

Wolfe's Neck Woods State Park - Freeport, Maine

Department of Agriculture, Conservation and Forestry-Bureau of Parks and Lands
Project Number BGS-3510

Addendum - 01

October 11, 2024

Questions From Bidders:

- Civil
 - **Question 1:** Can you confirm that the 2" overlay of the roads and parking, if accepted, will include the section of road between Wolf's Neck Road and the gatehouse?
 - **Response:** Yes, Alternate No. 01 - Applies to all the gravel roads from the entrance gate from Wolfe's Neck Road.
 - **Question 2:** Is there already power at these buildings or are we coming of the nearest pole?
 - **Response:** The bathhouse building has a 100amp service, the gatehouse currently does not have power
- Architecture
 - **Question 3:** Will you accept a double locked standing seam metal roofing system in lieu of the snap lock seam panel specified? We feel that a 180 degree double locked standing seam panel is a better product.

Sec 074113.16 Standing Seam Metal Roof Panels 2.3 Vertical Rib, Snap-Joint, Standing Seam Metal Roof Panels
A) BOD Everlast SSL175 snap lock metal roof system. Will they accept a roll formed 180 degree double locked standing seam metal roof system on this project?

 - **Response:** Yes, the proposed alternative is acceptable, provided the nominal thickness is 0.22 inches or greater.
 - **Question 4:** 1. Louvers – The 6 low wall louvers that are detailed on drawing A-5.1 and scheduled on drawing A-8.1 are also noted on drawing M-101. Please confirm that these will be provided the general contractor.
2. Louver Schedule – On drawing M-002 the schedule list a quantity of 6 L-2 louvers. I am only seeing 2 on drawing M-101. Please confirm the quantity of L-2 louvers.
 - **Response:** The GC is responsible for providing the louvers as drawn per A-5.1. See attached Addendum-01 mechanical drawings for the bathhouse. The interior louvers have been replaced with grills, and there are two exterior louvers required. All of the changes are clouded.
- Electrical
 - **Question 5:** On sheet E-1G, for the gate house Camera System Riser Diagram, please confirm that that EC is only responsible for the 3/4" conduit, the Honeywell HA60JCBH1 junction boxes, and the 2" ENT with junction boxes. All other materials and labor related to the Camera System Riser Diagram will be by the "OIT".
 - **Response:** Correct
- Plumbing
 - **Question 6:** Good Morning, would it be acceptable to install PVC in place of cast iron below and above grade on this project?
 - Yes, PVC is acceptable.
 - **Question 7:** Question on coordination drawings section 220000 – part 3 – Execution – 3.2 – c and section 230000 – 2.10. Can you confirm coordination drawings are required?
 - **Response:** Due to the project's size, Coordination Drawings may be omitted. However, the General Contractor (GC) and all subcontractors must confirm and coordinate their work internally before the commencement of any work.
 - **Question 8:** There is no x-tank for DHW or water pressure holding tank for water entrance listed on schedule for domestic water. Nothing in 220000 2.6 fixtures in project manual.
 - **Response:** Expansion tank for EWH-1 to be: ASME Thermal Expansion Tank with heavy duty butyl NSF/ANSI 61 diaphragm, with ¾" SS Connection and minimum volume of 2 gallons with maximum acceptance of 0.9 gallons. Maximum working pressure of 150 psi. Manufactured by Amtrol, Watts, Flexcon Ind. or approved equal.

Additional Information:

- The GC shall be responsible for snow removal around the immediate construction areas during the construction process.



Attachments:

- Civil - Set including a demolition plan
- Mechanical - Set for the bathhouse, all changes are clouded
- List of attendees from the pre-bid site meeting
- Scan of the sign-in-sheet

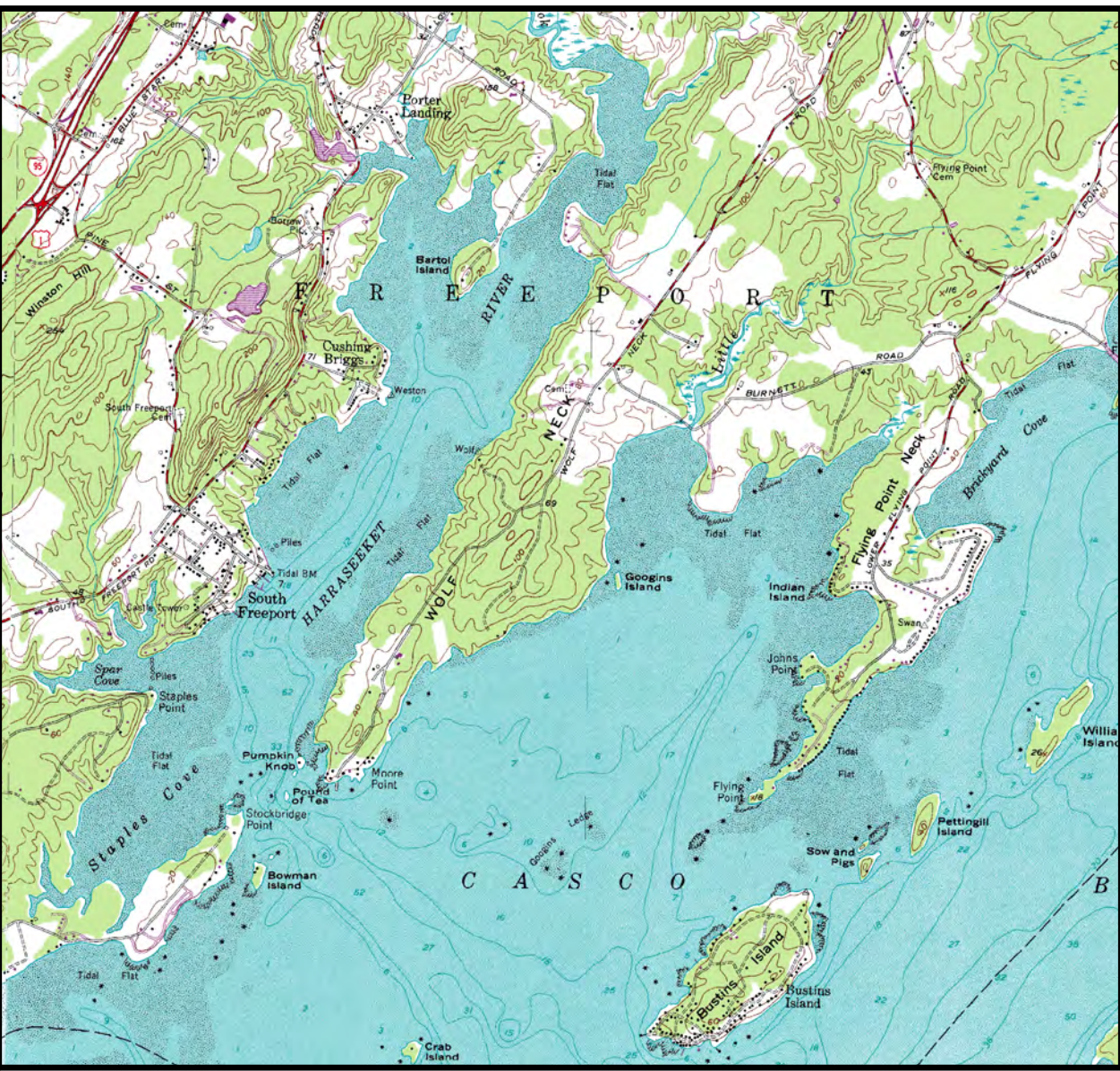
Wolfe's Neck Woods State Park

Wolfe's Neck Road, Freeport

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LOCATION MAP

N.T.S.

LEGEND

EXISTING	DESCRIPTION	PROPOSED
	BUILDING	
	RIGHT OF WAY	
	PROPERTY LINE	
	EASEMENT LINE	
	BUILDING SETBACK	
	ZONE LINE	
	WETLAND BOUNDARY	
	STREAM	
	GUARD RAIL	
	EDGE OF PAVEMENT	
	EDGE OF GRAVEL DRIVE	
	EDGE OF CURB	
	GRADING CONTOUR LINE	
	SPOT ELEVATION	
	TREELINE	
	TREES & HEDGES	
	POLE WITH LIGHT FIXTURE(S)	
	UTILITY POLE	
	FREESTANDING SIGN	
	PAINTED DIRECTIONAL TRAFFIC ARROW	
	OVERHEAD ELECTRIC/TELEPHONE	
	UNDERGROUND ELECTRIC/TELEPHONE	
	WATER LINE	
	STORM DRAIN LINE	
	CULVERT	
	HYDRANT	
	WATER GATE VALVE	
	WATER SHUT OFF VALVE	
	MANHOLE	
	CATCH BASIN	
	TEST PIT	
	BORING	
	IRON ROD (SET)	
	IRON ROD (FOUND)	
	MONUMENT	
	RIPRAP	
	SILT FENCE - PERIMETER	
	STONE SEDIMENT BARRIER	
	FENCE	
	WELL	

GENERAL NOTES

GENERAL NOTES

- THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION ACTIVITIES, ESTABLISHING ON-SITE LINES OF AUTHORITY AND COMMUNICATION, MONITORING SCHEDULES AND PROGRESS, MONITORING QUALITY, MAINTAINING RECORDS AND REPORTS AND IN GENERAL ASSURING THE PROPER ADMINISTRATION OF THE WORK. DISRUPTIONS AND INCONVENIENCES TO THE PROPERTY ADJUTERS DURING CONSTRUCTION SHALL BE MINIMIZED, AND SHALL BE SUBJECT TO THE PRIOR APPROVAL OF THE TOWN OF FREEPORT. THE CONTRACTOR SHALL COOPERATE WITH THE TOWN TO THE GREATEST EXTENT POSSIBLE. THE CONTRACTOR'S COOPERATIVE EFFORTS SHALL INCLUDE, BUT SHALL NOT NECESSARILY BE LIMITED TO:
 - STORING ON-SITE MATERIALS IN LOCATIONS ACCEPTABLE TO THE TOWN OF FREEPORT.
 - CONTROLLING CONSTRUCTION PARKING AND TRAFFIC AND LIMITING IT TO AREAS ACCEPTABLE TO THE TOWN OF FREEPORT.
 - ACCOMMODATING LOCAL RESIDENTS AND OTHER ON-GOING ACTIVITIES WITHIN AND ABOUT THE PROJECT. SUCH ACCOMMODATIONS SHALL INCLUDE, BUT SHALL NOT NECESSARILY BE LIMITED TO:
 - PROVIDING ADEQUATE DIRT, DUST, FUME, VAPOR AND NOISE CONTROL.
 - SCHEDULING WORK WITHIN THE EXISTING ROADWAY AT TIMES ACCEPTABLE TO THE TOWN AND LEAST DISRUPTIVE TO ABUTTING PROPERTIES.
 - THE CONTRACTOR SHALL SCHEDULE AND COORDINATE THE WORK AS REQUIRED TO MAINTAIN THE SAFE AND FUNCTIONAL ACCESS TO WOLFE'S NECK WOODS ROAD DURING THE EXECUTION OF THE WORK. PRIOR TO PROCEEDING WITH THE WORK, THE CONTRACTOR SHALL MEET WITH THE TOWN, ACCURATELY ASSESS THE TOWN'S REQUIREMENTS RELATIVE TO THE USE OF THE PROJECT AREA, AND SCHEDULE THE WORK ACCORDINGLY.
- THE CONTRACTOR MUST CALL DIG SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- MAINTENANCE OF EROSION CONTROL MEASURES IS OF PARAMOUNT IMPORTANCE TO THE OWNER AND THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTIONS OF THE OWNER OR THEIR REPRESENTATIVES AT NO ADDITIONAL COST TO THE OWNER.
- ALL MATERIAL SCHEDULES SHOWN ON THE PLANS ARE FOR GENERAL INFORMATION ONLY. THE CONTRACTOR SHALL PREPARE HIS OWN MATERIAL SCHEDULES BASED UPON HIS PLAN REVIEW. ALL SCHEDULES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO ORDERING MATERIALS OR PERFORMING WORK.
- THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN ALL NECESSARY BARRICADES, LIGHTS, WARNING SIGNS AND OTHER DEVICES TO SAFEGUARD TRAFFIC PROPERLY WHILE WORK IS IN PROGRESS FOR THE DURATION OF THE PROJECT.
- ALL WORK COMPLETED UNDER THIS CONTRACT SHALL BE GOVERNED BY AND BE IN CONFORMITY WITH THE STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES (MARCH 2020 EDITION) AND STANDARD DETAILS (MARCH 2020) EXCEPT AS MODIFIED BY THE PLANS OR SPECIFICATIONS OR SPECIAL PROVISIONS.
- THE CONTRACTOR SHALL ANTICIPATE THAT GROUNDWATER WILL BE ENCOUNTERED DURING CONSTRUCTION AND SHALL INCLUDE SUFFICIENT COSTS WITHIN THEIR BID TO PROVIDE DEWATERING AS NECESSARY. NO SEPARATE PAYMENT SHALL BE MADE TO THE CONTRACTOR FOR DEWATERING.
- CONTRACTOR SHALL MAINTAIN AT LEAST ONE-WAY TRAFFIC AT ALL TIMES.

- LAND DISTURBING ACTIVITIES SHALL BE ACCOMPLISHED IN A MANNER AND SEQUENCE THAT CAUSES THE LEAST PRACTICAL DISTURBANCE OF THE SITE.
 - PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL INSTALL THE PERIMETER EROSION CONTROL BMPs.
 - SILT SHALL NOT BE FLUSHED INTO THE ADJACENT WETLANDS OR WATER COURSES.
 - SILT FENCES SHALL BE INSPECTED, REPAIRED AND CLEANED AS NECESSARY.
 - THE CONTRACTOR IS CAUTIONED THAT FAILURE TO COMPLY WITH THE SEQUENCE OF CONSTRUCTION, EROSION/SEDIMENT CONTROL PLAN, AND OTHER PERMIT REQUIREMENTS MAY RESULT IN MONETARY PENALTIES. THE CONTRACTOR SHALL BE ASSESSED ALL SUCH PENALTIES AT NO COST TO THE OWNER.
 - ALL NON-PAVED AREAS DISTURBED DURING CONSTRUCTION SHALL BE LOAMED AND SEEDED, UNLESS OTHERWISE DIRECTED BY THE OWNER.
 - ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIAL OFF SITE IN CONFORMANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS.
 - ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM WITH APPLICABLE FEDERAL, STATE, AND TOWN OF FREEPORT CODES AND SPECIFICATIONS.
 - COMPACTION REQUIREMENTS:**

LOCATION	MINIMUM COMPACTION*
BELOW PAVED OR GRAVEL AREAS	95%
BELOW VEGETATED AREAS	90%
 - IT IS THE CONTRACTORS RESPONSIBILITY TO FAMILIARIZE THEMSELV WITH THE EXISTING CONDITIONS PRIOR TO BIDDING.
- *ALL PERCENTAGES OF COMPACTION SHALL BE OF MAXIMUM DRY DENSITY AT THE OPTIMUM MOISTURE CONTENT AS DETERMINED AND CONTROLLED IN ACCORDANCE WITH ASTM D-1557

TEMPORARY EROSION CONTROL MEASURES

- SILTATION FENCE SHALL BE INSTALLED DOWNSTREAM OF ANY DISTURBED AREAS TO TRAP RUNOFF- BORNE SEDIMENTS UNTIL GRASS AREAS ARE REVEGETATED. THE SILT FENCE SHALL BE INSTALLED PER THE DETAILS PROVIDED ON THIS PLAN AND INSPECTED BEFORE AND IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. REPAIRS SHALL BE MADE IF THERE ARE ANY SIGNS OF EROSION OR SEDIMENTATION BELOW THE FENCE LINE. IF THERE ARE SIGNS OF UNDERCUTTING AT THE CENTER OR THE EDGES, OR IMPOUNDING OF LARGE VOLUMES OF WATER BEHIND THE FENCE, THE BARRIER SHALL BE REPLACED WITH A STONE CHECK DAM.
- FOR WORK, WHICH IS CONDUCTED BETWEEN SEPTEMBER 15TH AND APRIL 15TH OF ANY CALENDAR YEAR, ALL DENUDED AREAS, SHALL BE COVERED WITH HAY MULCH OR EROSION CONTROL MIX, APPLIED AT TWICE THE NORMAL APPLICATION RATE AND ANCHORED WITH A FABRIC NETTING. THE TIME PERIOD FOR APPLYING MULCH SHALL BE LIMITED TO 7 DAYS FOR ALL AREAS.
- SILT FENCING WITH A MINIMUM STAKE SPACING OF 6 FEET SHOULD BE USED, UNLESS THE FENCE IS SUPPORTED BY WIRE FENCE REINFORCEMENT OF MINIMUM 14 GAUGE AND WITH A MAXIMUM MESH SPACING OF 6 INCHES, IN WHICH CASE STAKES MAY BE SPACED A MAXIMUM OF 10 FEET APART. THE BOTTOM OF THE FENCE SHOULD BE ANCHORED.
- WATER AND/OR CALCIUM CHLORIDE SHALL BE FURNISHED AND APPLIED IN ACCORDANCE WITH MDOT SPECIFICATIONS - SECTION 637 - DUST CONTROL.
- LOAM AND SEED IS INTENDED TO SERVE AS THE PRIMARY PERMANENT REVEGETATIVE MEASURE FOR ALL DENUDED AREAS NOT PROVIDED WITH OTHER EROSION CONTROL MEASURES, SUCH AS RIPRAP.

STANDARDS FOR TIMELY STABILIZATION OF CONSTRUCTION SITES

- THE CONTRACTOR SHALL STABILIZE THE DISTURBED SLOPES WITH LOAM AND SEED AND EROSION CONTROL BLANKET (NORTH AMERICAN GREEN SC150 OR APPROVED EQUIVALENT.) INSTALLED AND ANCHORED IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS.

IMPLEMENTATION SCHEDULE

THE FOLLOWING CONSTRUCTION SEQUENCE SHALL BE REQUIRED TO INSURE THE EFFECTIVENESS OF THE EROSION AND SEDIMENTATION CONTROL MEASURES ARE OPTIMIZED:

FOR ALL GRADING ACTIVITIES, THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION NOT TO OVEREXPOSE THE SITE BY LIMITING THE DISTURBED AREA. INSTALL PERIMETER SILT FENCE IN WORK AREAS.

