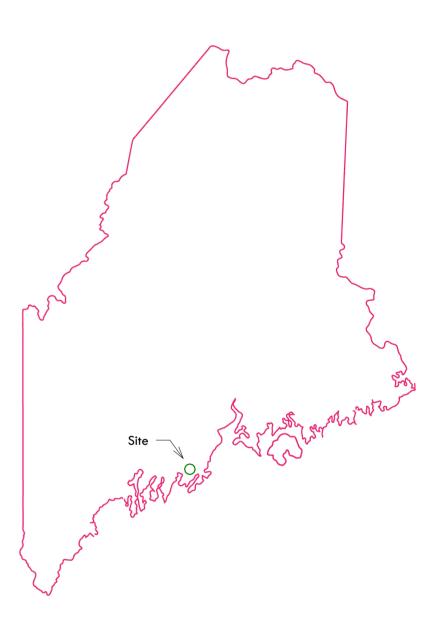
Sheet List				
Sheet				
Number	Sheet Name			

A000	Cover
A001	Code Overview
A002	General Notes & Code Information
A100	Kitchen Scope
A101	Kitchen Equipment & Demo
A102	Kitchen Floor Plan
A103	Kitchen Design
A500	Details
A900	Kitchen Photos



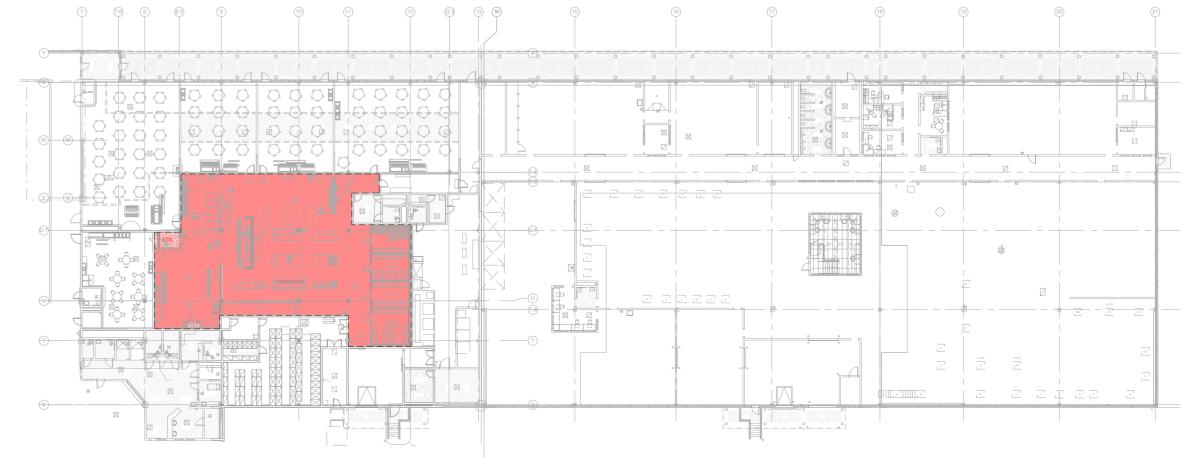
Kitchen Interior View @ Cooking Stations

PAULDESIGNSPROJECT

CD SET (FINAL)

Maine State Prison - BGS #3596 New Kitchen Flooring

807 Cushing Rd, Warren, ME 04864



2.2.2024



CODE SUMMARY

APPLICABLE CODES

Maine Uniform Building and Energy Code "MUBEC" Consists of the following applicable codes:

2015 International Building Code (IBC)

2015 International Existing Building Code (IEBC)

2009 International Energy Conservation Code (IECC)

2007 ASHRAE 62.1 (Ventilation for Acceptable Indoor Air Quality)

2007 ASHRAE 90.1 (Energy Standard for Buildings except Low-Rise Residential Buildings) editions without addenda

Maine State Internal Plumbing Code based on the 2009 Uniform Plumbing Code

2011 National Electric Code (NEC)

Fire/Life Safety

NFPA Life Safety Code as adopted by the State of Maine Including but not limited to:

2009 NFPA 001: Fire Code 2009 NFPA 101: Life Safety Code

NOTE: All Codes shall include changes/amendments by the State of Maine

OCCUPANCY CLASSIFICATION (IBC Sec 302.1.8, 310.1)

Institutional (I-3) Proposed

BUILDING INFORMATION AND ALLOWABLE BUILDING HEIGHTS AND AREA

(IBC Chapter 5, Table 504.4, 506.2)(NFPA)

Construction Date ca. 2005

Architect (Original) **SMRT Architects & Engineers**

Building Height 2 Story (existing)

TYPE 2B Construction Type (existing) Occupancy Classification (Existing) I-3 - Prison Occupancy Classification (New - no change) I-3 - Prison

Sprinkler System -Sprinklered

FIRE RESISTIVE RATINGS (IBC Table 601), (NFPA Table A.8.2.1.1)

Structural Frame 0 hour Bearing Walls, Exterior and Interior 0 hours Non-Bearing Walls and partitions, interior 0 hours Non-Bearing Walls and partitions, exterior 0 hours Floor Construction and Secondary Members 0 hours Roof Construction and Secondary Members 0 hours

PROJECT NARRATIVE:

The intent of this project is to renew the flooring in Maine State Prison's kitchen and food storage facilities. This involves the movement of kitchen equipment within the scope of work to a separate location on the prison campus. This equipment will be returned to their appropriate locations upon completion of the new flooring and its subsequent curing.

Repair of damaged concrete slab will occur before any new flooring is poured to prepare it for required standards of chosen product application. Removal of any mold or water residues in any observed areas will be a necessity with any application of water resistant wall coverings integral with the poured floor at areas such as the dishpit.

