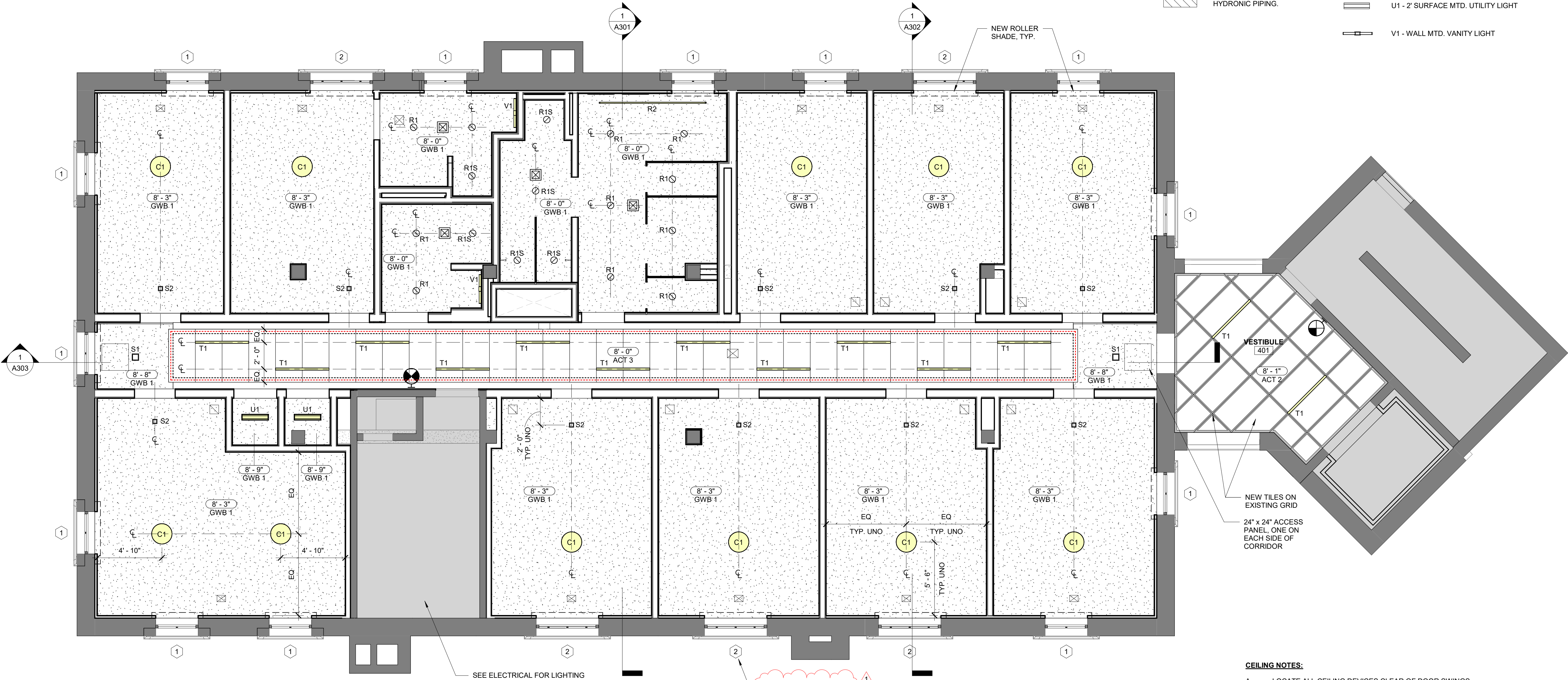


CEILING LEGEND

- NEW PTD GWB
- NEW ACT:
ACT 1: 2x2
ACT 2: 2x4
ACT 3: 2x6
- REFINISH EX. GWB. CLG.
NEW PT.
- EXISTING TO REMAIN
- DUCT ALT-1
REMOVE SOFFIT ALONG
EXTERIOR WALL TO CONCEAL
HYDRONIC PIPING.