BEGIN DEMOLITION.

CLEAR AND GRUB SITE WHERE APPLICABLE.

COMMENCE EARTHWORK TO BASE GRAVEL GRADE.

INSTALL BASE COURSE AND FINISH COURSE PAVING

VEGETATE AND STABILIZE DISTURBED AREAS

ONCE THE SITE IS STABILIZED AND A 90% CATCH OF VEGETATION HAS BEEN OBTAINED, REMOVE ALL TEMPORARY EROSION CONTROL MEASURES.

TOUCH UP ERODED AREAS.

NOTE: ALL DENUDED AREAS NOT SUBJECT TO FINAL PAVING, RIPRAP, OR GRAVEL; SHALL BE REVEGETATED.

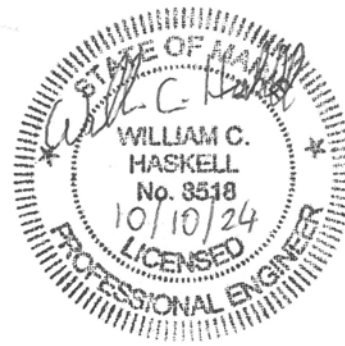
REFERENCE PLAN:

- EXISTING CONDITIONS INFORMATION TAKEN FROM "TOPOGRAPHIC SURVEY AT WOLFE'S NECK STATE PARK - PREPARED BY OWEN HASKELL, INC. DATED JULY 29, 2024."

INDEX

C100	COVER SHEET, GENERAL NOTES, & LEGEND
C101	OVERALL SITE PLAN
C102	DEMOLITION PLAN
C103	PARK ENTRANCE
C104	ROAD & PARKING LOT IMPROVEMENTS
C105	BATHHOUSE IMPROVEMENTS
C201	SITE DETAILS
C202	UTILITY AND DRAINAGE DETAILS
C203	EROSION CONTROL DETAILS

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Rev.	Date	Revision
1	10/10/24	ADD DEMOLITION PLAN (C102)

Issued For	Date	By
Issued for Bidding	9/20/24	WCH

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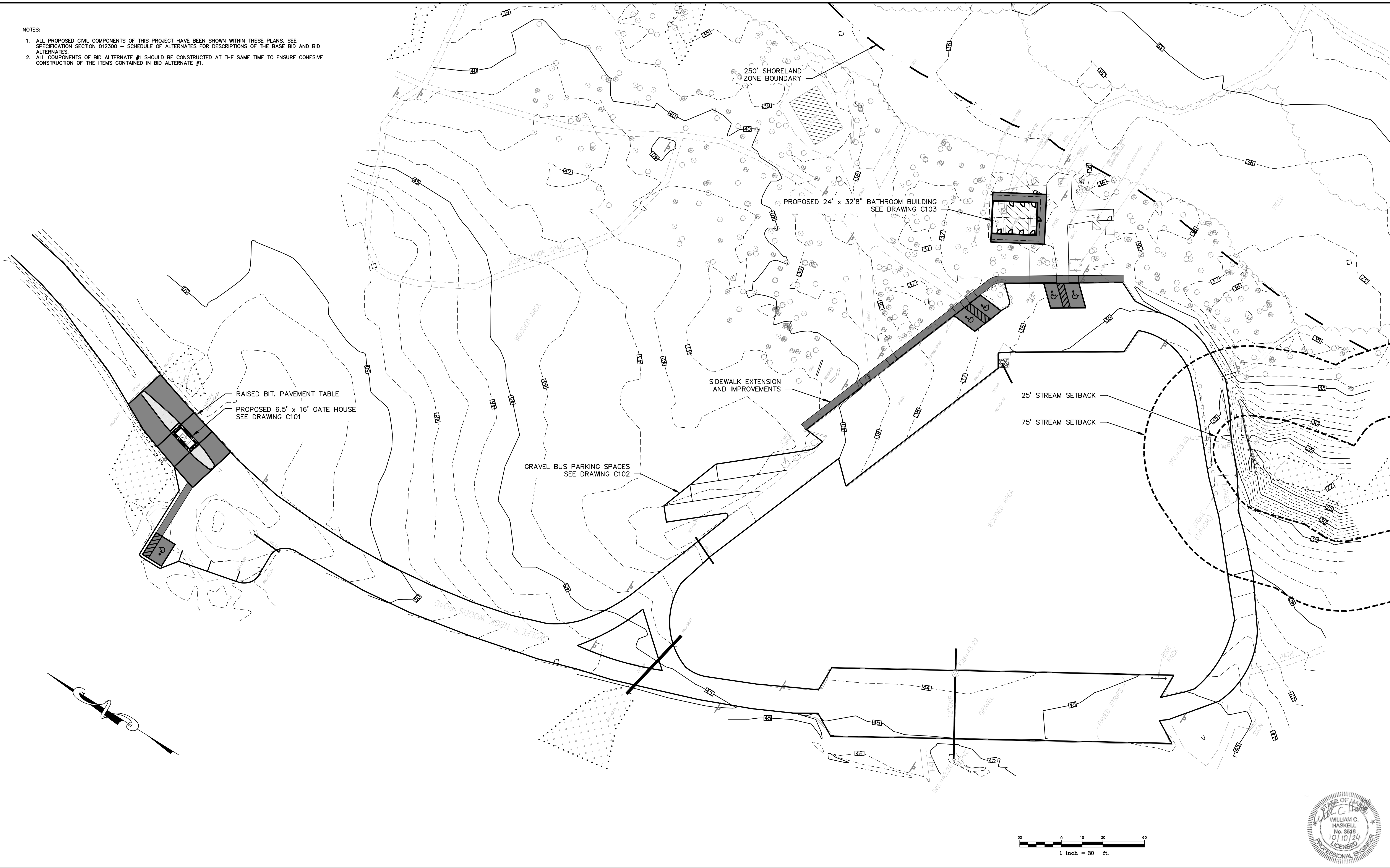
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Drawing Name:	Cover Sheet, General Notes, and Legend
Project:	Wolfe's Neck Woods State Park Freeport, Maine
Client:	Department of Agriculture, Conservation & Forestry 16 Elkins Lane, Harlow Building, Augusta, ME 04333

Drawing No.

C100

- NOTES:
1. ALL PROPOSED CIVIL COMPONENTS OF THIS PROJECT HAVE BEEN SHOWN WITHIN THESE PLANS. SEE SPECIFICATION SECTION 012300 - SCHEDULE OF ALTERNATES FOR DESCRIPTIONS OF THE BASE BID AND BID ALTERNATES.
 2. ALL COMPONENTS OF BID ALTERNATE #1 SHOULD BE CONSTRUCTED AT THE SAME TIME TO ENSURE COHESIVE CONSTRUCTION OF THE ITEMS CONTAINED IN BID ALTERNATE #1.



1	10/10/24	ADD DEMOLITION PLAN (C102)
Rev.	Date	Revision

Issued for Bidding	9/20/24	WCH	
Issued For	Date	By	

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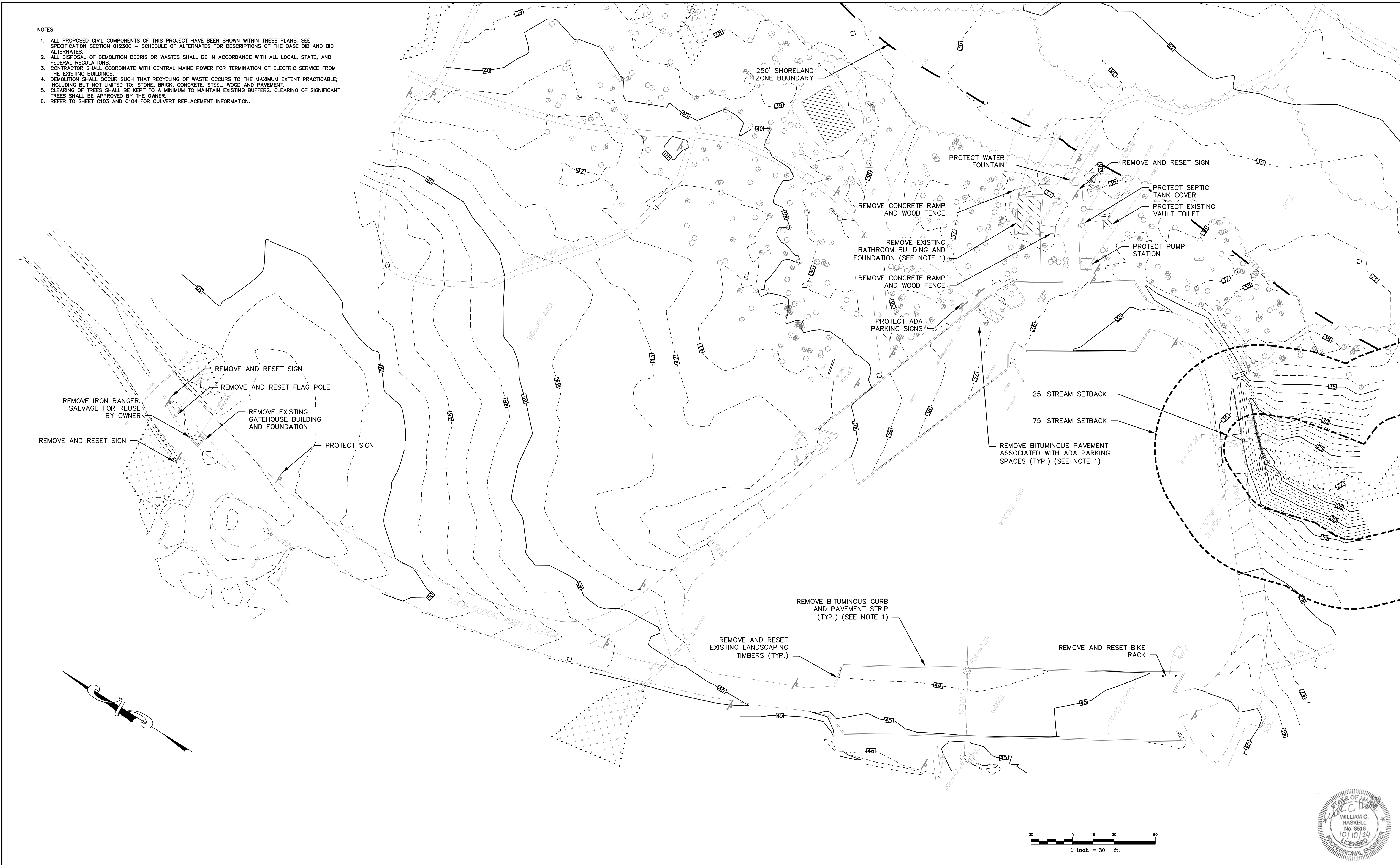


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Drawing Name:	Overall Site Plan
Project:	Wolfe's Neck Woods State Park Freeport, Maine
Client:	Department of Agriculture, Conservation & Forestry 16 Elkins Lane, Harlow Building, Augusta, ME 04333

Drawing No.
C101

- NOTES:
1. ALL PROPOSED CIVIL COMPONENTS OF THIS PROJECT HAVE BEEN SHOWN WITHIN THESE PLANS. SEE SPECIFICATION SECTION 012300 - SCHEDULE OF ALTERNATES FOR DESCRIPTIONS OF THE BASE BID AND BID ALTERNATES.
 2. ALL DISPOSAL OF DEMOLITION DEBRIS OR WASTES SHALL BE IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
 3. CONTRACTOR SHALL COORDINATE WITH CENTRAL MAINE POWER FOR TERMINATION OF ELECTRIC SERVICE FROM THE EXISTING BUILDINGS.
 4. DEMOLITION SHALL OCCUR SUCH THAT RECYCLING OF WASTE OCCURS TO THE MAXIMUM EXTENT PRACTICABLE; INCLUDING BUT NOT LIMITED TO: STONE, BRICK, CONCRETE, STEEL, WOOD AND PAVEMENT.
 5. CLEARING OF TREES SHALL BE KEPT TO A MINIMUM TO MAINTAIN EXISTING BUFFERS. CLEARING OF SIGNIFICANT TREES SHALL BE APPROVED BY THE OWNER.
 6. REFER TO SHEET C103 AND C104 FOR CULVERT REPLACEMENT INFORMATION.



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1	10/10/24	ADD DEMOLITION PLAN (C102)

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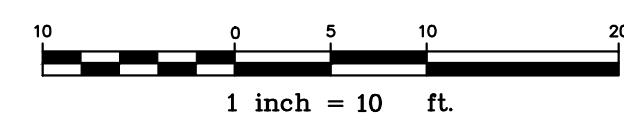


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Drawing Name:	Demolition Plan
Project:	Wolfe's Neck Woods State Park Freeport, Maine
Client:	Department of Agriculture, Conservation & Forestry 16 Elkins Lane, Harlow Building, Augusta, ME 04333

Drawing No.	C102
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1. BID ALTERNATE #1 INCLUDES A 2" GRAVEL OVERLAY OF THE ROADWAY AND PARKING AREAS. IF SELECTED, ALL GRADES SHOWN ON THIS SHEET WILL RISE BY 2".
2. GRAVEL MUST BE INSTALLED IN MAXIMUM 12" LIFTS.
3. COMPACT EXISTING SUBGRADE AND EACH GRAVEL LIFT TO 95% MAXIMUM DRY DENSITY IN ACCORDANCE WITH ASTM D-1557.
4. VERIFY UTILITY ENTRY POINTS AND ELEVATIONS AT PROPOSED BUILDING PRIOR TO CONSTRUCTING UTILITIES.
5. ALL 2" CONDUIT TO BE SCHEDULE 80 PIPE WITH LONG SWEEP 90° BENDS FOR FUTURE FIBER DATA. LENGTH OF CONDUIT TO BE COORDINATED IN THE FIELD.



1	10/10/24	ADD DEMOLITION PLAN (C102)
Rev.	Date	Revision

Issued for Bidding	9/20/24	WCH
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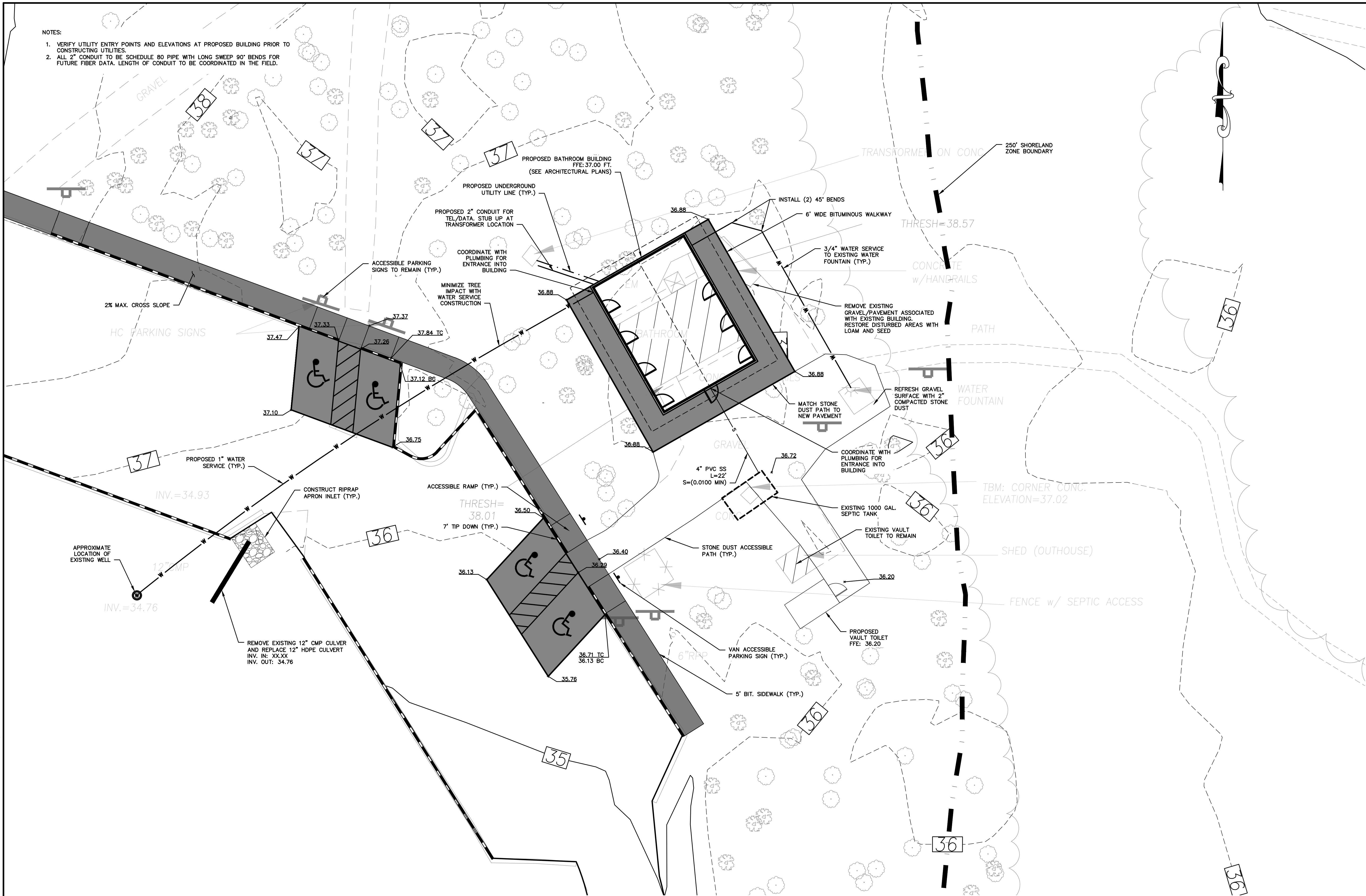
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Drawing Name:	Park Entrance
Project:	Wolfe's Neck Woods State Park Freeport, Maine
Client:	Department of Agriculture, Conservation & Forestry 16 Elkins Lane, Harlow Building, Augusta, ME 04333

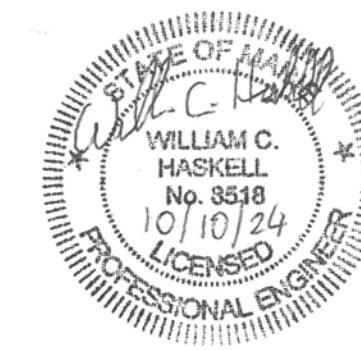
C103

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- NOTES:
1. VERIFY UTILITY ENTRY POINTS AND ELEVATIONS AT PROPOSED BUILDING PRIOR TO CONSTRUCTING UTILITIES.
 2. ALL 2" CONDUIT TO BE SCHEDULE 80 PIPE WITH LONG SWEEP 90° BENDS FOR FUTURE FIBER DATA. LENGTH OF CONDUIT TO BE COORDINATED IN THE FIELD.