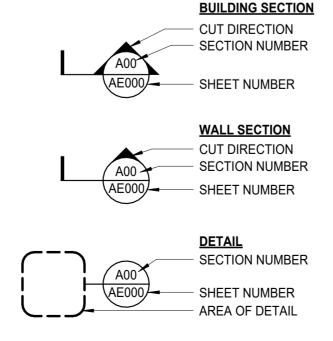
Striping at any designated areas will be done during construction of new flooring based on the specifications of chosen product.

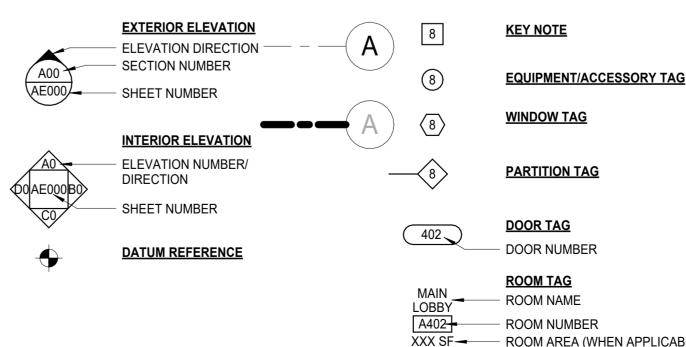
ABBREVIATIONS:

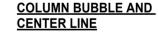
615 Congress Street | Suite 623 | Portland, ME | 04101

AB ANCHOR BOLT	EA	EACH	L	ANGLE / LENGTH		
A/C AIR CONDITIONING	EF	EXHAUST FAN / EACH FACE	LF	LEFT	SACT	SUSPENDED ACOUSTIC TILE CEILING
ACCU AIR CONDITIONING CONDENSER UNIT	EJ	EXPANSION JOINT	LINO	SHEET LINOLEUM	SC	SOLID CORE
ACPLAS ACCOUSTICAL PLASTER	EL	ELEVATION	LL	LIVE LOAD	SF	SQUARE FOOT / SUPPLY FAN
ACT ACOUSTIC CEILING TILE	ELEC	ELECTRICAL	LLH	LONG LEG HORIZONTAL	SFRM	SPRAYED FIRE-RESISTIVE MATERIAL
AFF ABOVE FINISH FLOOR	EOP	EDGE OF PAVEMENT		LONG LEG VERTICAL	SHT	SHEET
AGG AGGREGATE	EPDM		LP	LIGHTING PANEL / LIQUIFIED PROPANE	SIM	SIMILAR
ALT ALTERNATE	EQ	EQUAL			SK	SHEAR KEY
AP ACCESS PANEL	EW	EACH WAY	MAX	MAXIMUM	SN	SANITARY NAPKIN (DISPENSER)
APROX APPROXIMATE	EWC	ELECTRIC WATER COOLER	MB	MARKER BOARD	SP	SPECIAL
ARCH ARCHITECTURAL	EXIST	EXISTING	MDO	MEDIUM DENSITY OVERLAY	SS	STAINLESS STEEL
AROTT	EXP	EXPANSION	MECH		STA	STATION
DOV DOTTOM CODD EVTENCION	EXT	EXTERIOR	MFR		STL	STEEL
BCX BOTTOM CORD EXTENSION		EXTERIOR		MANUFACTURER		
BD BOARD			MIN	MINIMUM	STRUC	STRUCTURAL
BIT BITUMINOUS	FB	FLAT BAR	MISC	MISCELLANEOUS		
BLDG BUILDING	FBO	FURNISHED BY OTHERS	MO	MASONRY OPENING	Τ	TREAD
BLP BORROWED LIGHT PANEL	FCO	FLOOR CLEA-OUT	MR	MOISTURE-RESISTANT	TB	TACKBOARD
BO BOTTOM OF	FD	FLOOR DRAIN	MUA	MAKE-UP AIR	T&B	TOP AND BOTTOM
BOF BOTTOM OF FOOTING	FE	FIRE EXTINGUISHER	WOY	WATE OF AUT	TBM	TEMPORARY BENCHMARK
	FEC		NI	NOCINO	TCE	
BOS BOTTOM OF STEEL		FIRE EXTINGUISHER CABINET	N	NOSING		TOP CHORD EXTENSION
BOT BOTTOM	FF	FINISH FLOOR / FAR FACE	NCB	NEW CATCH BASIN		TIE JOIST
BRDG BRIDGING	FFE	FINISH FLOOR ELEVATION	NDMH			TOP OF
BRG BEARING	FO	FRAMED OPENING	NFM	NEW FORCE MAIN	TOC	TOP OF CONCRETE
BS BOTH SIDES	FRP	FIBER REINFORCED PLASTIC	NIC	NOT IN CONTRACT	TOF	TOP OF FOOTING
BSE BRICK SHELF ELEVATION	FS	FAR SIDE	NS	NEAR SIDE	TOM	TOP OF MASONRY
BOL BRIOK GREEF ELEVATION	FTG	FOOTING	NSD	NEW STORM DRAIN LINE	TOP	TOP OF PIER
C CHANNEL	rig	FOOTING	NSS		TOS	TOP OF FIER TOP OF STEEL
	•	041105		NEW SANITARY SEWER LINE		
CB CATCH BASIN / CHALKBOARD	GA	GAUGE	NTS	NOT TO SCALE	TOW	TOP OF WALL
CEM BD CEMENTITIOUS BACKER BOARD	GALV	GALVANIZED	NW	NEW WATER LINE		TOILET PAPER (DISPENSER) / TEST PIT
CFM CUBIC FEET PER MINUTE	GB	GRAB BAR			TS	TUBE STEEL
CIP CAST IN PLACE	GC	GENERAL CONTRACTOR	OC	ON CENTER	TYP	TYPICAL
CJ CONTROL JOINT / CONSTRUCTION JOINT	GDT	GYPSUM DROP-IN TILE	OF	OUTSIDE FACE		
CL CENTER LINE	GV	GRAVITY VENT	OH	OVERHEAD	UH	UNIT HEATER
CLL CONTRACT LIMIT LINE	GWB	GYPSUM WALL BOARD	011	OVERNIEAD	UNO	UNLESS NOTED OTHERWISE
	GVVD	GTF30W WALL BOAND	DΛ	DUDUIC ADDDESS	UNU	UNLESS NOTED OTTERWISE
CLR CLEAR		HODITONITAL	PA	PUBLIC ADDRESS		VENT DIDE (VEDTICAL
CMU CONCRETE MASONRY UNIT	Н	HORIZONTAL	PAF	POWER-ACTUATED FASTENER	V	VENT PIPE / VERTICAL
COL COLUMN	HC	HANDICAPPED / HOLLOW CORE	PDU	POOL DEHUMIDIFICATION UNIT		VAPOR BARRIER
CONC CONCRETE	HORIZ	' HORIZONTAL	PL	PLATE / PROPERTY LINE	VCT	VINYL COMPOSITION TILE
CONT CONTINUOUS	HM	HOLLOW METAL	PLAM	PLASTIC LAMINATE	VERT	VERTICAL
CT CERAMIC TILE	HRU	HEAT RECOVERY UNIT	PLF	POUNDS PER LINEAR FOOT	VP	VISION PANEL
CUH CABINET UNIT HEATER	H&V	HEATING AND VENTILATING	PP	POWER PANEL	VTR	VENT THROUGH THE ROOF
ONDINE! ON!! HEATEN	HVAC	HEATING AND VENTILATING HEATING, VENTILATING AND AIR CONDITIONING		POUNDS PER SQUARE FOOT	V 111	VEIVE THICOGET THE ROOF
D DIAMETED	пунс	HEATING, VENTILATING AND AIR CONDITIONING			14//	MATTI
D DIAMETER		INOLLIDED ANOLE	PSI	POUNDS PER SQUARE INCH	W/	WITH
DBL DOUBLE	ı	INCLUDED ANGLE	PT	PRESSURE-TREATED	WC	WATER CLOSET
DF DRINKING FOUNTAIN	ID	INSIDE DIAMETER	PVC	POLYVINYL CHLORIDE	WD	WOOD
DL DEAD LOAD	IF	INSIDE FACE	PVMT	PAVEMENT	WF	WIDE FLANGE
DR DISPLAY RAIL	IJ	ISOLATION JOINT			WH	WATER HEATER
DTL DETAIL	IMP	IMPACT RESISTANT	R	RISER / RADIUS	W/O	WITH OUT
DW DISHWASHER	INS	INSULATED	RB	RESILIENT BASE	WP	WORKING POINT
			RD	ROOF DRAIN	WS	WEB STIFFENER
DWG DRAWING	INV	INVERT				
	16		REINF		WWF	WELDED WIRE FABRIC
	JS	JOINT SUBSTITUTE	REQ'D			
			RT	RIGHT		
	K	KIPS	RO	ROUGH OPENING		
			ROW	RIGHT OF WAY		
			RR	RUB-RAIL		
			RTU	ROOF TOP UNIT (HVAC)		
			1110	NOOL TOL ONLY (LIVAO)		