LIGHTING LEGEND

- C1 - CLG/SURFACE MTD. DOWNLIGHT
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CEILING NOTES:

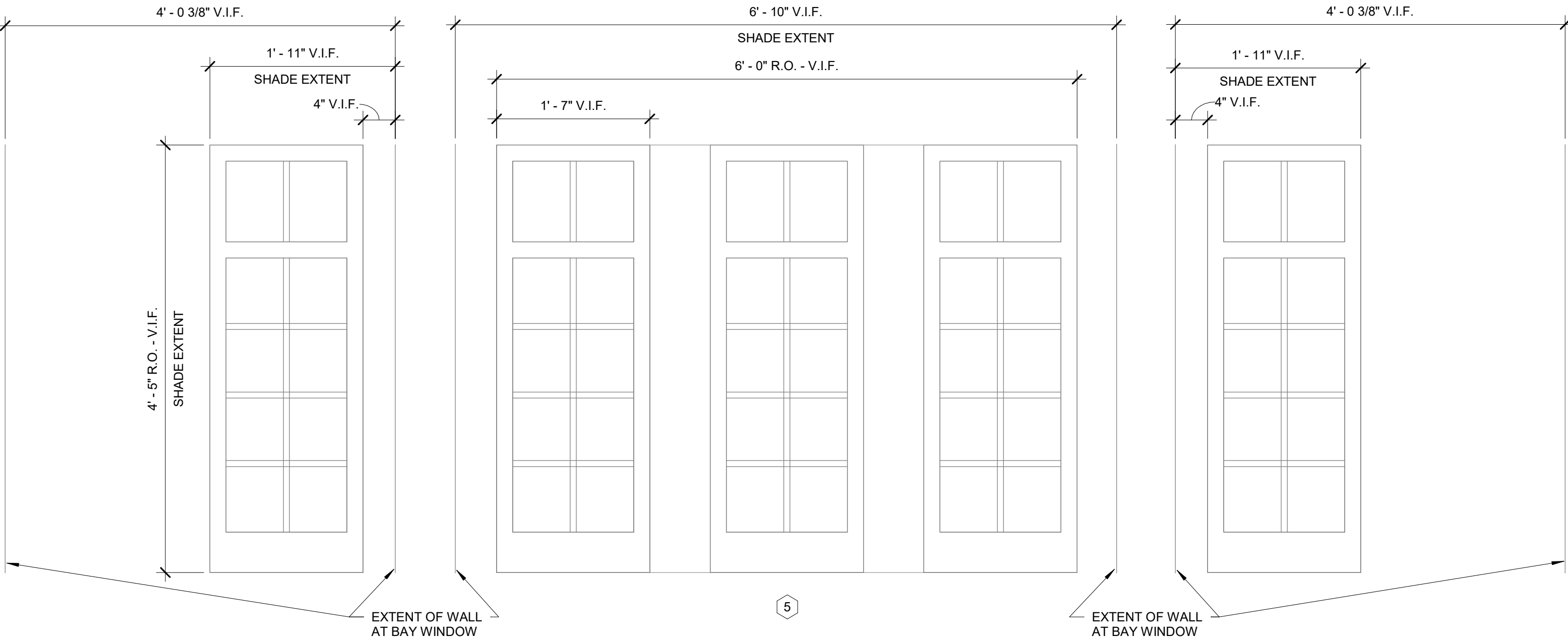
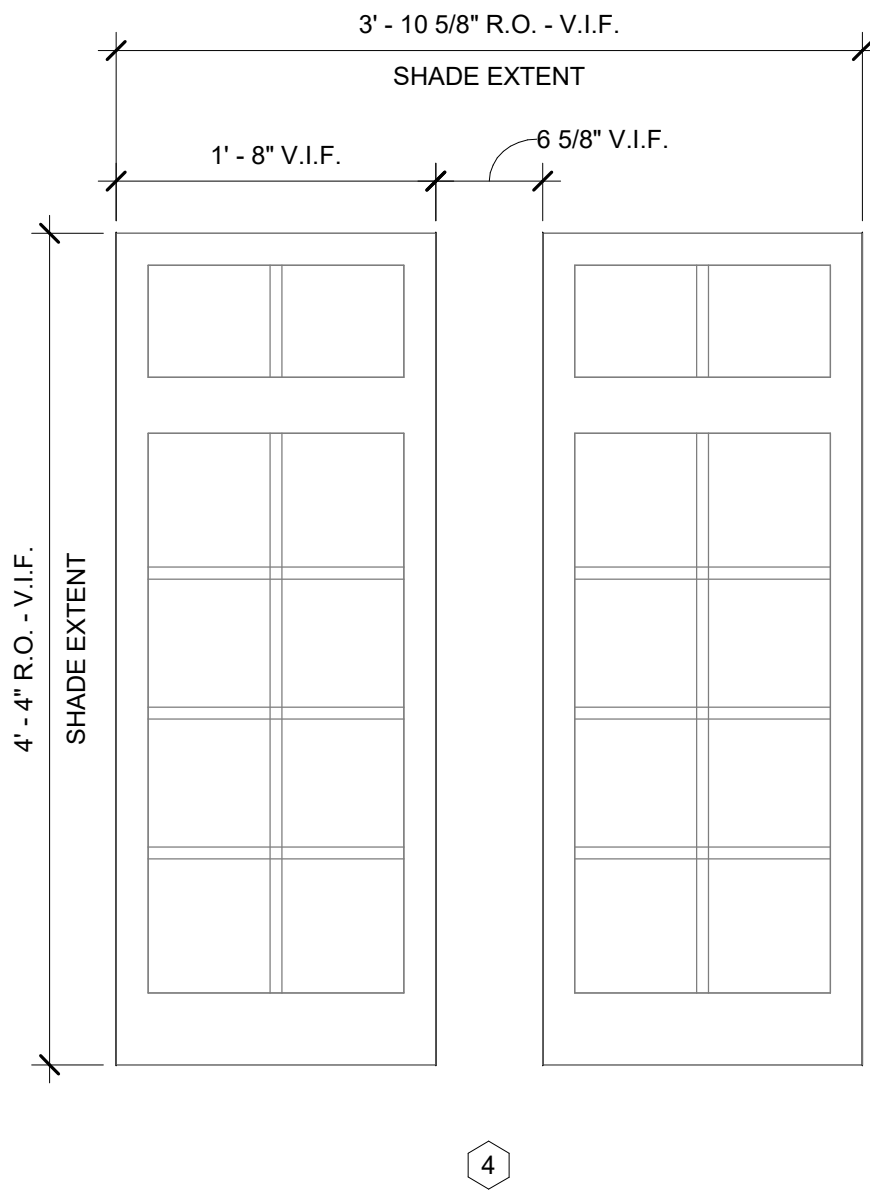
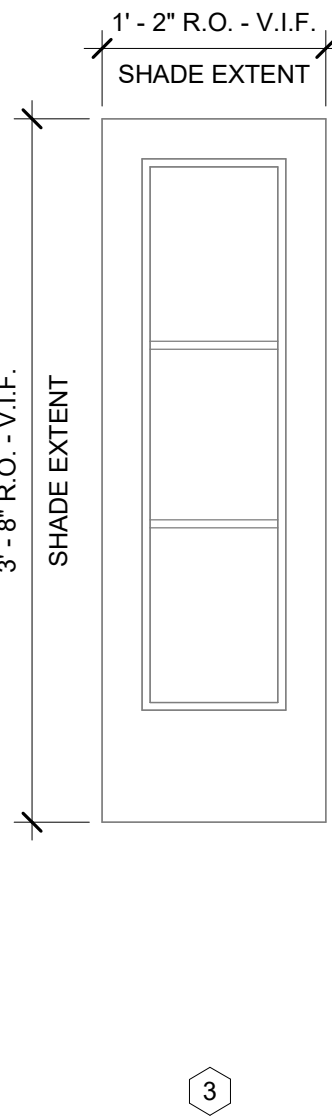
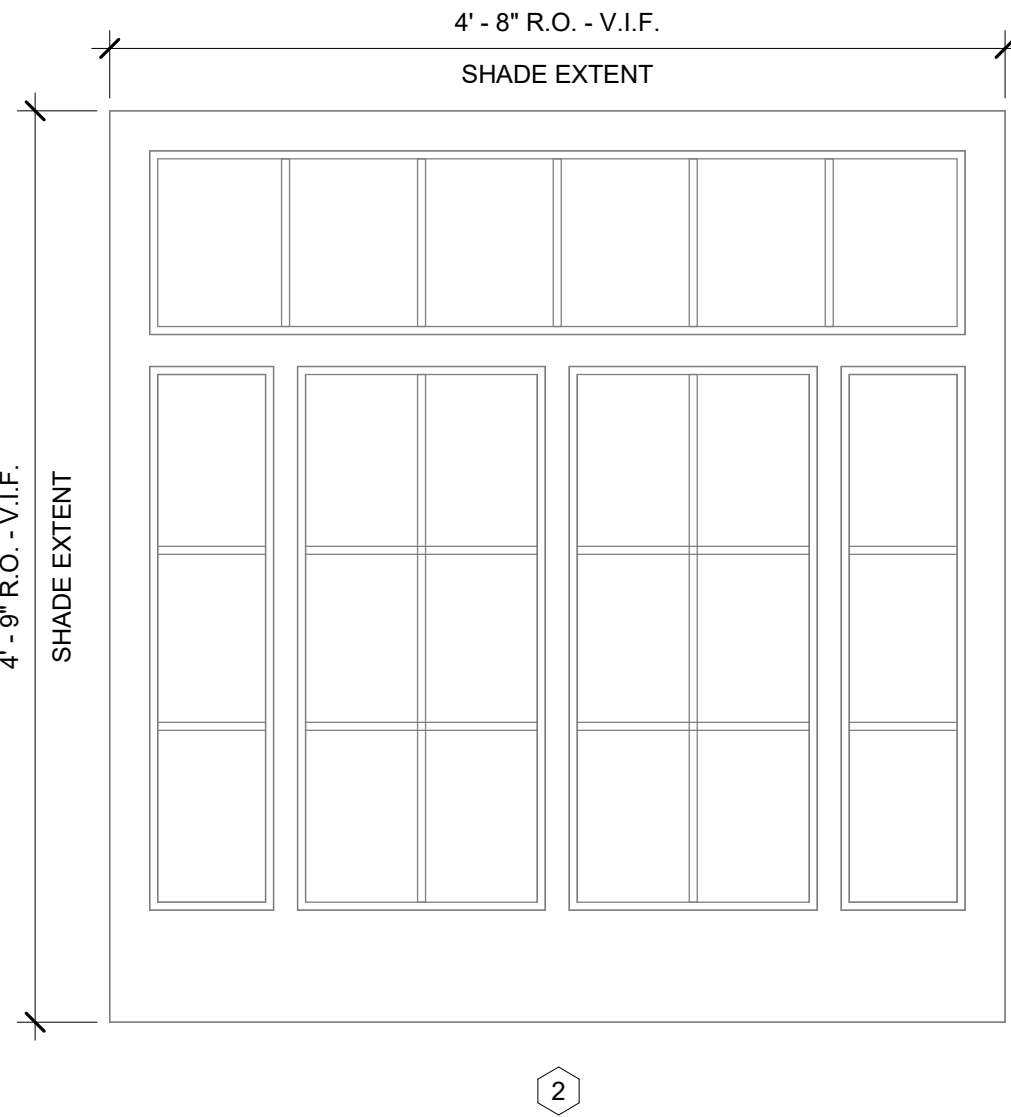