10 0 5 10 20
1 inch = 10 ft.



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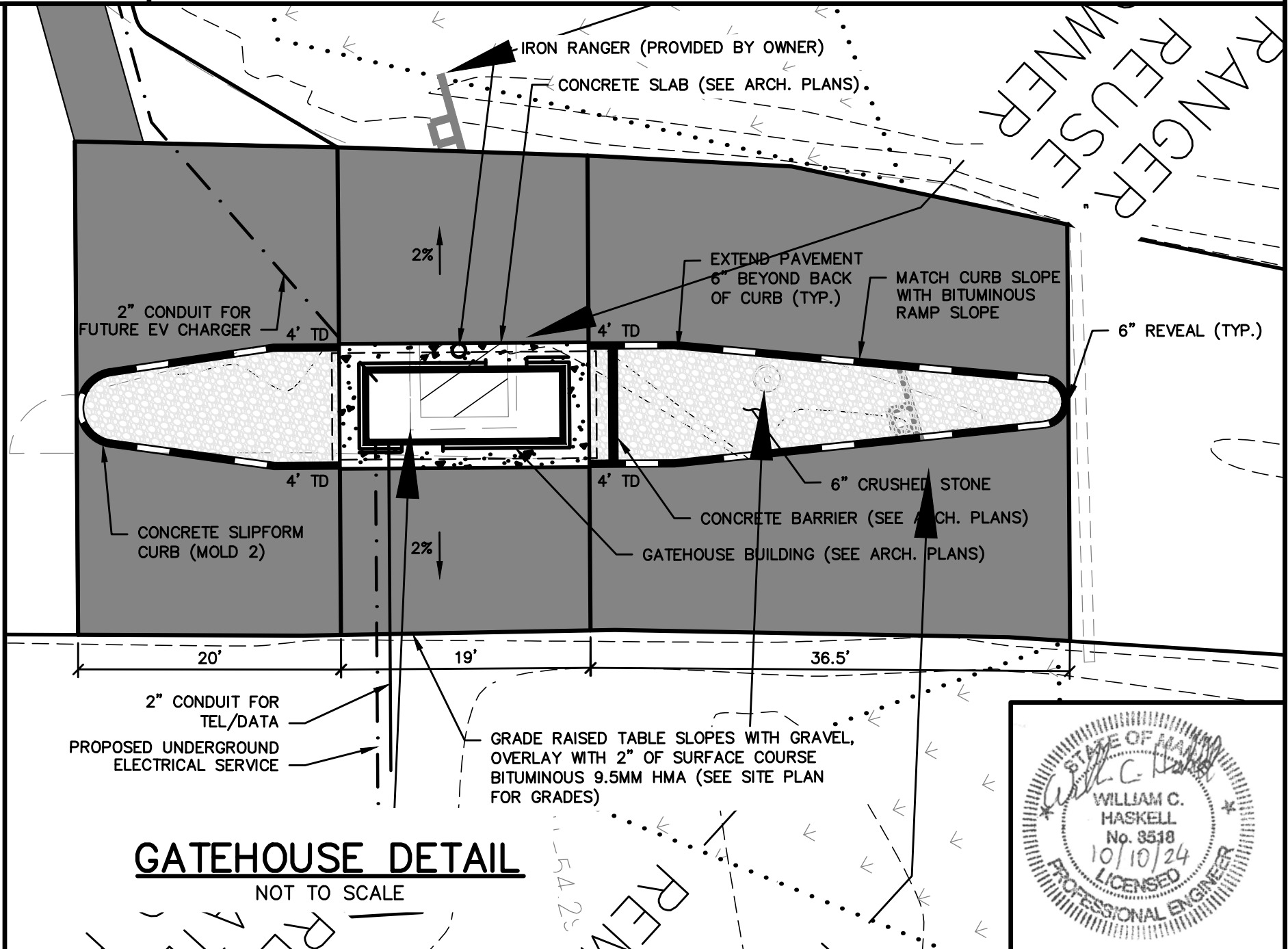
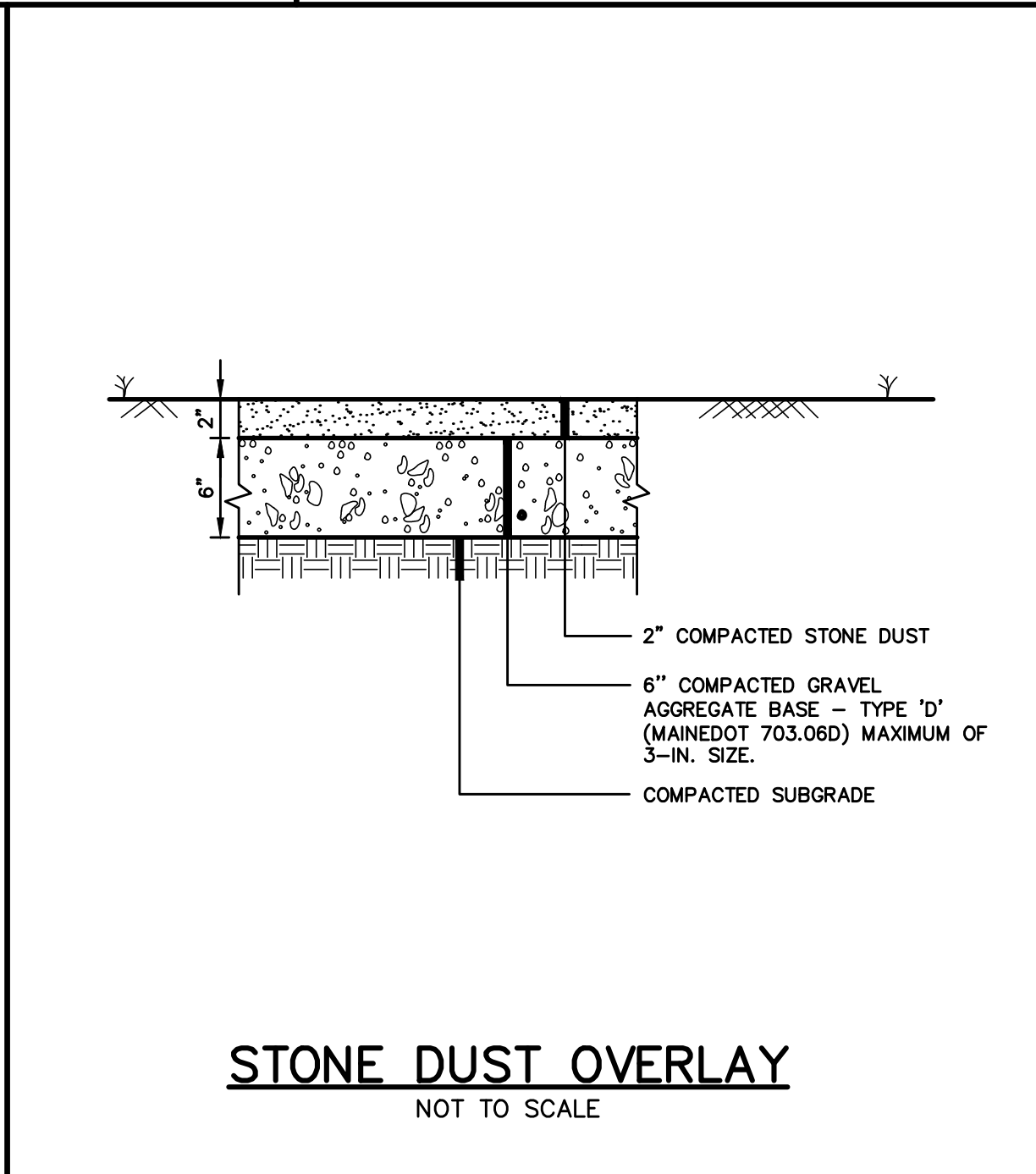
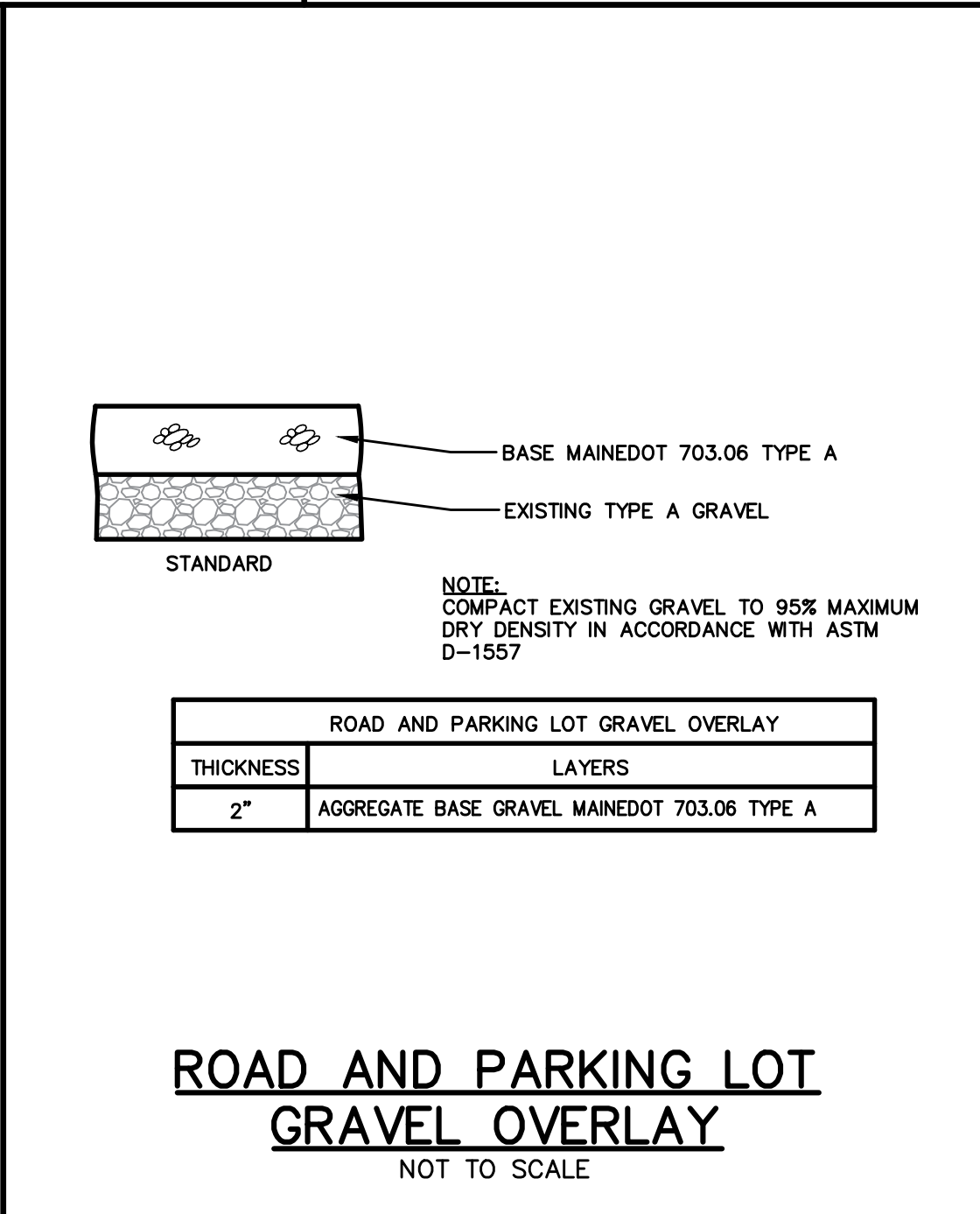