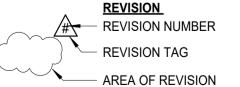
SYMBOL LEGEND:







EXISTING COLUMN BUBBLE AND CENTER LINE



- ROOM AREA (WHEN APPLICABLE)

General Notes & Code Information

Maine State Prison - New Kitchen Flooring- BGS #3596

2.2.2024

GENERAL NOTES

1: DRAWING NOTES: CONTRACTOR TO FURNISH AND INSTALL ALL NOTED LABOR AND MATERIALS UNLESS OTHERWISE NOTED.

2: CODE COMPLIANCE: ALL WORK SHALL CONFORM TO THE LATEST EDITION OF STATE, LOCAL AND OTHER CODES WHICH APPLY TO THIS PROJECT OR HAVE JURISDICTION.

3: COORDINATION: IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL DISCIPLINES AND TRADES SO THAT ALL BUILDING SYSTEMS AND COMPONENTS CAN BE ASSEMBLED WITHOUT CONFLICTS. IN THE EVENT THAT THE CONSTRUCTION DOCUMENTS DEFINE CONDITIONS WHICH PROHIBIT, OR MAY PROHIBIT, SUCH ASSEMBLY, THE CONTRACTOR SHALL BRING TO THE ARCHITECTS ATTENTION, IN WRITING AND IN A TIMELY FASHION, SUCH CONDITION. THE CONTRACTOR AND HIS/HER SUBCONTRACTORS SHALL BE RESPONSIBLE FOR PROVIDING MATERIALS AND SYSTEMS SHOWN IN THE CONSTRUCTION DOCUMENTS REGARDLESS OF WHERE THE INFORMATION IS LOCATED. WHERE COMPONENTS OF A SYSTEM ARE INDICATED THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL LABOR AND MATERIALS NECESSARY TO COMPLETE THE SYSTEM.

4: DISCREPANCIES & CLARIFICATIONS: THIS PROJECT INVOLVES THE FIT-UP OF AN EXISTING BUILDING. EXISTING DIMENSIONS SHOWN ON THE DRAWINGS ARE BELIEVED TO BE ACCURATE, BUT CANNOT BE GUARANTEED, MEASURE AND VERIFY DIMENSIONS IN FIELD PRIOR TO FABRICATION AND CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BRING TO THE ARCHITECTS ATTENTION ANY DISCREPANCIES OR AMBIGUITIES IN THE DRAWINGS AND/OR SPECIFICATIONS.