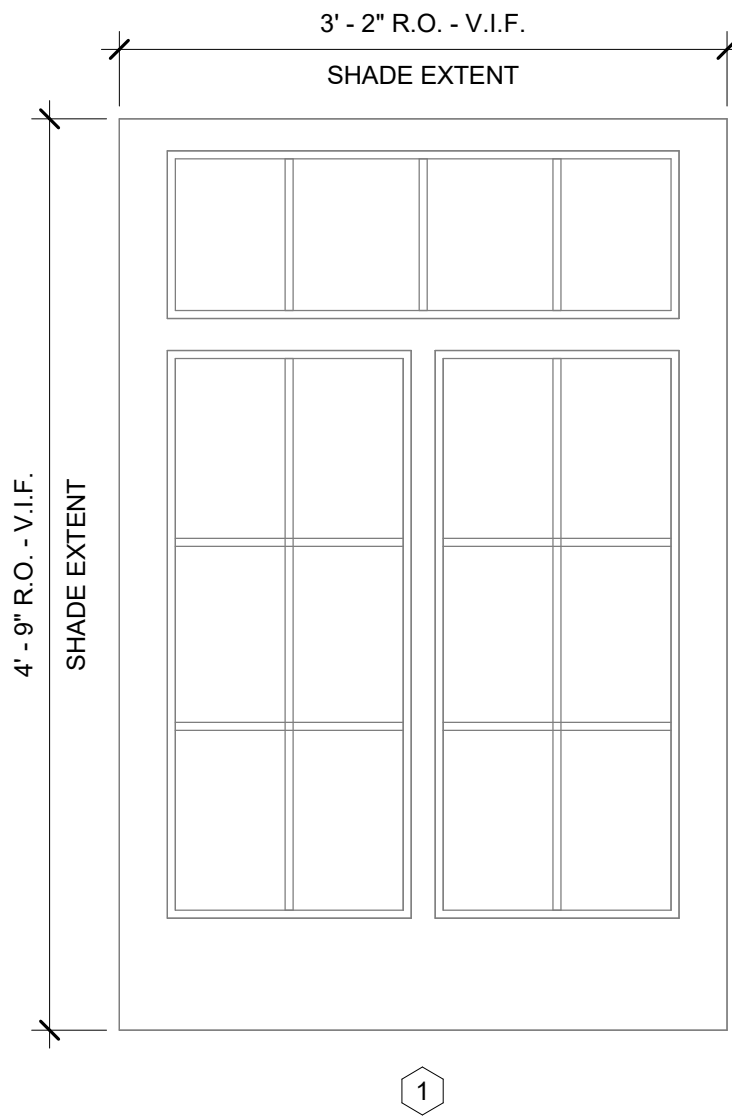
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- F. LIGHT FIXTURES CENTERED UNO