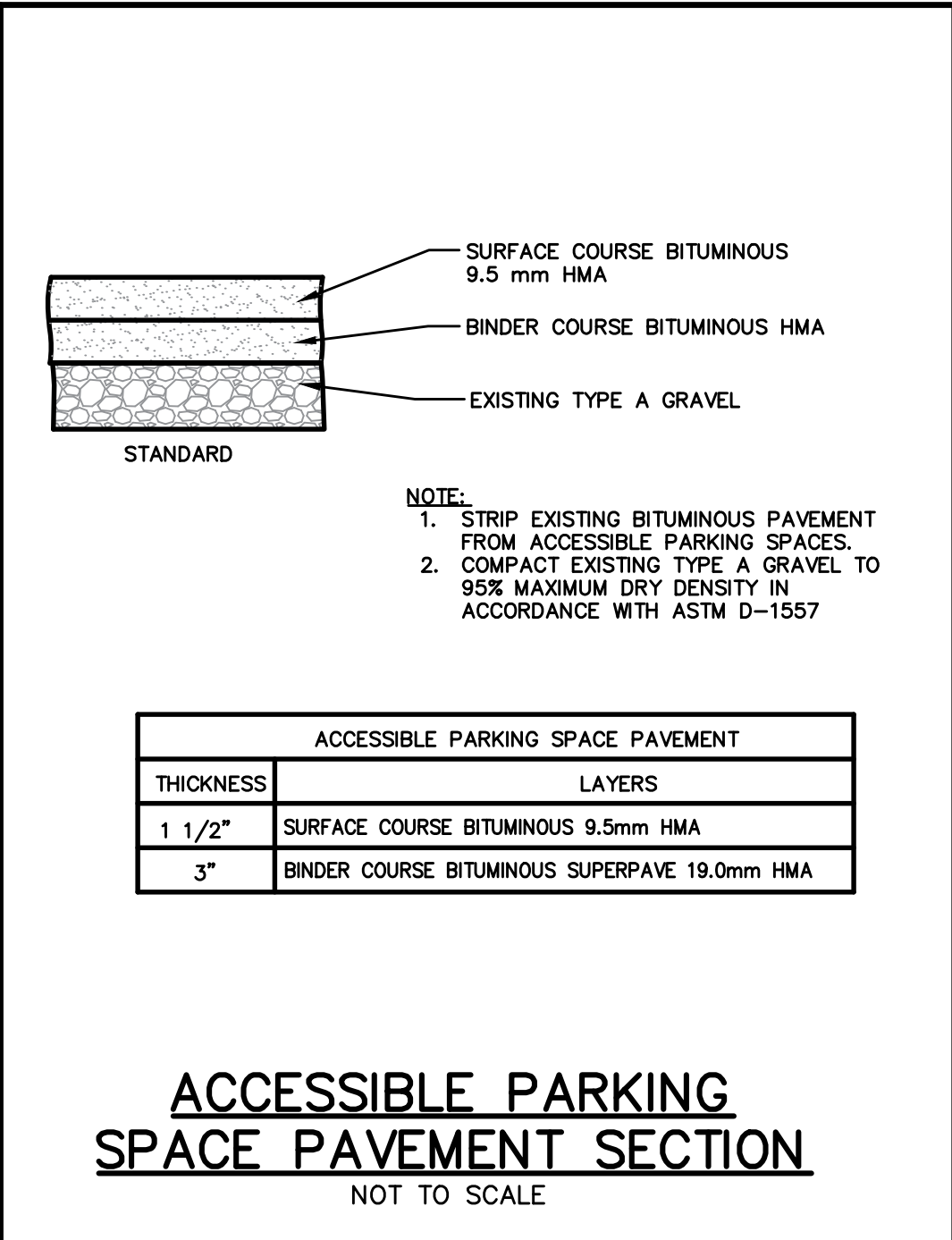
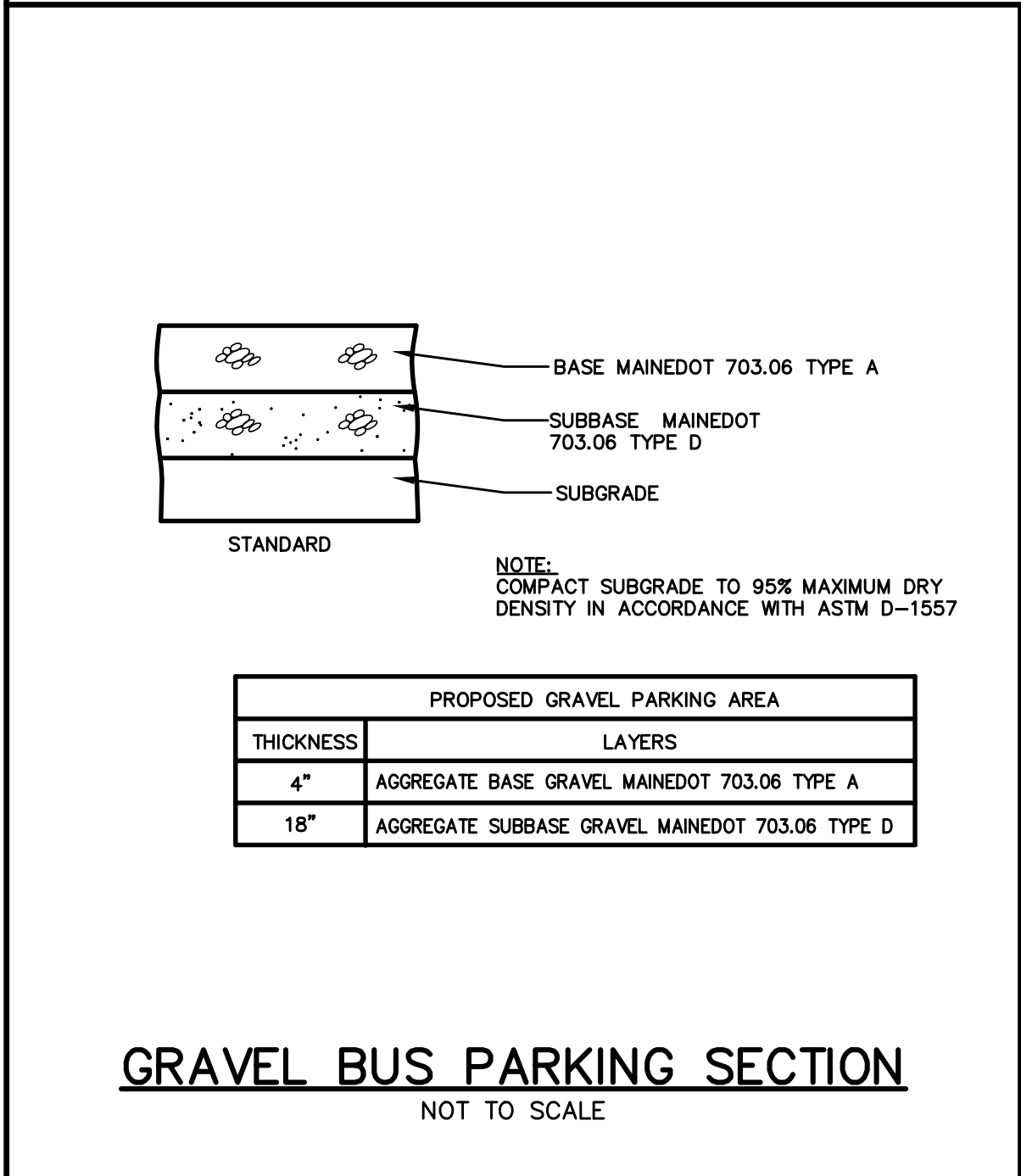
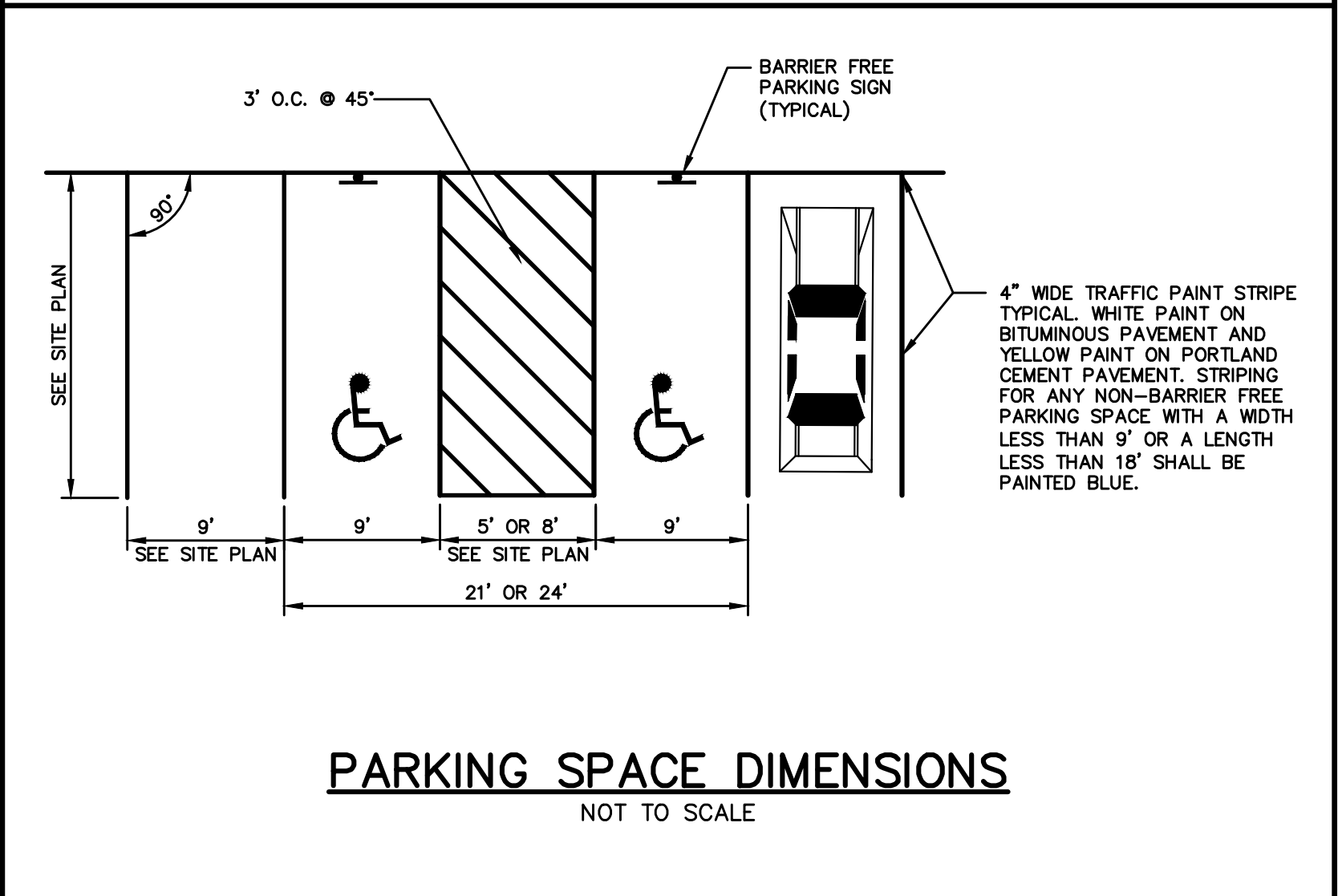
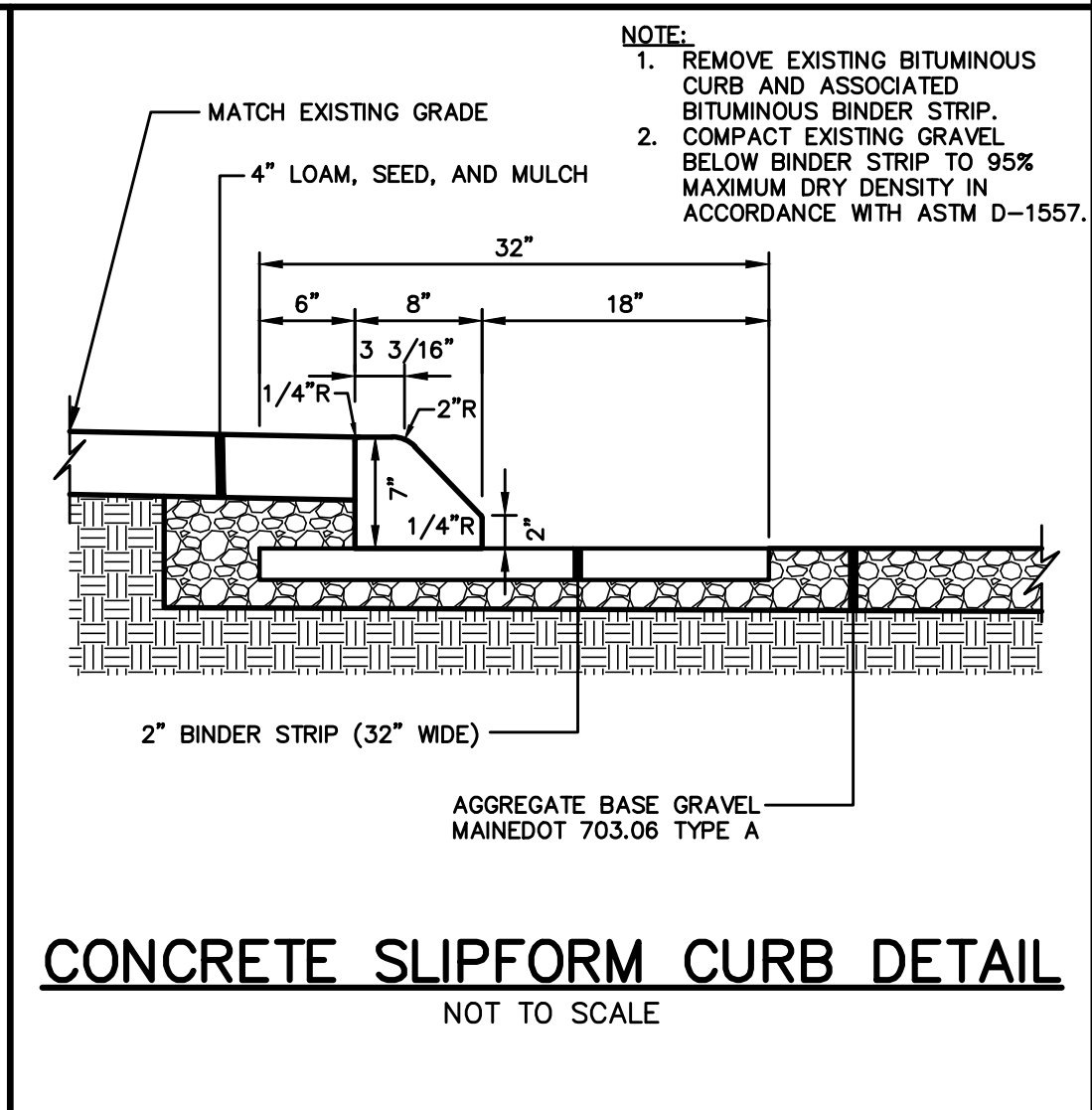
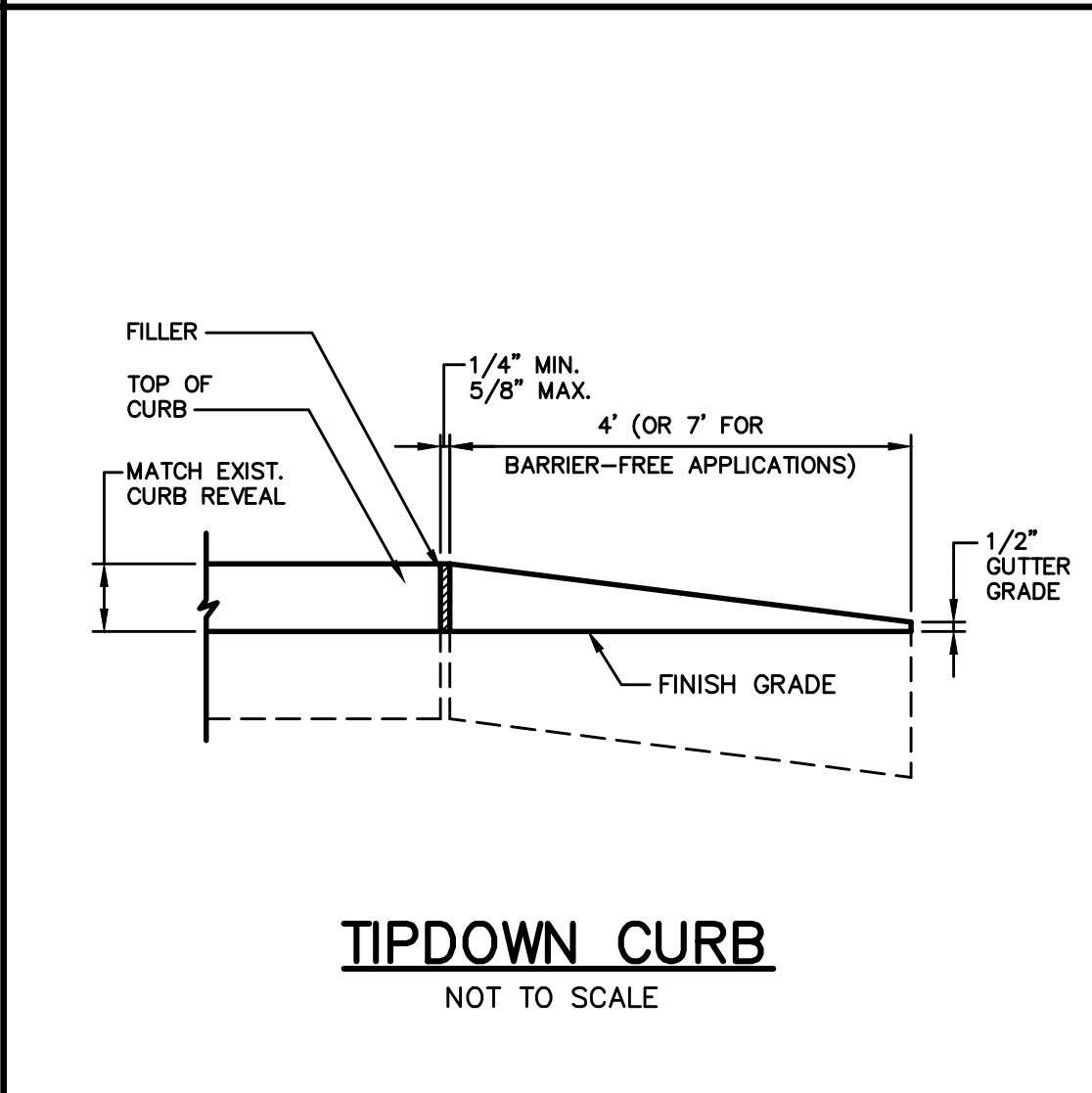
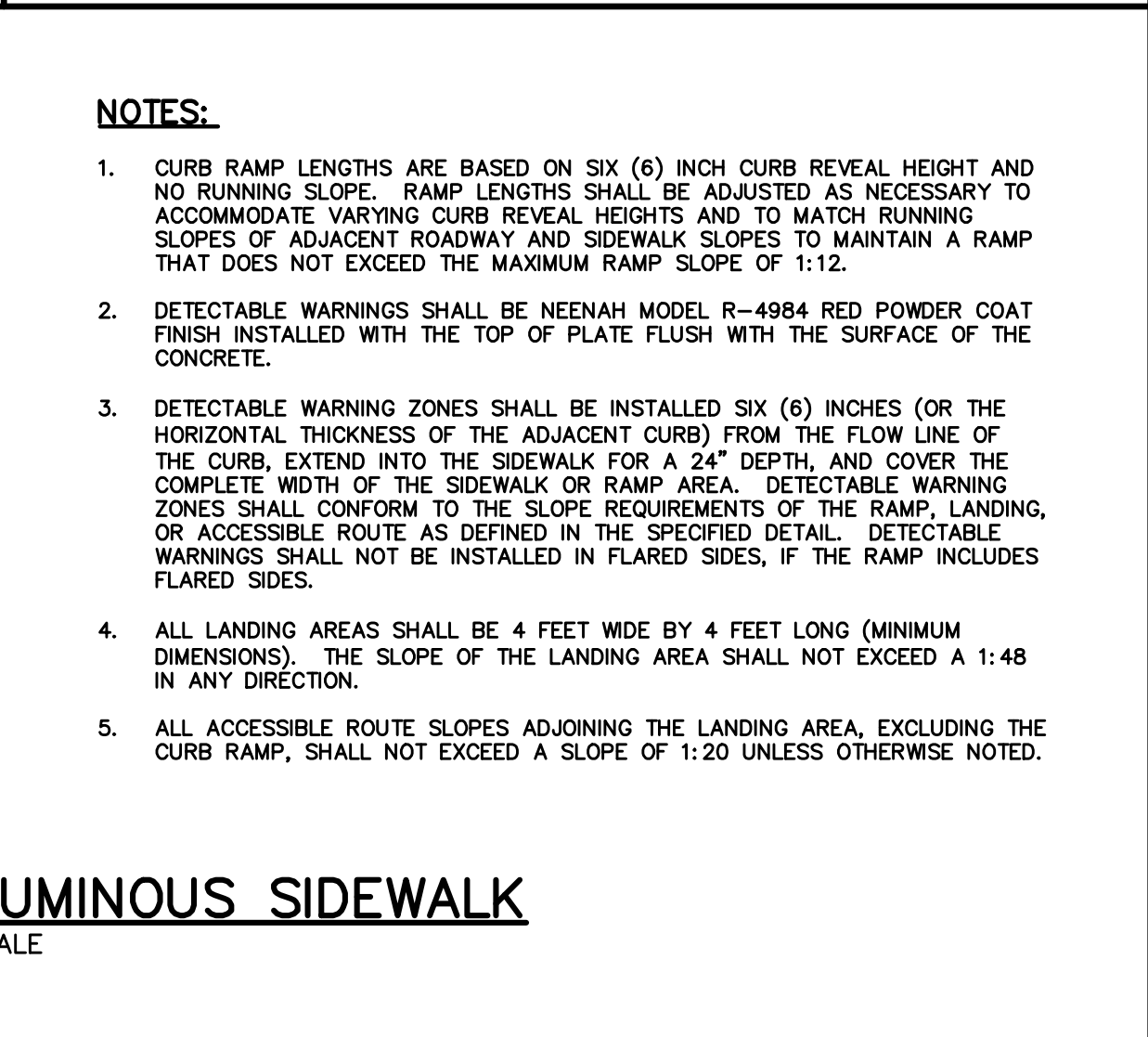