5: LAYOUT: UNLESS INDICATED OTHERWISE, CENTER WALL FRAMING AND PARTITION FRAMING ON COLUMN LINES. FLOOR PLAN DIMENSIONS ARE TO CENTER OF FRAMING, CENTER OF CONCRETE, FACE OF CMU, OR FROM COLUMN CENTERLINES, UNLESS INDICATED OTHERWISE.

6: ACCESSIBILITY: ALL HANDICAPPED ACCESSIBLE BATHROOMS, GRAB BARS, AND DOOR OPENINGS SHALL MEET THE REQUIREMENTS OF TITLE 94-348, CHAPTER 5 OF THE MAINE HUMAN RIGHTS COMMISION TITLE LATEST EDITION & THE DEPARTMENT OF JUSTICE ADA STANDARDS FOR

7: DRAWING SCALES: WORK FROM THE GIVEN DIMENSIONS ONLY. SCALE IS INDICATED ON THE DRAWINGS FOR CONVENIENCE ONLY. IT IS NOT INTENDED THAT INFORMATION BE DETERMINED BY SCALING THE DRAWINGS SINCE SOME ITEMS MAY NOT BE TO SCALE.

8: WATER-RESISTANT GWB: INSTALL WATER-RESISTANT GYPSUM WALL BOARD IN ALL REST ROOMS & TOILET ROOMS OR AT ANY WALL WITH PLUMBING FIXTURES.

9: BUILDING INSULATION: PROVIDE AS INDICATED IN WALL SECTIONS AND IN ACCORDANCE WITH PARTITION TYPES, WHETHER OR NOT SHOWN IN DETAILS AND OTHER DRAWINGS. FOR CLARITY, INSULATION MAY NOT BE SHOWN IN SOME CASES, EVEN IF IT IS TO BE PROVIDED.

10: BLOCKING: INSTALL BLOCKING BEHIND ALL SURFACE-APPLIED FIXTURES TRIM, CASEWORK, SHELVES, BRACKETS, TOILET ACCESSORIES, CHAIR RAILS, PICTURE RAILS, GRAB BARS, BASE MOLDINGS, AND AS OTHERWISE REQUIRED, WHEN SUCH ITEMS ARE APPLIED ON STUD WALLS.

11: PENETRATIONS AT STRUCTURAL MEMBERS: BEFORE PENETRATING JOISTS, BEAMS OR OTHER STRUCTURAL MEMBERS, CONSULT WITH THE ARCHITECT.

12: DAMAGED WORK: BUILDING OR SITE COMPONENTS WHICH ARE AFFECTED BY NEW WORK, DEMOLITION, OR WHICH MAY BE DAMAGED BY THE GENERAL CONTRACTOR OR ANY SUB-CONTRACTOR SHALL BE REPLACED OR RESTORED TO ORIGINAL CONDITION AND COLOR TO MEET THE APPROVAL OF THE ARCHITECT.

13: RATED CONSTRUCTION: PROVIDE RATED CONSTRUCTION AS REQUIRED BY CODE, AS SPECIFIED, AND AS INDICATED ON DRAWINGS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE AND INSTALL ALL COMPONENTS REQUIRED TO CREATE SUCH RATED CONSTRUCTION, REGARDLESS OF WHETHER OR NOT SUCH COMPONENTS ARE INDICATED. PROVIDE CONTINUITY OF SUCH RATED CONSTRUCTION AROUND AND BETWEEN SPACES, INCLUDING AT CHASES AND AT FLOORS, TO MAINTAIN COMPLETE SEPARATIONS, EVEN IF NOT SPECIFICALLY INDICATED.

14: INTERIOR FINISHES: ALL INTERIOR FINISHES AND FURNISHINGS ARE TO BE CLASS 'A' FIRE-RATED AND ARE TO COMPLY WITH IBC CHAPTER-8 (INTERIOR FLAME SPREAD).

15: TEMPORARY FACILITIES: PROVIDE ALL TEMPORARY FACILITIES AND SERVICES, CONSTRUCTION AND SUPPORT FACILITIES, AND SECURITY AND PROTECTION AS NEEDED TO PROTECT NEW AND EXISTING CONSTRUCTION FOR THE DURATION OF A COMPLETE INSTALLATION.

16: MANUFACTURERS INSTRUCTIONS: ALL MATERIALS & EQUIPMENT SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.

17: ASBESTOS: ALL MATERIAL USED FOR THE CONSTRUCTION OF THIS PROJECT, WHETHER BUILDING MATERIALS OR APPURTENANCES, SHALL BE NON-ASBESTOS CONTAINING MATERIAL.

18: HAZARDOUS FUMES: THE GENERAL CONTRACTOR SHALL CONFIRM THAT ALL MATERIAL AND FINISHES SPECIFIED AND THEIR FABRICATION OR INSTALLATION WILL NOT RELEASE FUMES OR AROMAS DURING CONSTRUCTION WHICH MAY BE A HAZARD OR NUISANCE TO PERSONNEL.

19: PEST CONTROL: SEAL AND CAULK AROUND ALL PENETRATIONS, CRACKS AND CREVICES AND ANY OPENINGS CAPABLE OF HARBORING INSECTS/RODENTS.

20. EXPOSED UTILITIES: ALL EXPOSED UTILITY WIRES AND PIPES (ELECTRICAL, PLUMBING, ETC.) SHALL BE INSTALLED IN A WAY THAT DOES NOT OBSTRUCT OR PREVENT THE CLEANING OF FLOORS, WALLS, AND CEILING AREAS, THEY SHALL BE INSTALLED A MINIMUM OF 6" OFF FLOORS AND 1" OFF WALLS, CEILINGS AND ADJACENT PIPES.