FOURTH FLOOR RCP
1/4" = 1'-0"

WINDOW SCHEDULE				
Window		Size (W x H)		
Type	Description	Width	Height	
1	3-2 x 4-9	3' - 2"	4' - 9"	
2	4-8 x 4-9	4' - 8"	4' - 9"	
3	1-2 x 3-8	1' - 2"	3' - 8"	
4	1-8 x 4-4	1' - 8"	4' - 4"	
5	1-7 x 4-5	1' - 7"	4' - 5"	

EXISTING WINDOW NOTES:

1. WINDOWS PORTRAYED ARE EXISTING. THERE ARE NO NEW WINDOWS IN PROJECT.
2. WINDOW SCHEDULE AND WINDOW ELEVATIONS ARE FOR REFERENCE ONLY.
3. G.C. TO VERIFY ALL EXISTING WINDOW WIDTHS & HEIGHTS IN FIELD.
4. TAGGED EXISTING WINDOWS ON FLOORS 2, 3, & 4 TO RECIEVE NEW ROLLER SHADES.



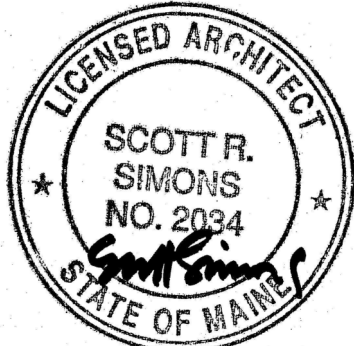
75 York Street
Portland, Maine 04101
simonsarchitects.com
207.772.4656

PROJECT NAME:

MCJA - BUILDING
C LIMITED
RENOVATIONS

15 OAK GROVE RD
VASSALBORO, ME 04989

SEAL:



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REVISIONS

1 ADDENDUM 1 04.30.25

DATE OF ISSUE: APR 16, 2025

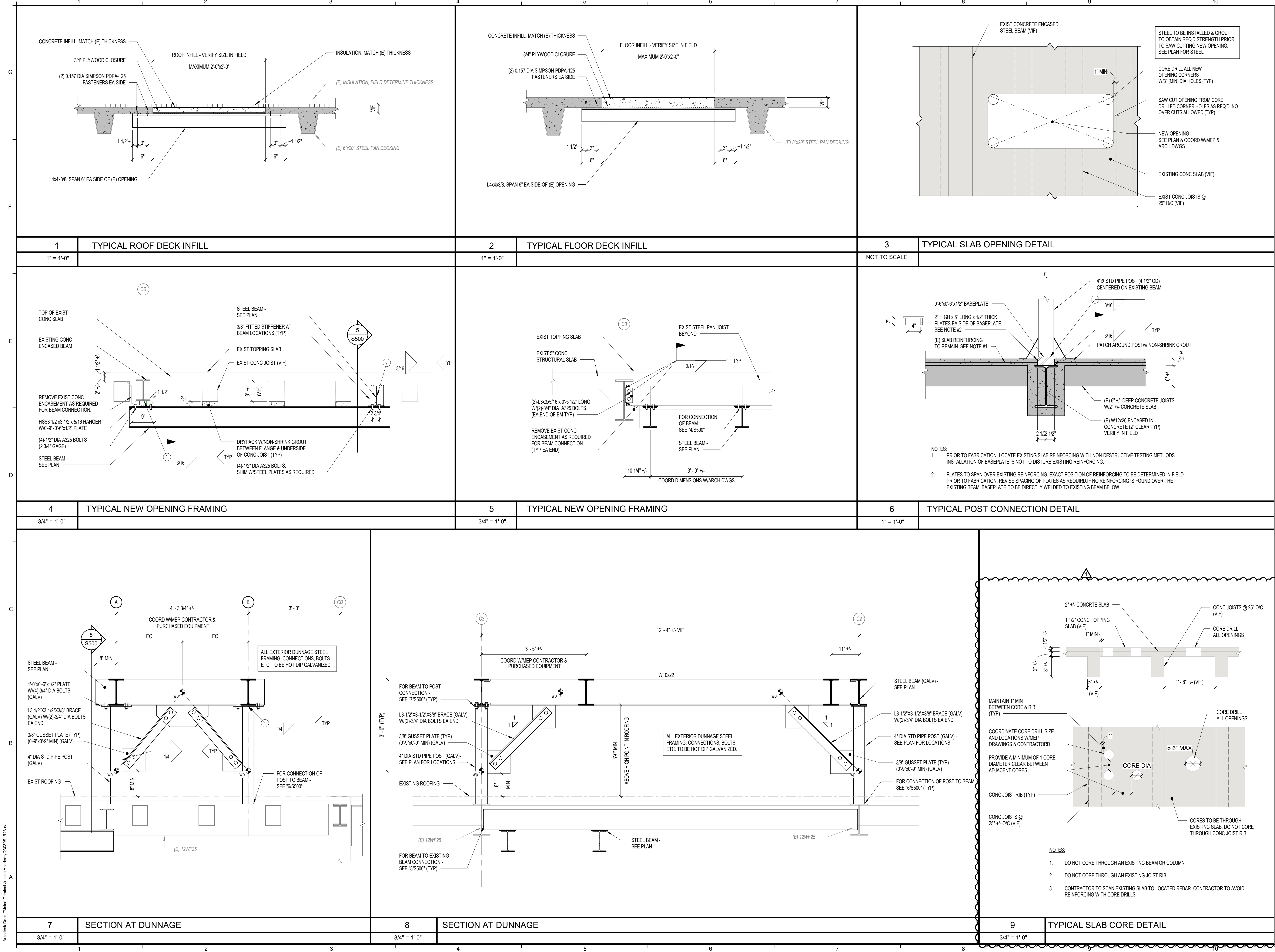
PROJECT NUMBER: 2023-0070

STATUS: PERMIT SET

EXISTING
WINDOWS FOR
ROLLER SHADES

A604

Autodesk Docs\Maine Criminal Justice Academy\202305_023.rvt



75 York Street
Portland, Maine 04101
simonsarchitects.com
207.772.4656



Portland
160 Veranda Street
Portland, ME 04103

PROJECT NAME:
**MCJA - BUILDING
C LIMITED
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15 OAK GROVE RD
VASSELBORO, ME 04989

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REVISIONS		
1	ADDENDUM 1	2025-04-30

DATE OF ISSUE: APRIL 16, 2025
PROJECT NUMBER: 2023-0070
STATUS: PERMIT SET

**STRUCTURAL
DETAILS**

S500