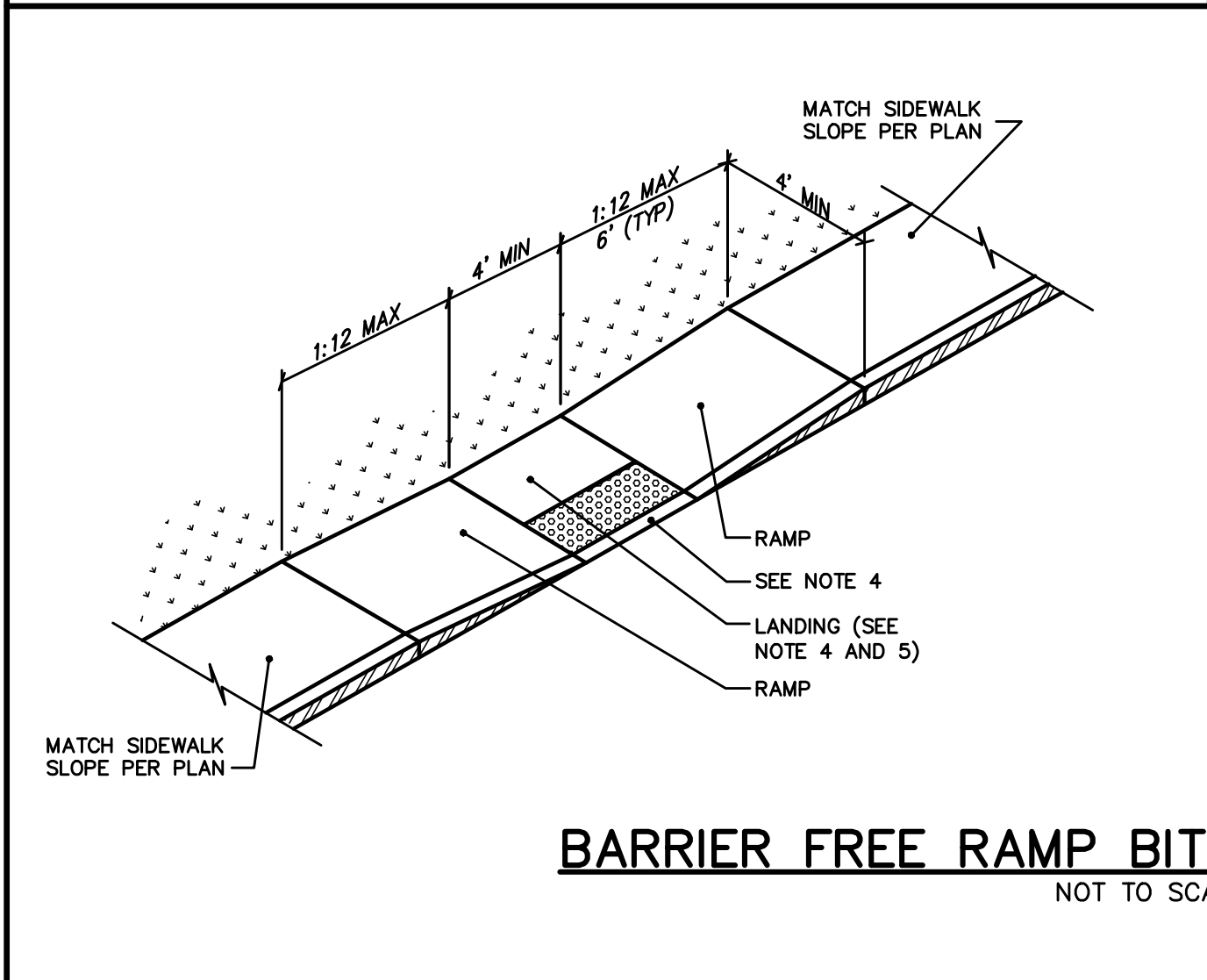
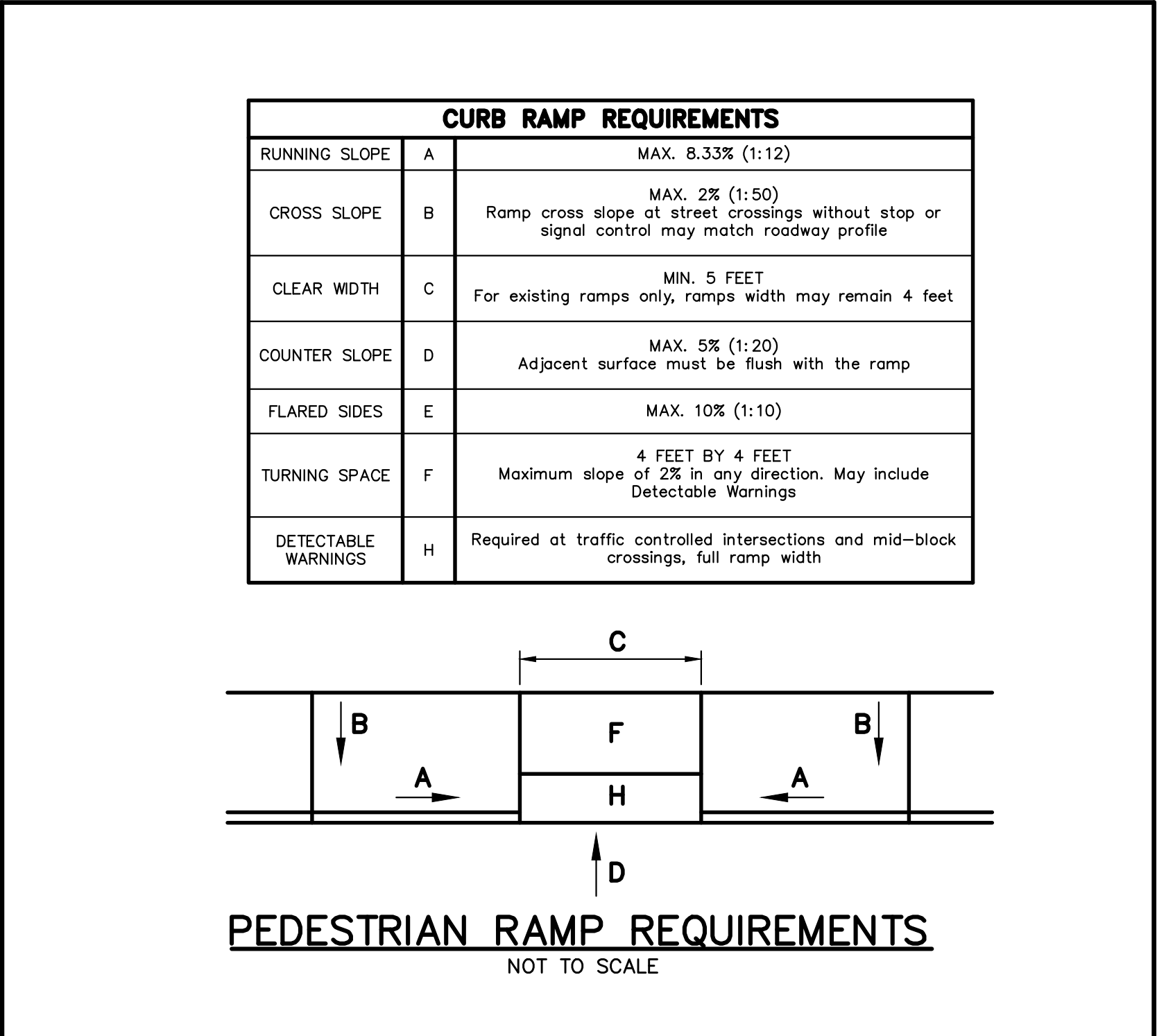
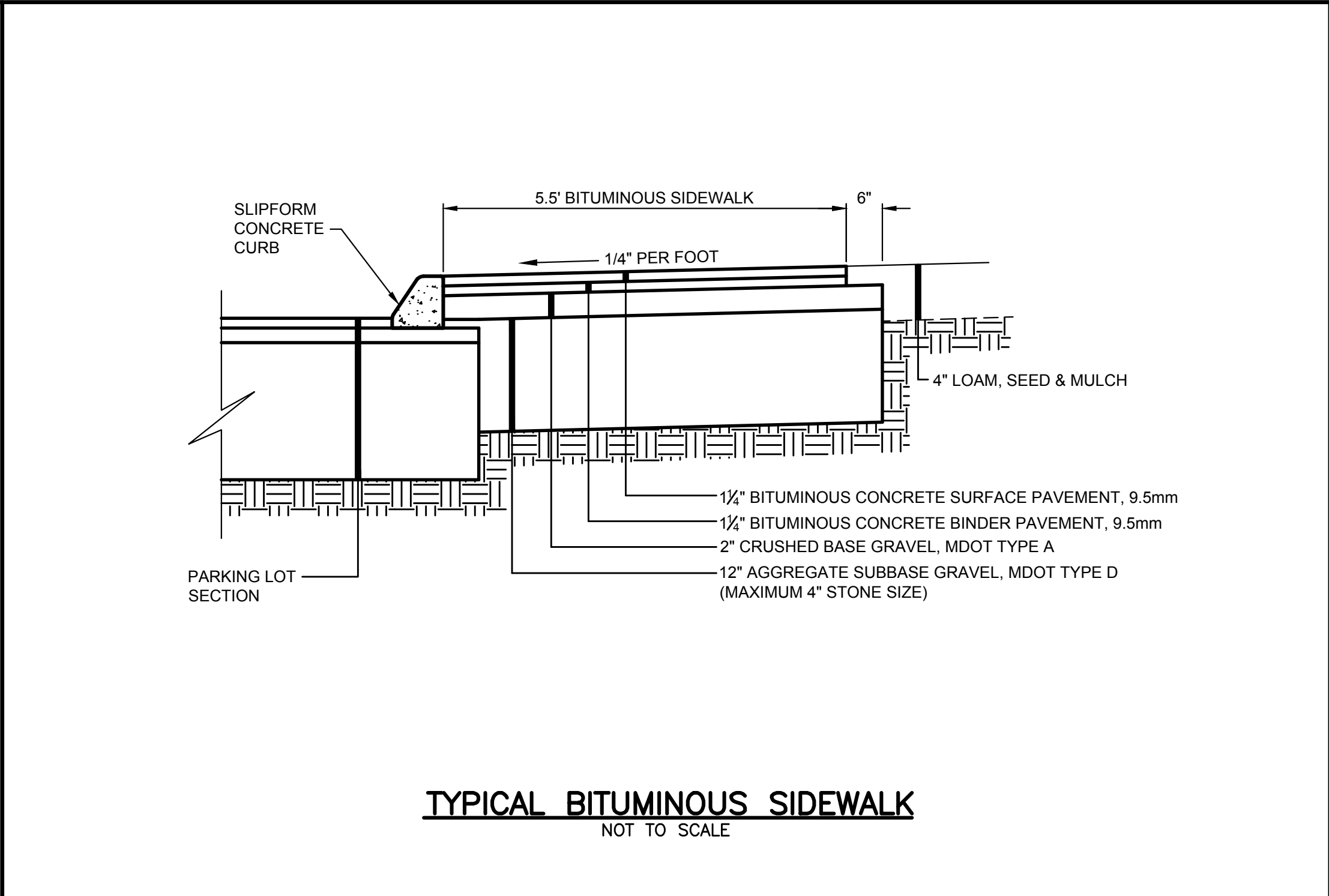
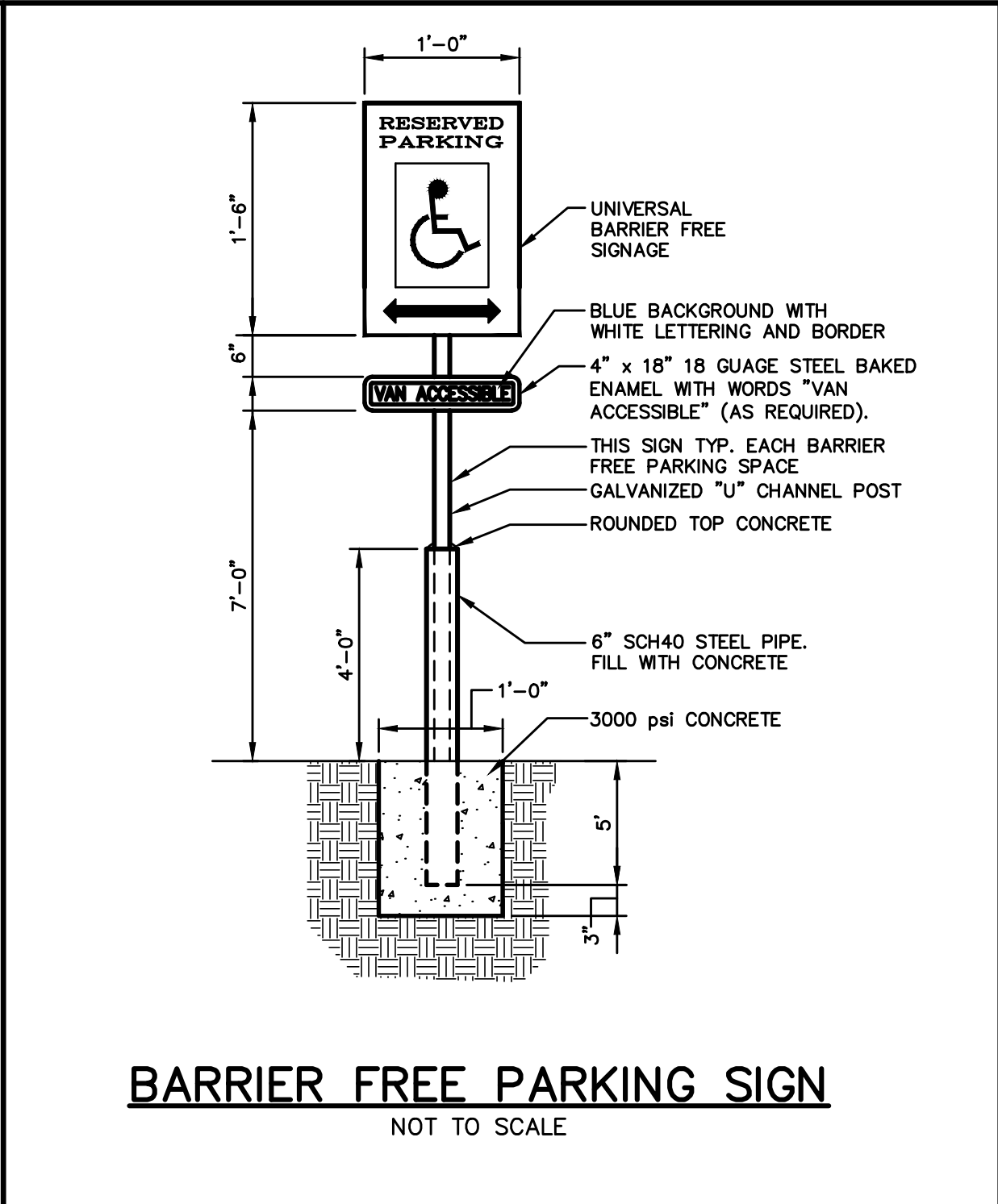
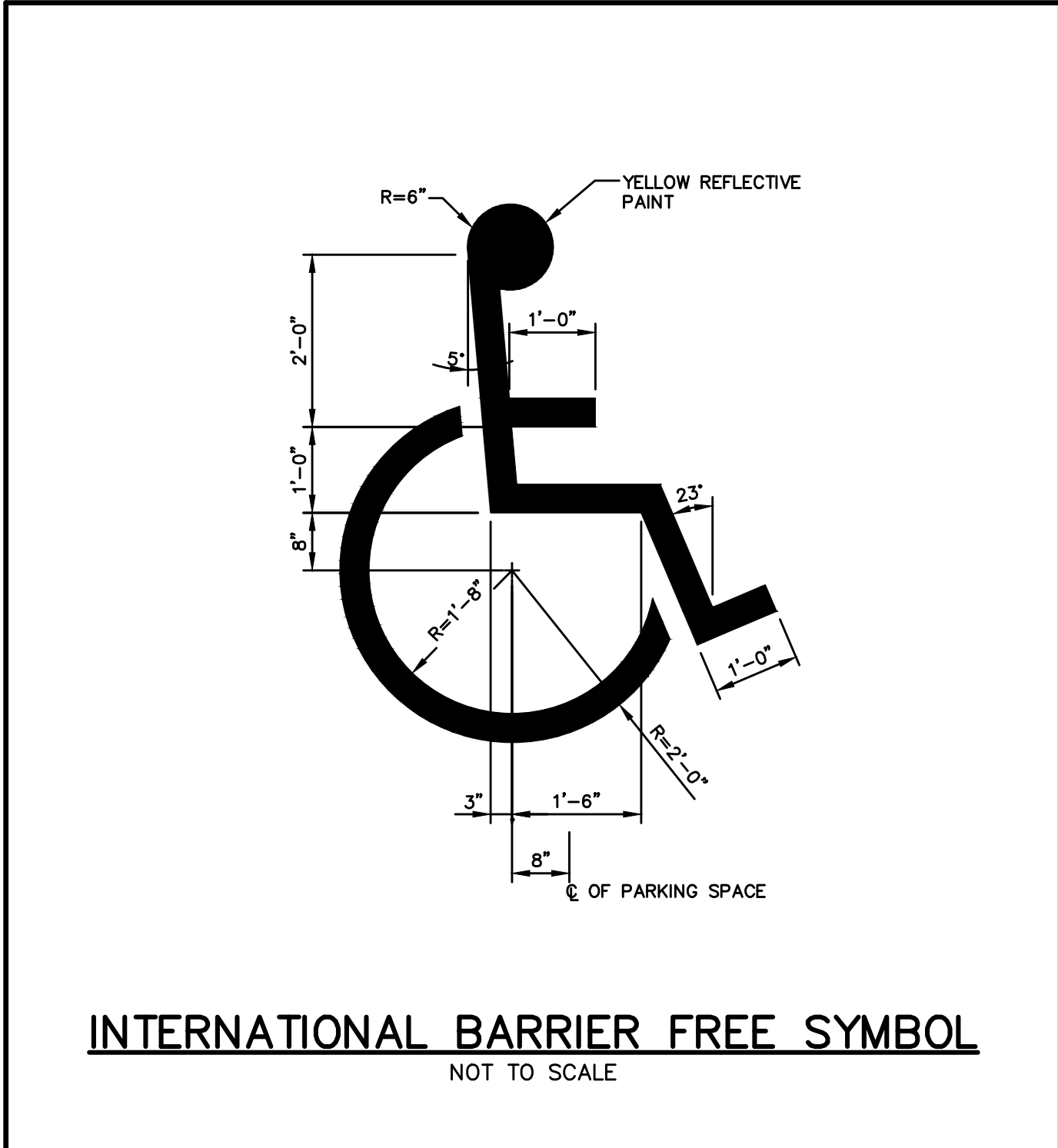