21. OWNER SUPPLIED EQUIPMENT: EQUIPMENT SUPPLIED BY THE OWNER AND INSTALLED BY THE GENERAL CONTRACTOR, EQUIPMENT INFORMATION AND SPECIFICATIONS ARE TO BE THE MOST CURRENT AVAILABLE AT THE TIME OF DOCUMENTATION PREPARATION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING WITH THE OWNER THE EXACT DIMENSIONS AND EQUIPMENT CONNECTION REQUIREMENTS (INCLUDING ELECTRICAL CIRCUIT REQUIREMENTS) OF EQUIPMENT TO BE SUPPLIED. THE GENERAL CONTRACTOR SHALL MAKE ALL FINAL CONNECTIONS AS NOTED ON THE DRAWINGS, INSTALL THE SET UP IN WORKING ORDER, CHECK WARRANTIES, TEST AND NOT VOID WARRANTIES. THE GENERAL CONTRACTOR SHALL COORDINATE WITH THE OWNER DELIVERY, STORAGE AND INSTALLATION OF ALL OWNER SUPPLIED EQUIPMENT. THE GENERAL CONTRACTOR SHALL STORE EQUIPMENT IF REQUESTED BY THE OWNER UNTIL INSTALLATION, SEE DRAWINGS FOR OTHER OWNER SUPPLIED/GENERAL CONTRACTOR INSTALLED ITEMS.

22: FIRE PROTECTION NOTE: EXISTING SPRINKLERHEADS, ALARM SYSTEM AND DETECTORS ARE TO BE MODIFIED TO CONFORM. WITH THE PROPOSED PLAN. COORDINATE WITH THE ARCHITECT, ANY MODIFICATION OR LOCATIONS WHERE EXISTING SYSTEMS ARE AFFECTED BY THE NEW DESIGN.

ANTICIPATED LEVEL OF FOOTING TO THE ARCHITECT PRIOR TO THE SETTING OF FORMS.

25: EXISTING HAZARDOUS MATERIALS: ALL HAZARDOUS MATERIALS INCLUDING BUT NOT LIMITED TO ASBESTOS, MOLD AND LEAD PAINT ARE TO BE HANDLED, ENCAPSULATED, ABATED AND DISPOSED OF IN ACCORDANCE WITH ANY AND ALL FEDERAL, STATE AND LOCAL REQUIREMENTS AND REGULATIONS.

ELECTRICAL

ALL ELECTRICAL WORK TO COMPLY WITH THE NATIONAL ELECTRICAL CODE FIXTURES INSTALLED IN AN INSULATED CAVITY SHOULD BE RATED FOR SUCH APPLICATION. COORDINATE LOCATION OF ALL CEILING AND ELECTRICAL DEVICES WITH ARCHITECT.

STRUCTURAL

INCLUDING BUT NOT LIMITED TO ACI 318 "BUILDING CODE REQUIREMENTS FOR STRUCTURAL

CONCRETE SHALL BE READY-MIXED CONCRETE, PROPORTIONED, MIXED, AND PLACED IN ACCORDANCE WITH THE PROVISIONS SET FORTH IN ACI 318. JOB-SITE MIXING OF CONCRETE WILL NOT BE PERMITTED. REINFORCING BARS SHALL CONFORM TO ASTM A615 GRADE 60 DEFORMED BARS AND SHALL BE DETAILED, FABRICATED, AND PLACED IN ACCORDANCE WITH ACI 315. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185 AND SHALL BE PROVIDED IN FLAT SHEETS. LAP TWO SQUARES AT ALL JOINTS AND TIE AT 3'-0" ON CENTER.

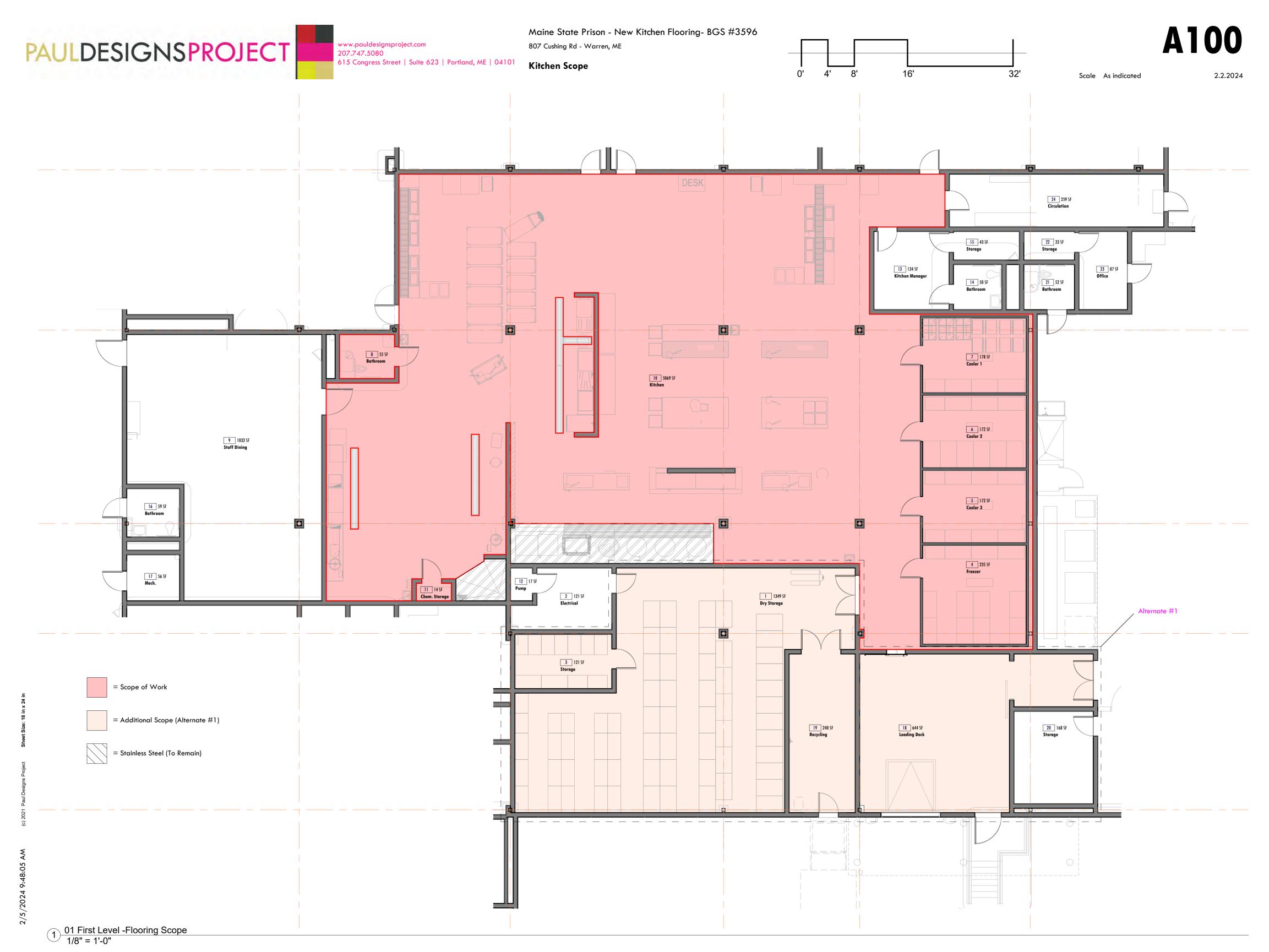
CONCRETE MIX DESIGN: INTERIOR SLABS-ON-GRADE:

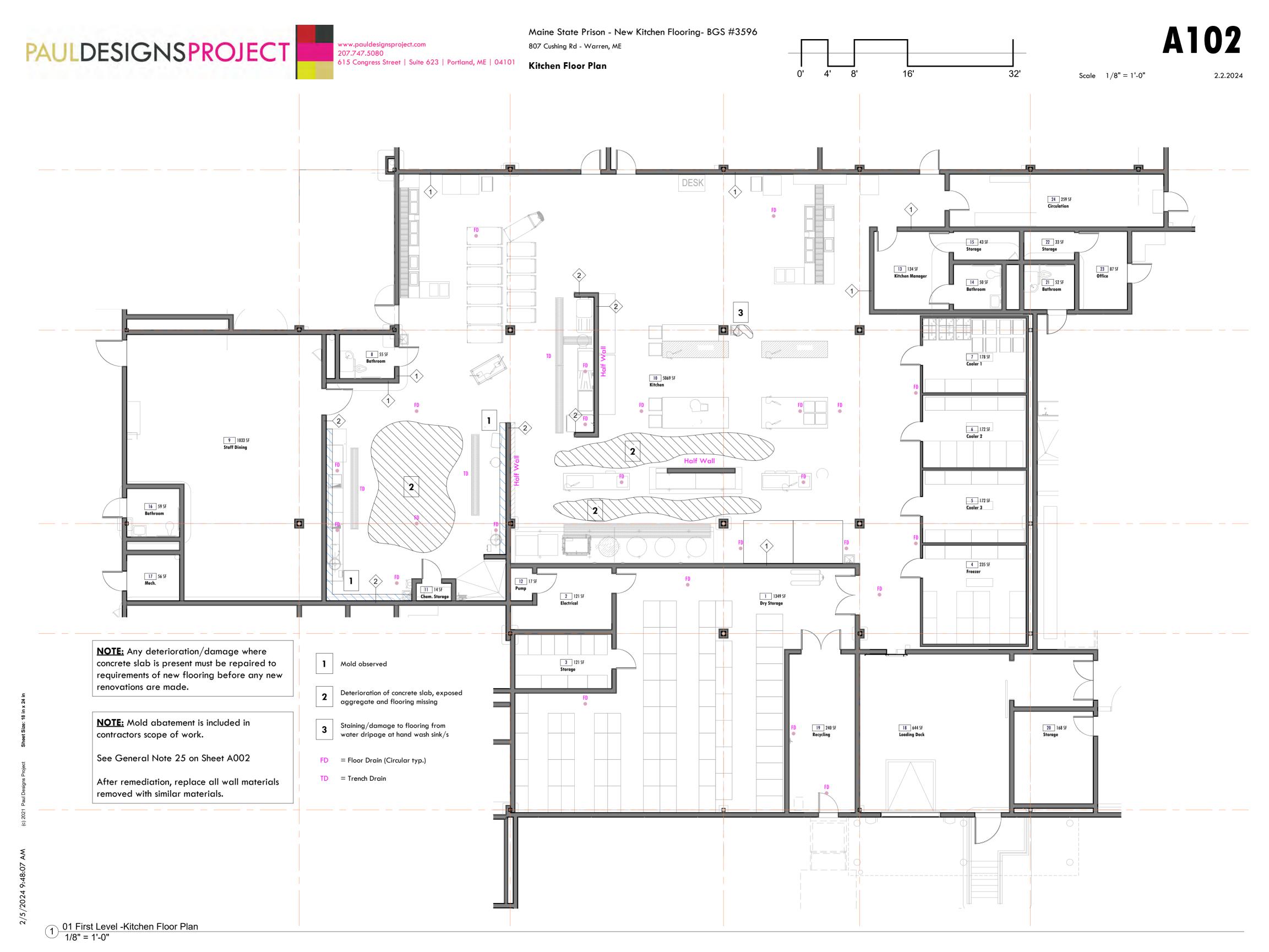
- AGGREGATE: 3/4"
- W/C RATIO: 0.55 MAX
- ENTRAPPED AIR ONLY (NO ENTRAINMENT): 3% MAX
- TYPICAL FLOOR SLAB SHALL BE **CONCRETE SLAB ON GRADE**