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Drawing Name:	Bathhouse Improvements
Project:	Wolfe's Neck Woods State Park Freeport, Maine
Client:	Department of Agriculture, Conservation & Forestry 16 Elkins Lane, Harlow Building, Augusta, ME 04333

Drawing No.
C105


U:\Vopion Thompson Architects\4214_KTA_Wolfe's Neck State Park\4 - CAD\DWG\4214-DETAILS.dwg 10/10/2024 3:04 PM



Rev.	Date	Revision
1	10/10/24	ADD DEMOLITION PLAN (C102)

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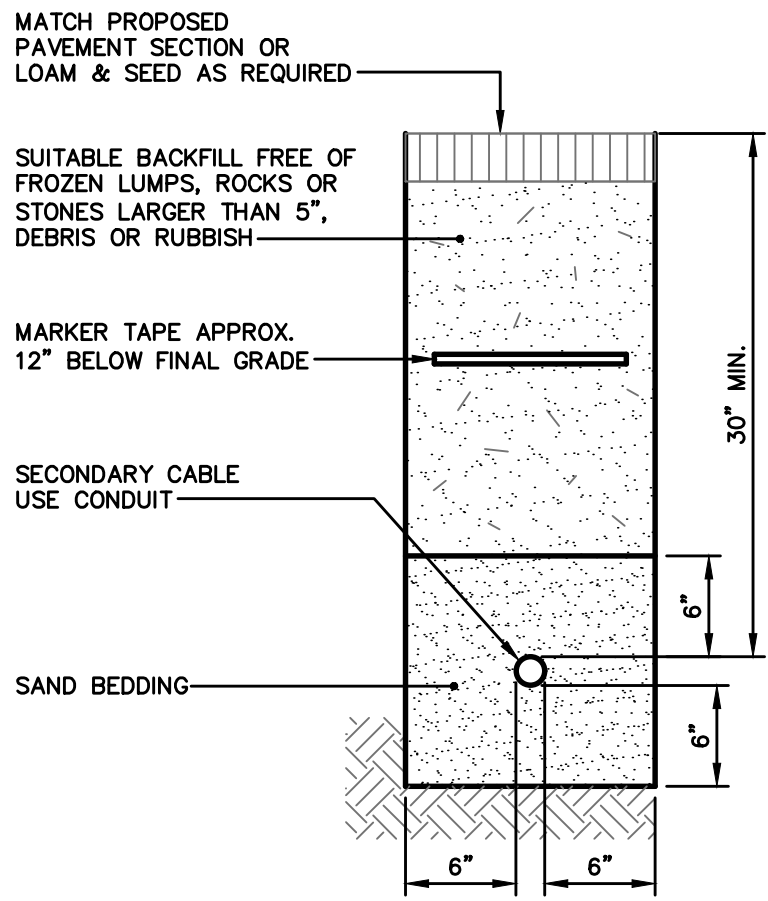
GORRILL PALMER
An LJB Engineering Company

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GorrillPalmer.com
(207) 772-2515
300 Southborough Drive - Suite 200
South Portland, ME 04106

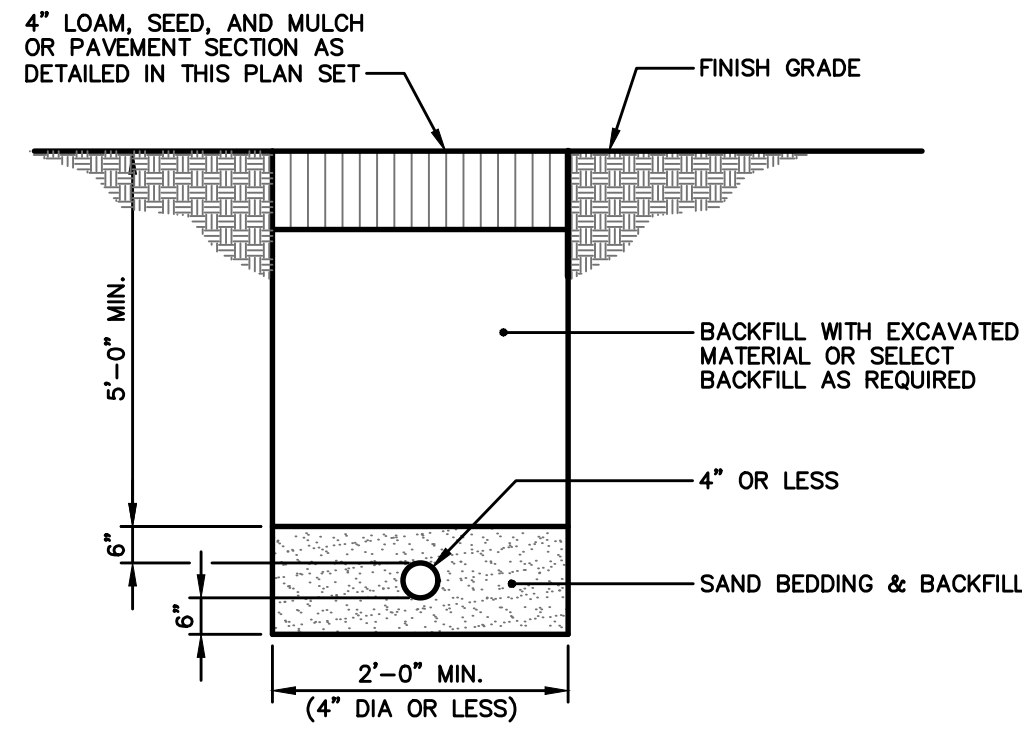
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Project:	Wolfe's Neck Woods State Park Freeport, Maine
Client:	Department of Agriculture, Conservation & Forestry 16 Elkins Lane, Harlow Building, Augusta, ME 04333

Drawing No.

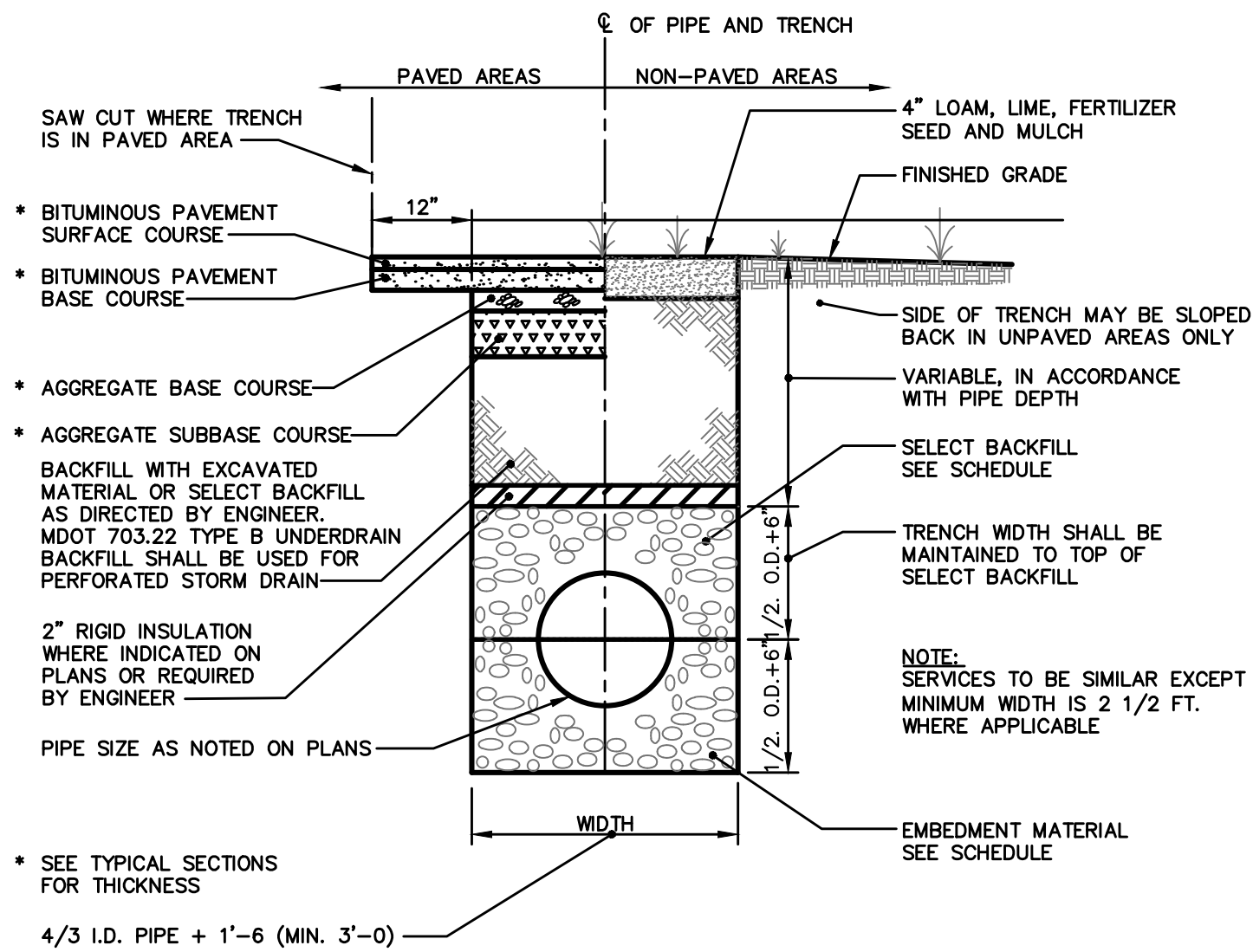
C201



SECONDARY ELECTRICAL TRENCH
NOT TO SCALE



WATER SERVICE TRENCH SECTION
NOT TO SCALE

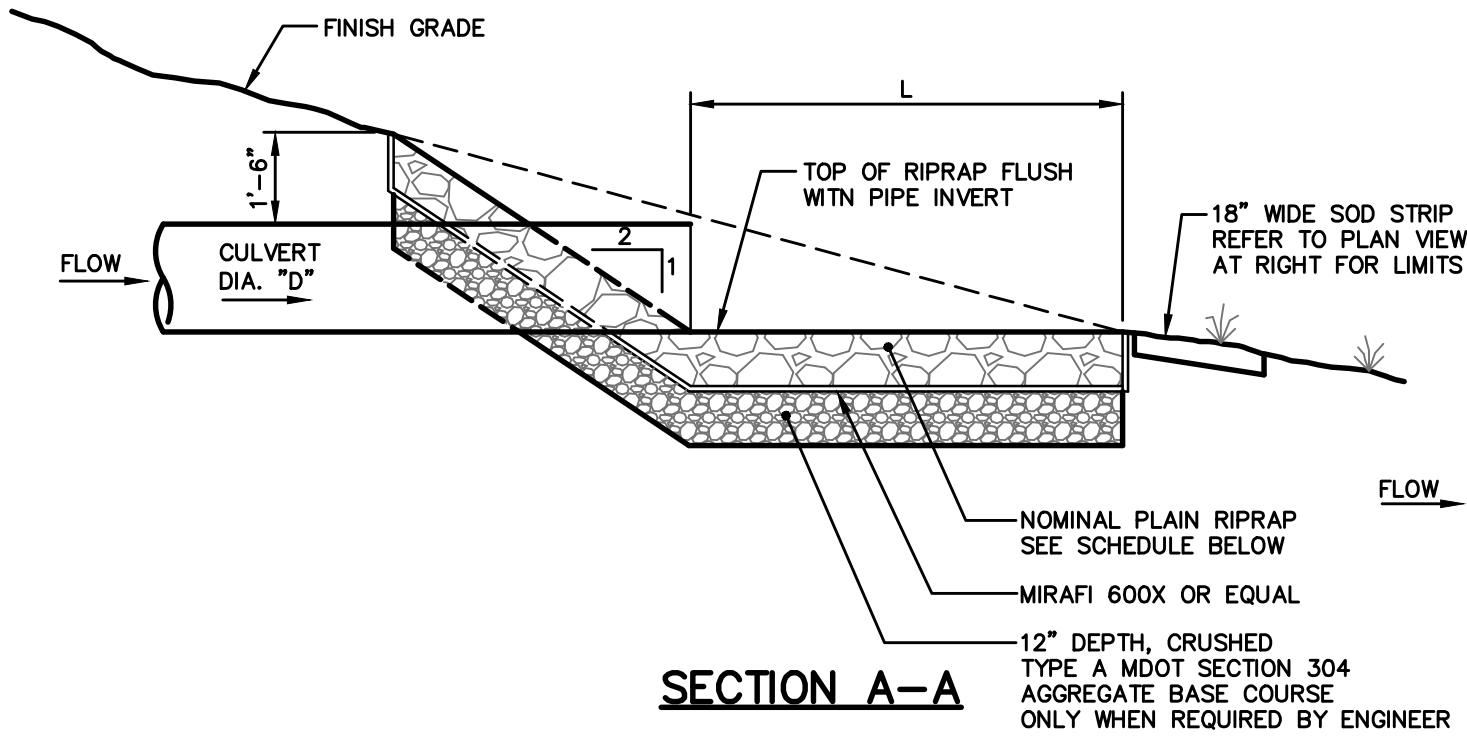


TRENCH SECTION
N.T.S.

SCHEDULE OF TRENCH BACKFILL		
TYPE OF PIPE	EMBEDMENT MATERIAL	SELECT BACKFILL
CMP DUCTILE IRON RCP	MDOT 703.22 TYPE B UD BACKFILL	MDOT 703.22 TYPE B UD BACKFILL
PVC-SDR 35 HDPE	MDOT 703.22 TYPE C 3/4" CRUSHED STONE	MDOT 703.22 TYPE B UD BACKFILL
PERFORATED PVC-SDR35 HDPE	MDOT 703.22 TYPE C 3/4" CRUSHED STONE	MDOT 703.22 TYPE C 3/4" CRUSHED STONE

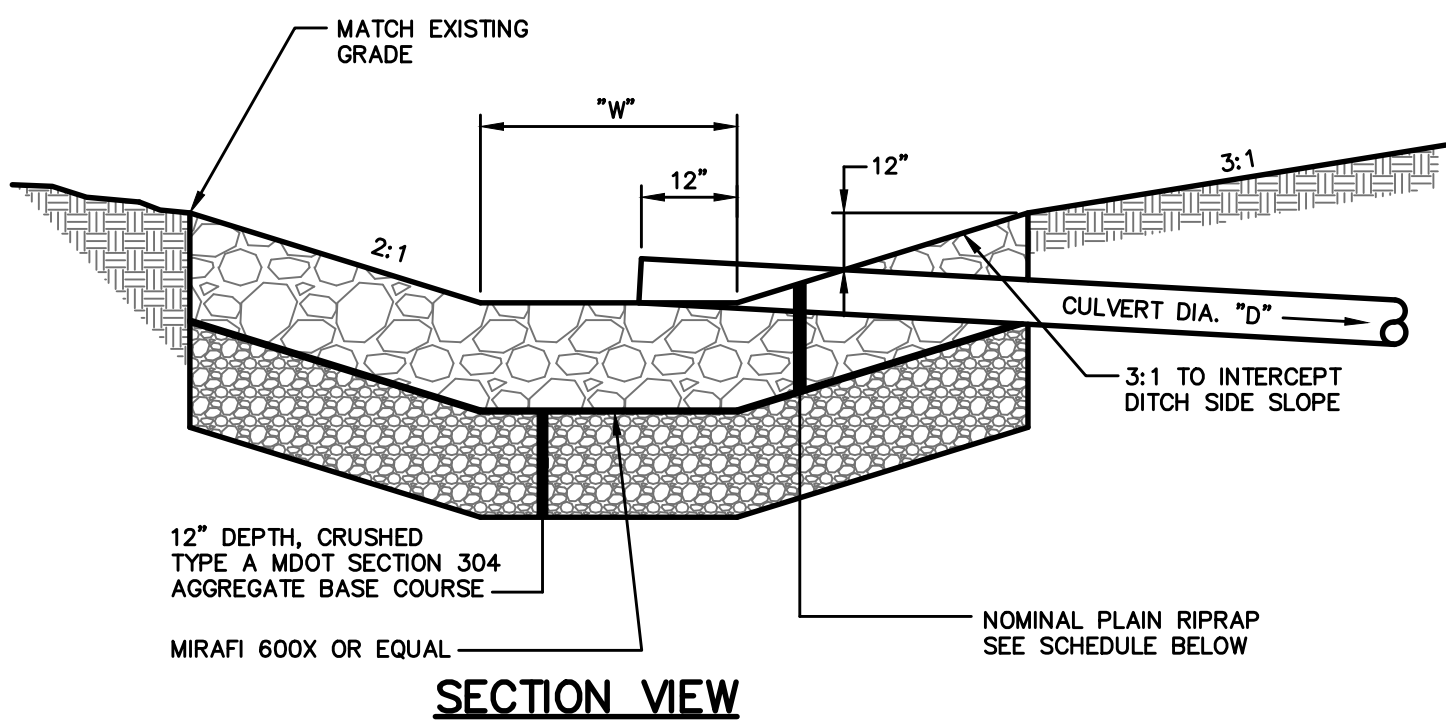
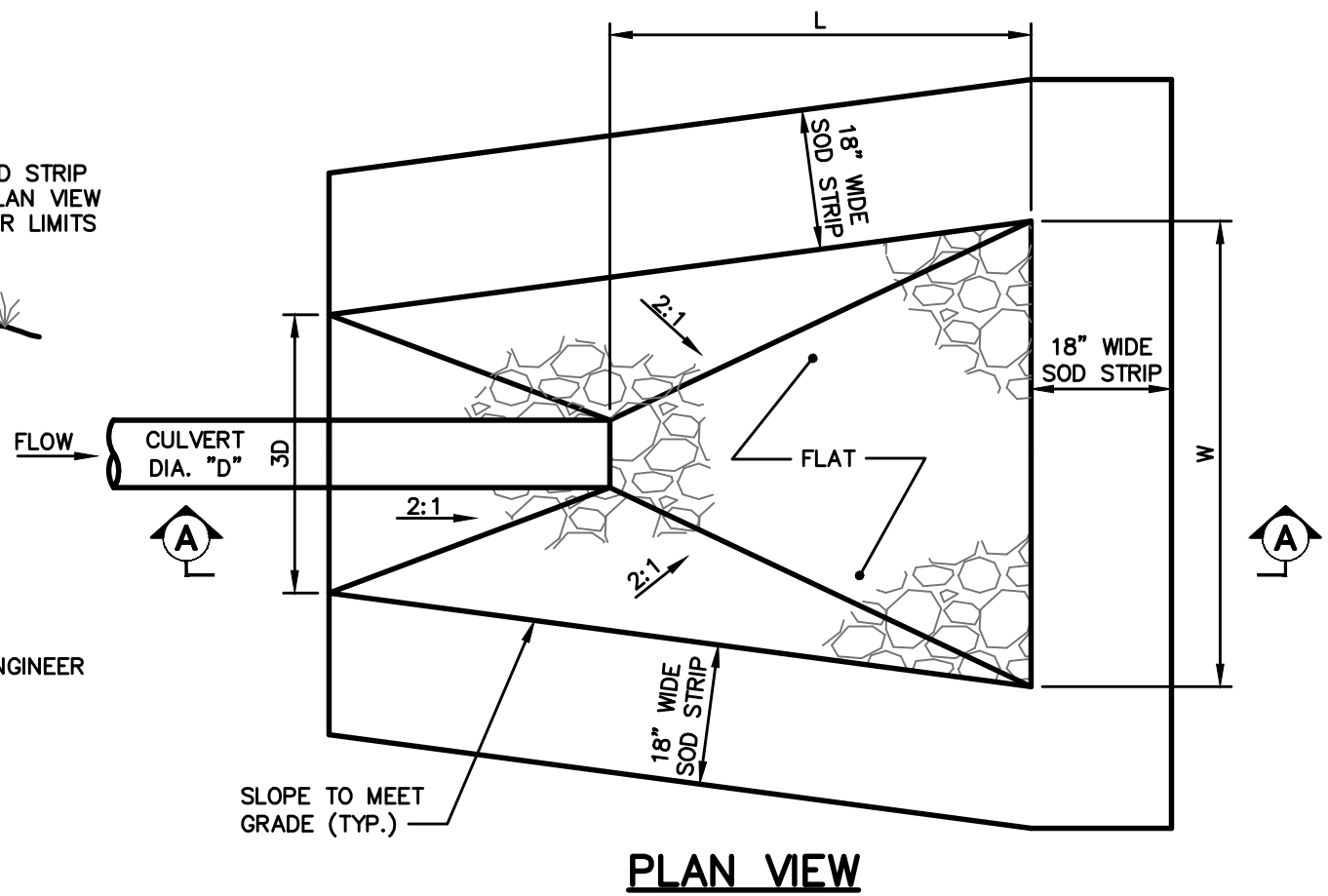
- NOTE:
- BRACING AND SHEETING OR OTHER TRENCH PROTECTION TO BE PROVIDED TO MEET APPLICABLE STATE AND O.S.H.A. SAFETY STANDARDS. ALL SUCH TRENCH PROTECTION TO BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - INSTALL WARNING TAPE DIRECTLY ABOVE UTILITIES, 12" BELOW FINISH GRADE.