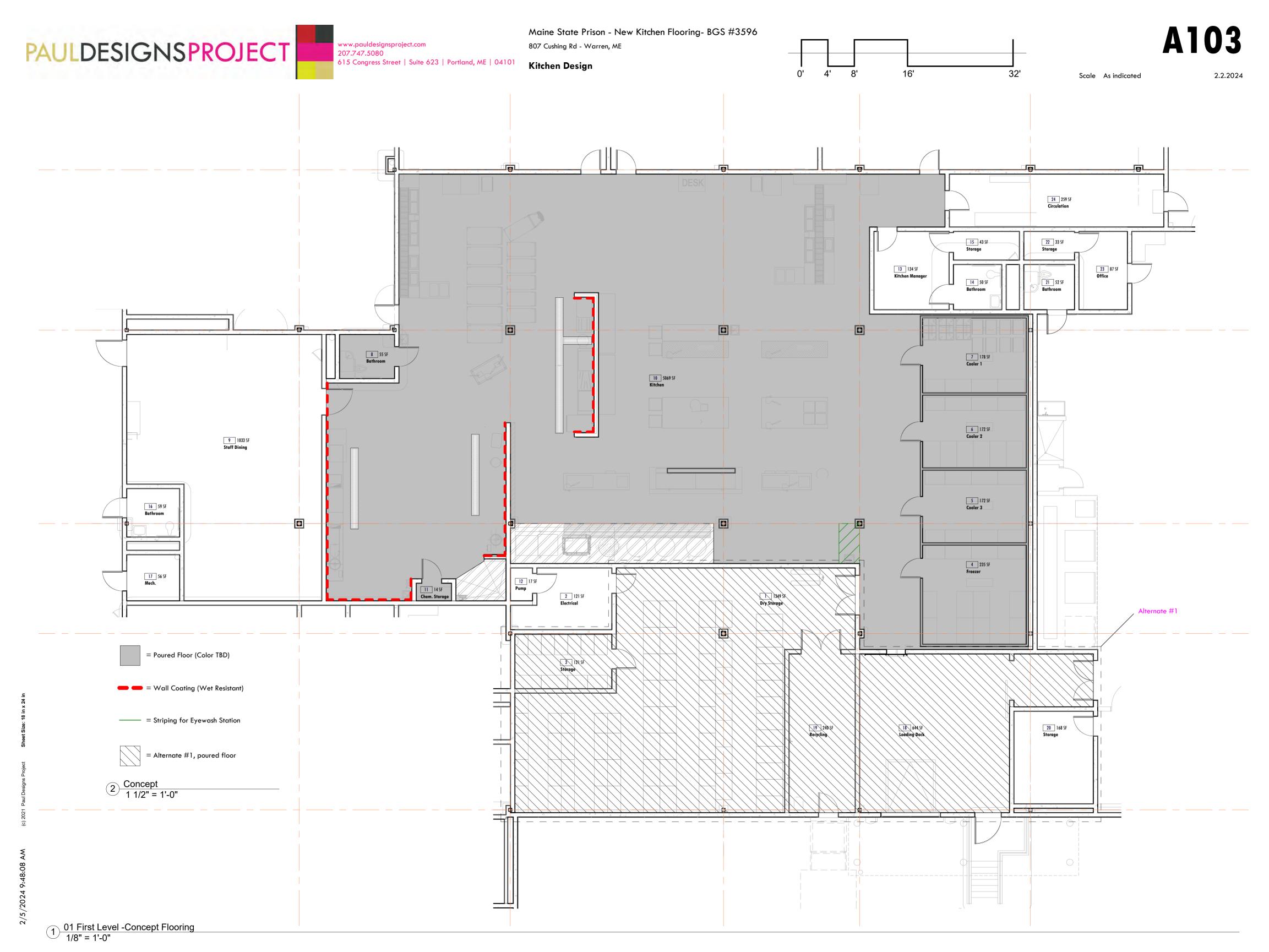
W/6X6 - 1.4 X 1.4 WWF

23: SOILS AT FOOTINGS: REPORT THE LOCATION OF ALL UNSUITABLE SOILS AND MATERIALS BELOW

24: ACCESS PANELS: CONTRACTOR IS RESPONSIBLE FOR COORDINATING QUANTITY AND LOCATION OF ALL REQUIRED ACCESS PANELS FOR ALL MEP CONTROLS, CLEANOUTS, DAMPERS, PULL BOXES, ETC.



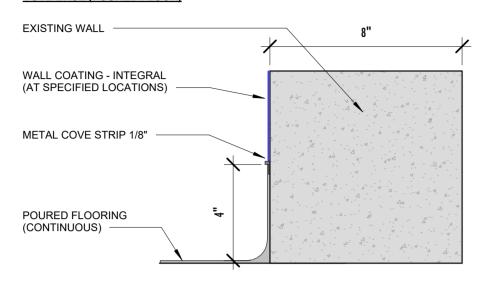




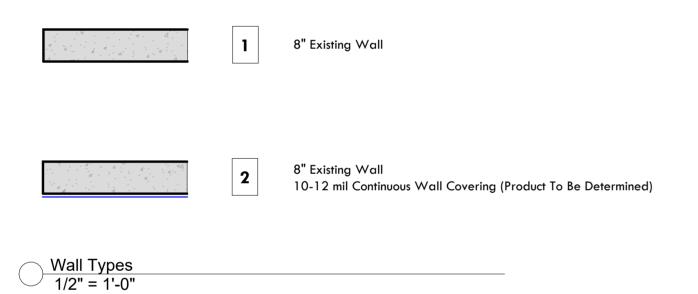
Scale As indicated

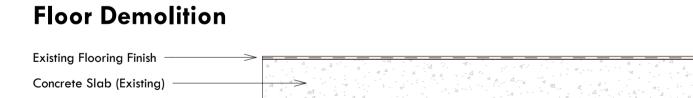
2.2.2024

COVE BASE (POURED FLOOR)