MINIMUM COVER	PIPE	(1) COVER BETWEEN 2' AND 3' SHALL INCLUDE 4" RIGID INSULATION. COVER BETWEEN 3' AND 4' SHALL INCLUDE 2" RIGID INSULATION.
2'-0"	DRAIN (1)	
3'-0"	WATER	
5'-0"	SEWER	

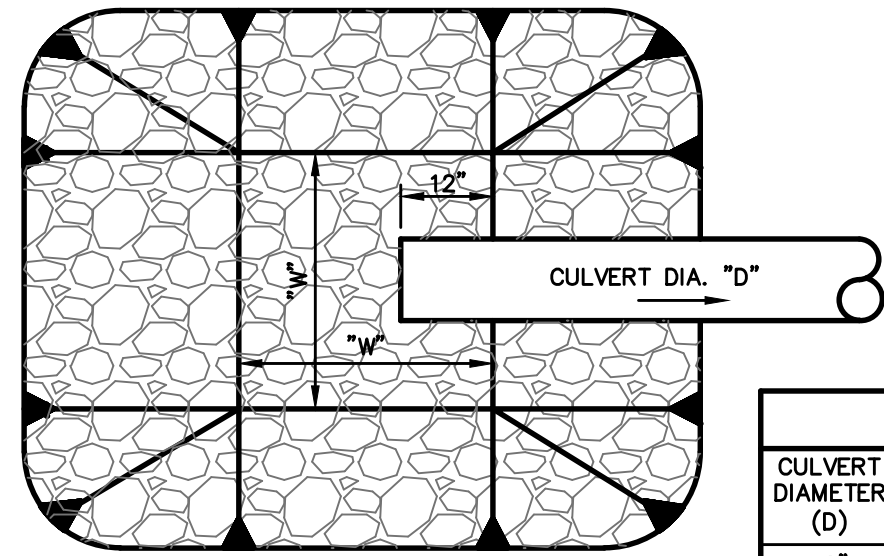


SCHEDULE					
	CULVERT DIAMETER (D)	LENGTH (L)	WIDTH (W)	STONE d50	RIPRAP THICKNESS
OUTLET	12"	7'	5'	8"	18"
OUTLET	24"	7'	5'	8"	18"

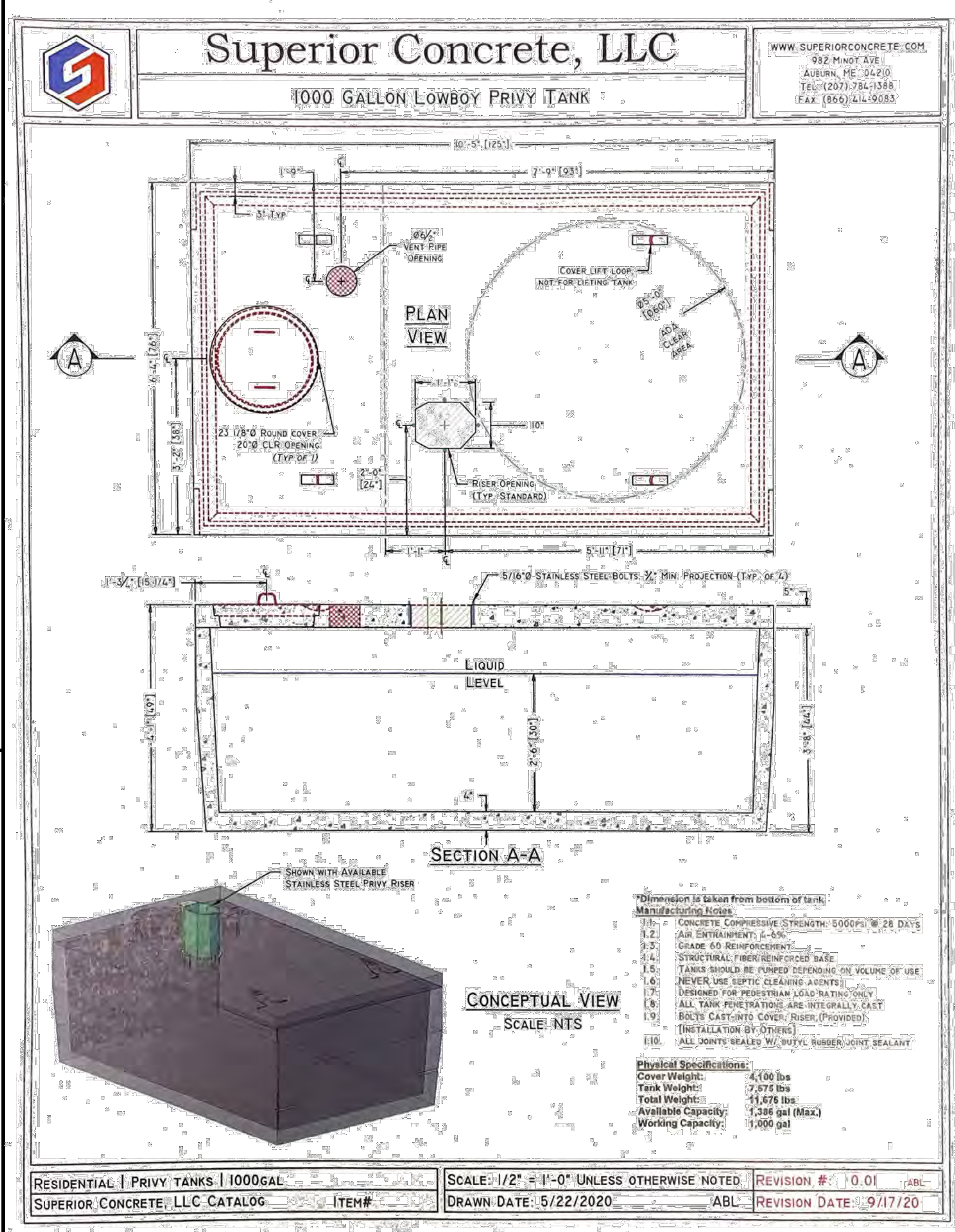
CULVERT OUTLET APRON
NOT TO SCALE



CULVERT INLET APRON
NOT TO SCALE



SCHEDULE			
CULVERT DIAMETER (D)	WIDTH (W)	STONE d50	RIPRAP THICKNESS
12"	5'	8"	18"
24"	10'	8"	18"



U:\Vopion Thompson Architects\4214_KTA_Wolfe's Neck State Park\4 - CAD\DWG\4214-DETAILS.dwg 10/10/2024 3:04 PM

Rev.	Date	Revision
1	10/10/24	ADD DEMOLITION PLAN (C102)

Issued For	Issued By	Date	By
		9/20/24	WCH

Design: BTN	Draft: GJH	Date: SEPT 2024
Checked: WCH	Scale: NTS	Job No.: 4214
File Name: 4214-DETAILS.dwg		
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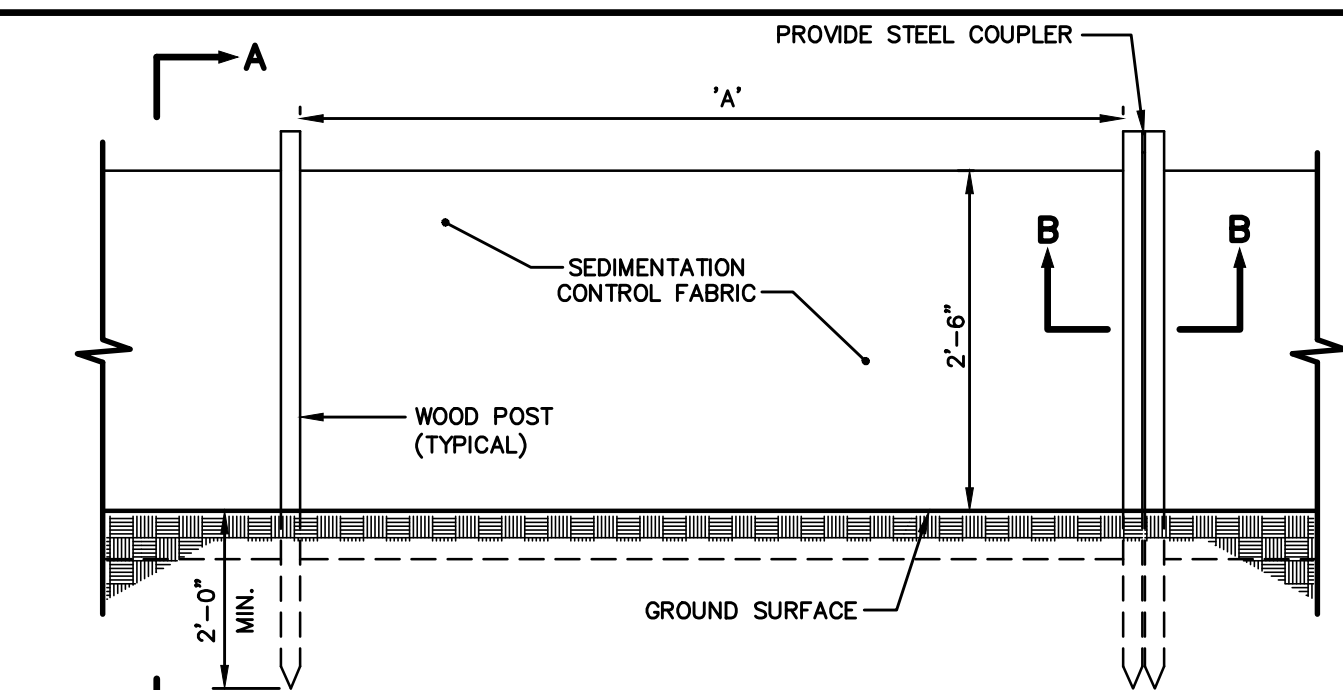


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(207) 772-2515
300 Southborough Drive - Suite 200
South Portland, ME 04106

Drawing Name:	Utility and Drainage Details
Project:	Wolfe's Neck Woods State Park Freeport, Maine
Client:	Department of Agriculture, Conservation & Forestry 16 Elkins Lane, Harlow Building, Augusta, ME 04333

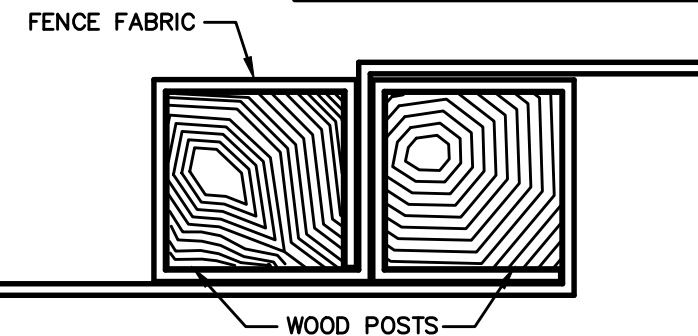
Drawing No.	C202
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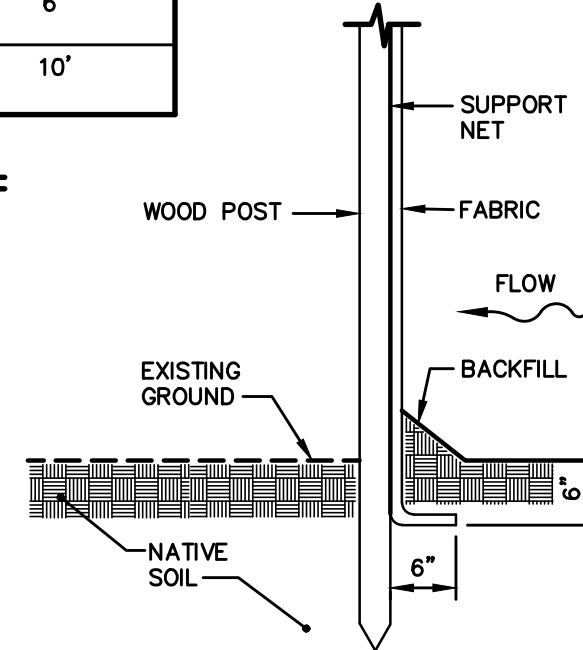


ELEVATION VIEW

SILT FENCE	
SILT FENCE REINFORCEMENT "A"	MAXIMUM SPACING "A"
NONE	6"
WIRE REINFORCEMENT 14 GAUGE, 6" MESH	10'