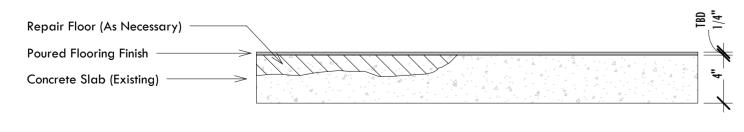


Cove Base Details 3" = 1'-0"

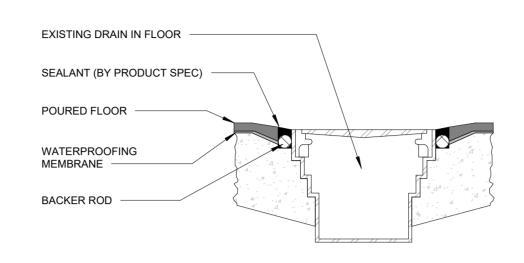




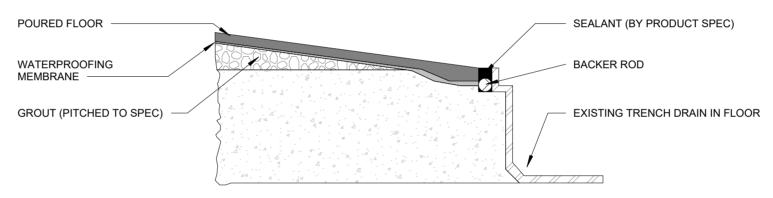
New/Proposed Flooring Layers



3 Floor Layers 1 1/2" = 1'-0"



2 Typ. Circular Drain Details 3" = 1'-0"

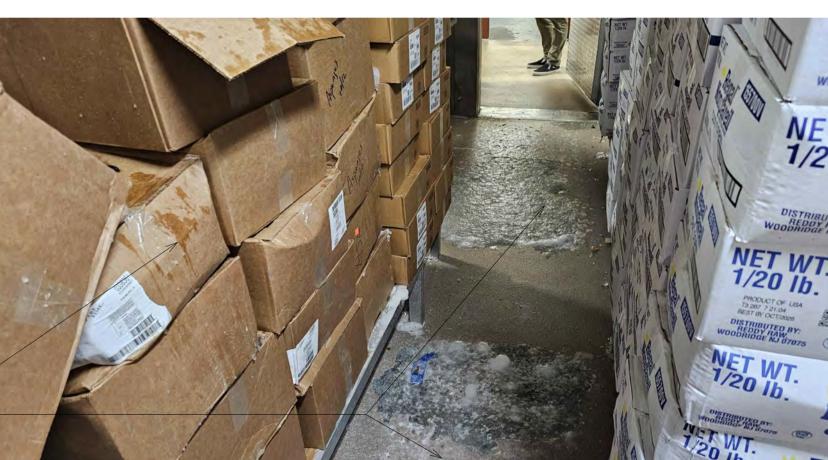


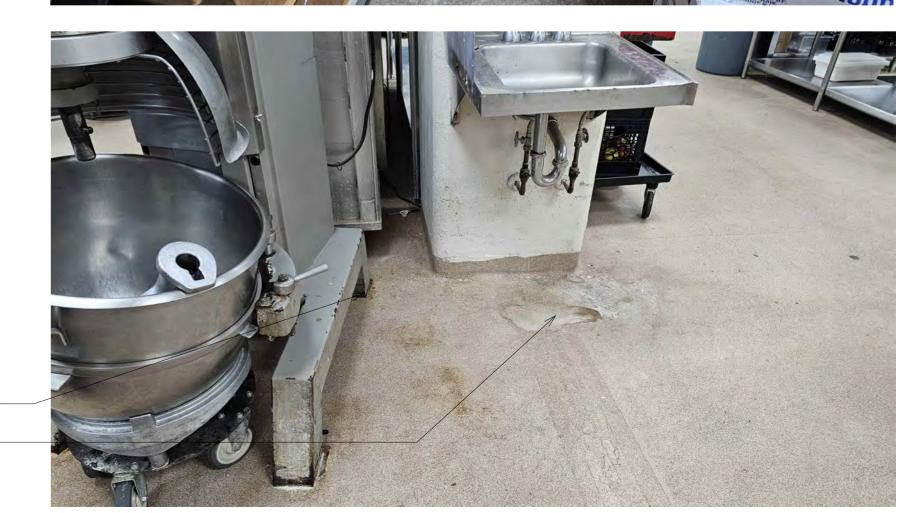
4 Typ. Trench Drain Details 3" = 1'-0"

Kitchen Photos









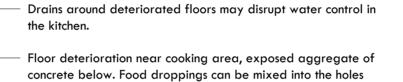


Floor deterioration @ cooking aisle, exposed aggregate of

Stainless steel wrapped to floor drain and integral to wall (not to be removed or changed)

Mold formed on the half wall beneath sinks. Possible use for integral wall and poured floor system to resolve future mold

Extensive flooring deterioration around all areas of the dishpit, water filled in said holes





Water dripping from ceiling? Water on floor freezes

Extensive flooring deterioration along walking pathway in freezer leads to freezing in the opened areas and present slipping issues



Eyewash station blocked by multitude of various equipment and appliances

Need for better indication of keeping floor clear @ station



Rust from equipment rubbing into and deteriorating flooring at feet of equipment

Water damage from hand wash sink most likely dripping at pipe below