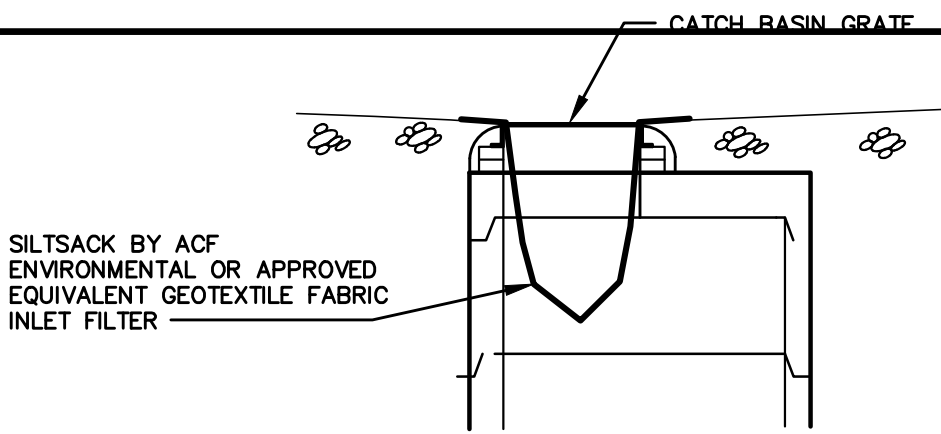
SECTION B-B



SECTION A-A

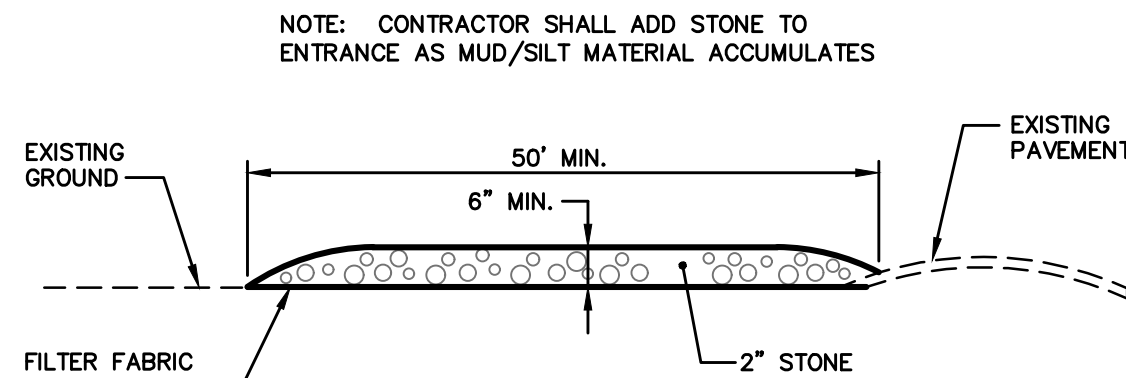
SILTATION FENCE

NOT TO SCALE

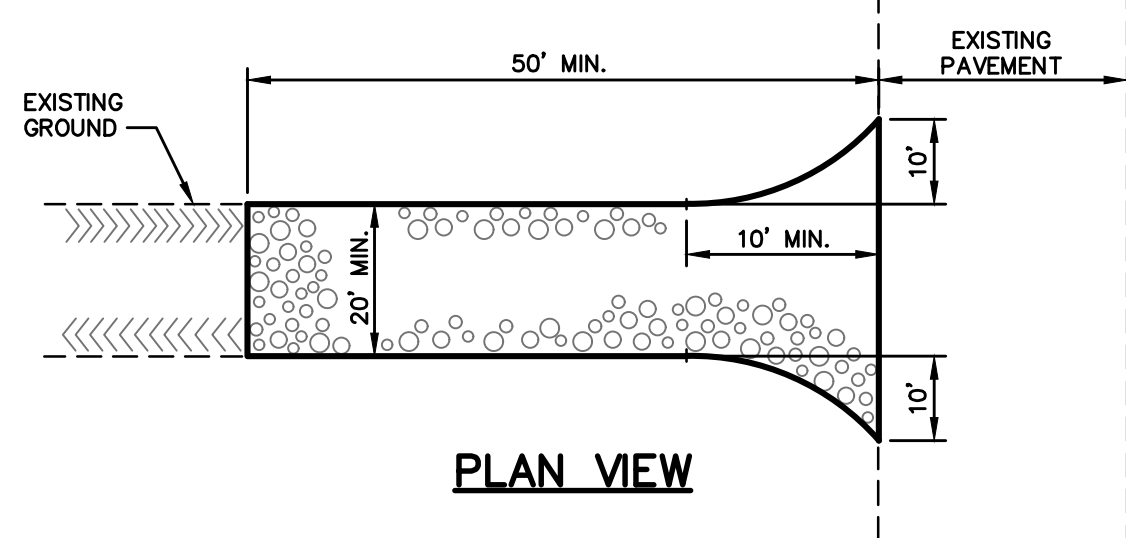


CATCH BASIN INLET FILTER

NOT TO SCALE



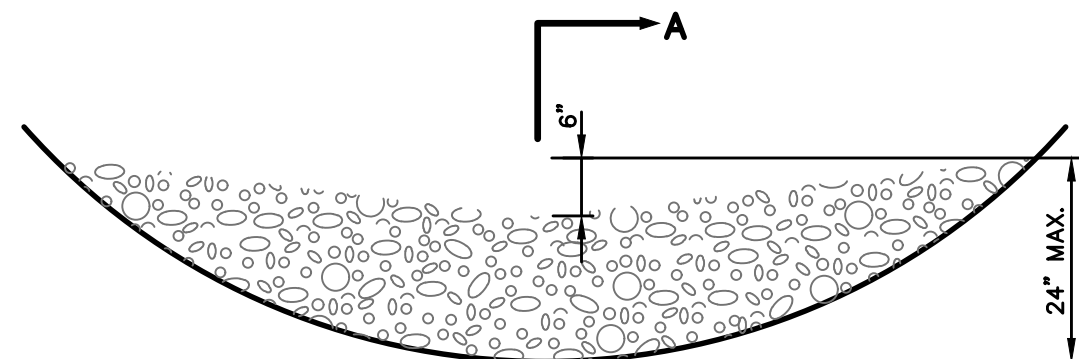
SECTION



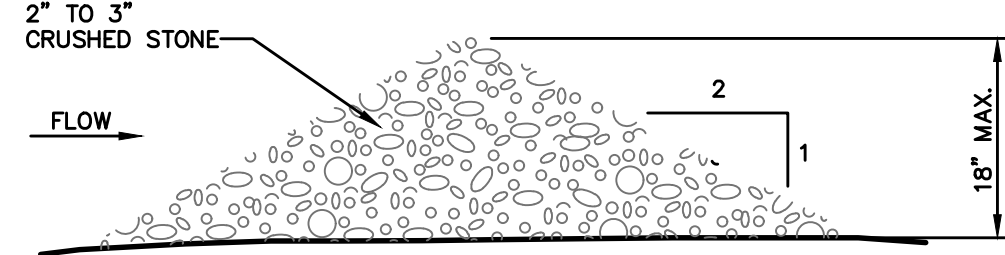
PLAN VIEW

STABILIZED CONSTRUCTION ENTRANCE

NOT TO SCALE



SECTION A-A



L = THE DISTANCE SUCH THAT POINTS A AND B ARE OF EQUAL ELEVATION

SPACING BETWEEN CHECK DAMS

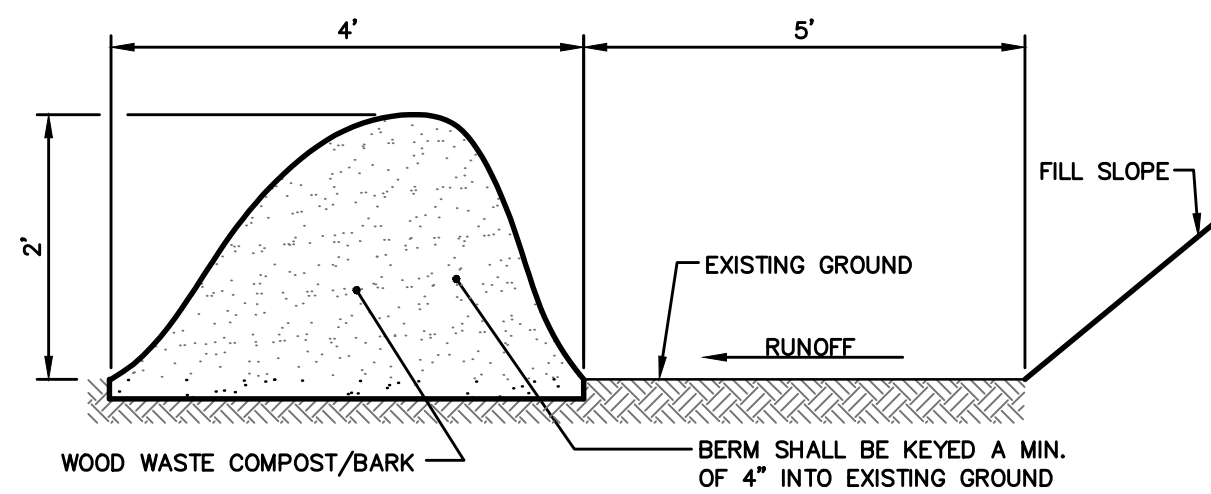
S_o (FT./FT.)	(FT.)
0.020	75
0.030	50
0.040	40
0.050	30
0.060	20
0.100	10

STONE CHECK DAM

NOT TO SCALE

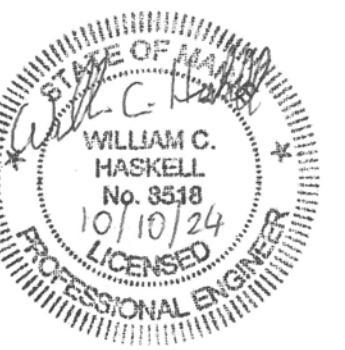
NOTES:

- THE WOOD WASTE COMPOST/BARK MIX SHALL CONFORM TO THE FOLLOWING STANDARDS:
 - MOISTURE CONTENT - 30-60%.
 - pH - 5.0 - 8.0.
 - SCREEN SIZE - 100% LESS THAN 3", MAX. 70% LESS THAN 1".
 - NO LESS THAN 40% ORGANIC MATERIAL (DRY WEIGHT) BY LOSS OF IGNITION.
 - NO STONES LARGER THAN 2" IN DIAMETER.
 - SILTS, CLAYS OR SUGAR SANDS ARE NOT ACCEPTABLE IN THE MIX.
- THE COMPOST BERM SHALL BE PLACED, UNCOMPACTED, ALONG A RELATIVELY LEVEL CONTOUR.
- THE WOOD WASTE COMPOST/BARK FILTER BERM MAY BE USED IN LIEU OF SILTATION FENCE, AT THE TOE OF SHALLOW SLOPES, ON FROZEN GROUND, LEDGE OUT CROPS, VERY ROOTED FORESTED AREA OR AT THE EDGE OF GRAVEL PARKING AREAS.
- BERMS SHALL REMAIN IN PLACE UNTIL UPSTREAM AREA IS COMPLETED OR 70% CATCH OF VEGETATION IS ATTAINED. BERMS SHALL BE REMOVED BY SPREADING SUCH THAT NATIVE EARTH CAN BE SEEN BELOW.
- WOODWASTE COMPOST BARK FILTER SHALL NOT BE USED IN WETLAND AREAS.



WOOD WASTE COMPOST/BARK
FILTER BERM DETAIL

NOT TO SCALE



Rev.	Date	Revision
1	10/10/24	ADD DEMOLITION PLAN (C102)

Issued For	Date	By
Issued for Bidding	9/20/24	WCH

Design: BTN	Draft: GJH	Date: SEPT 2024
Checked: WCH	Scale: NTS	Job No.: 4214
File Name: 4214-DETAILS.dwg		
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GorriilPalmer.com
(207) 772-2515
300 Southborough Drive - Suite 200
South Portland, ME 04106

Drawing Name:	Erosion Control Details
Project:	Wolfe's Neck Woods State Park Freeport, Maine
Client:	Department of Agriculture, Conservation & Forestry 16 Elkins Lane, Harlow Building, Augusta, ME 04333

Drawing No.

C203

MECHANICAL SCHEDULES

FAN SCHEDULE													<div>EF X</div>	REQUIRES ELECTRICITY
TAG No.	MANUFACTURER (AS STANDARD)	MODEL NO. (AS STANDARD)	TYPE	LOCATION(S) SERVED	FAN DATA			ELECTRICAL DATA				REMARKS		
					MIN. AIRFLOW (CFM)	ESP ("W.C.)	RPM	VOLTS	PHASE	HZ	AMPS		MOTOR POWER (H.P.)	
EF-1	GREENHECK	SQ-100-VG	EXHAUST	BATHHOUSE	700	0.5	1276	115	1	60	-	1/4	PROVIDE SPRING VIBRATION ISOLATION. DISCONNECT SWITCH. VARIABLE SPEED MOTOR WITH SPEED DIAL CONTROL. UNIT TO OPERATE VIA WALL MOUNTED MECHANICAL TIMECLOCK SWITCH LOCATED IN BATHHOUSE MECHANICAL ROOM. INTERLOCK WITH INTAKE AND EXHAUST LOUVER CONTROL DAMPERS.	

LOUVER SCHEDULE

LV

X

DOES NOT REQUIRE
ELECTRICITY

TAG No.	QTY.	MANUFACTURER (AS STANDARD)	MODEL NO. (AS STANDARD)	SYSTEM SERVED	FREE AREA (SQF)	DIMENSIONS (W X H)	REMARKS
LV-1	2	RUSKIN	ELF30V	SEE PLANS	0.72	18"x18"	[1] [2] [3] [4] [5] [6]

NOTES:

1)

LOUVER TO BE PROVIDED BY MECHANICAL CONTRACTOR AND INSTALLED BY GENERAL CONTRACTOR.

2)

MECHANICAL CONTRACTOR SHALL COORDINATE LOUVER MOUNTING REQUIREMENTS WITH GC PRIOR TO INSTALL.

3)

COORDINATE LOUVER FINISH COLOR WITH ARCHITECT.

4)

PROVIDE WITH BIRD / INSECT SCREEN.

HVAC POWER EQUIPMENT SCHEDULE										
TAG NO.	DESCRIPTION	LOCATION	MANUFACTURER (AS STANDARD)	MODEL No. (AS STANDARD)	SERVING EQUIPMENT TAG	FIRE ALARM CONNECTION	ELECTRICAL DATA			REMARKS
							VOLTS	PHASE	HZ	
M	AUTOMATIC CONTROL / MOTORIZED DAMPER	SEE PLANS	-	-	-	NO	120	1	60	PROVIDE MODULATING OPERATION ACTUATORS (0-10 V) FOR ALL MOTORIZED DAMPERS

TAG No.	MANUFACTURER (AS STANDARD)	MODEL NO. (AS STANDARD)	SYSTEM SERVED	CFM RANGE	NECK SIZE	FRAME TYPE	MOUNTING	MATERIAL	DAMPER	FINISH	MAX NC LEVEL	MAX NECK VELOCITY (FPS)	REMARKS
ER1	PRICE	630	EXHAUST	0-100	6"X6"	SQUARE/RECTANGLE	EXPOSED	ALUMINUM	YES	BY ARCH	20	500	[1] [2] [3] [4] [5] [6]
EG1	PRICE	630	EXHAUST	0-140	10"X6"	SQUARE/RECTANGLE	SIDEWALL	ALUMINUM	YES	BY ARCH	20	500	[1] [2] [3] [4] [5] [6]

NOTES:

- COORDINATE MOUNTING REQUIREMENTS WITH ARCHITECTURAL REFLECTED CEILING PLANS.
- PROVIDE FRAME SUITABLE FOR SURFACE MOUNTING, CEILING OR SIDEWALL.
- PROVIDE SQUARE TO ROUND TRANSITIONS WHERE NEEDED.
- REFER TO DRAWINGS FOR NECK SIZES & CFM UNLESS NOTED ABOVE.
- PROVIDE VOLUME DAMPER FOR BALANCING AT BRANCH TAKEOFF.
- PROVIDE OPPOSED BLADE DAMPERS FOR BALANCING ACCESSIBLE AT REGISTER / GRILLE / DIFFUSER FACE.

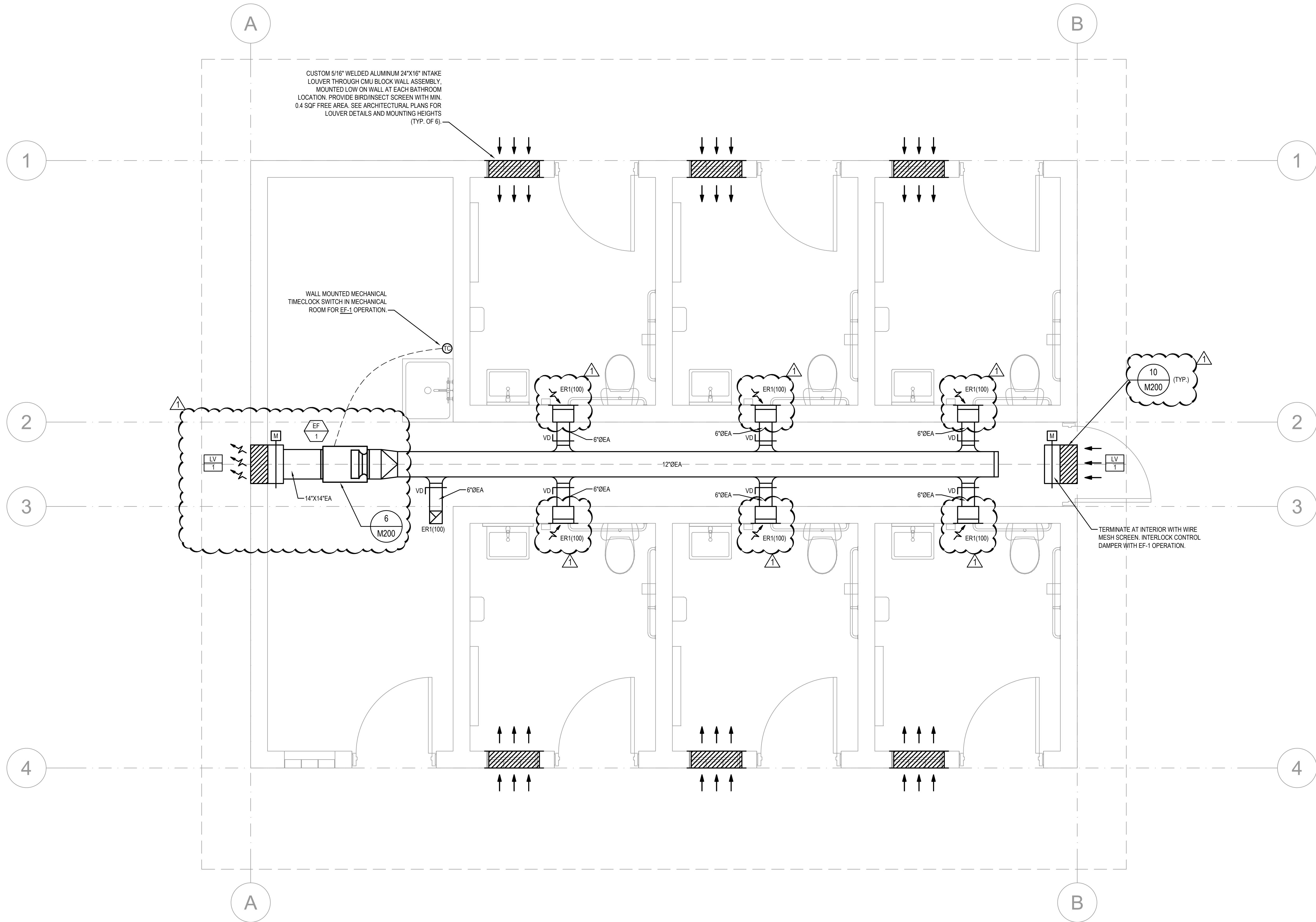
REGISTER, GRILLE, AND DIFFUSER (RGD) NOMENCLATURE:

SD1 [250] — TAG AS INDICATED ON PLANS

— FLOW RATE (CFM)

— SYMBOL

File: J:\DWG\2024\10\149\A10\MEP\Mechanical\2024\10\149\A10_M100 Bathhouse.dwg Layout: M-101 Plotted: 2024-10-11 12:23 PM Saved: 2024-10-11 12:20 PM User: Christopher Vilk
MS VIEW: LAYER STATE: PC3: NONE STB/CTB: FOSTB



1 MECHANICAL BATHHOUSE FLOOR PLAN
SCALE: 1/2" = 1'-0"

- MECHANICAL PLAN NOTES:
1. REFER TO MECHANICAL SPECIFICATIONS FOR FURTHER DETAILS.
 2. COORDINATE ALL EQUIPMENT LOCATIONS WITH EC IN FIELD PRIOR TO INSTALLATION.
 3. INSTALL EQUIPMENT AND SYSTEMS PER CODE AND PER MANUFACTURER'S INSTRUCTIONS.
 4. ALL DIMENSIONS AND LOCATIONS ARE APPROXIMATE. CONTRACTOR TO INSPECT AND VERIFY ALL INFORMATION IN FIELD AND INFORM THE ENGINEERS OF ANY DISCREPANCIES IN WRITING IMMEDIATELY.

No.	DATE	ADDENDUM #1	DESCRIPTION	DESIGNER REVIEWER
1	10/11/2024			

SCALE:	HORZ.:	VERT.:
DATUM:	HORZ.:	VERT.:

FUSS & O'NEILL
115 BROAD STREET
BOSTON, MA 02110
617.262.4675
www.foss.com

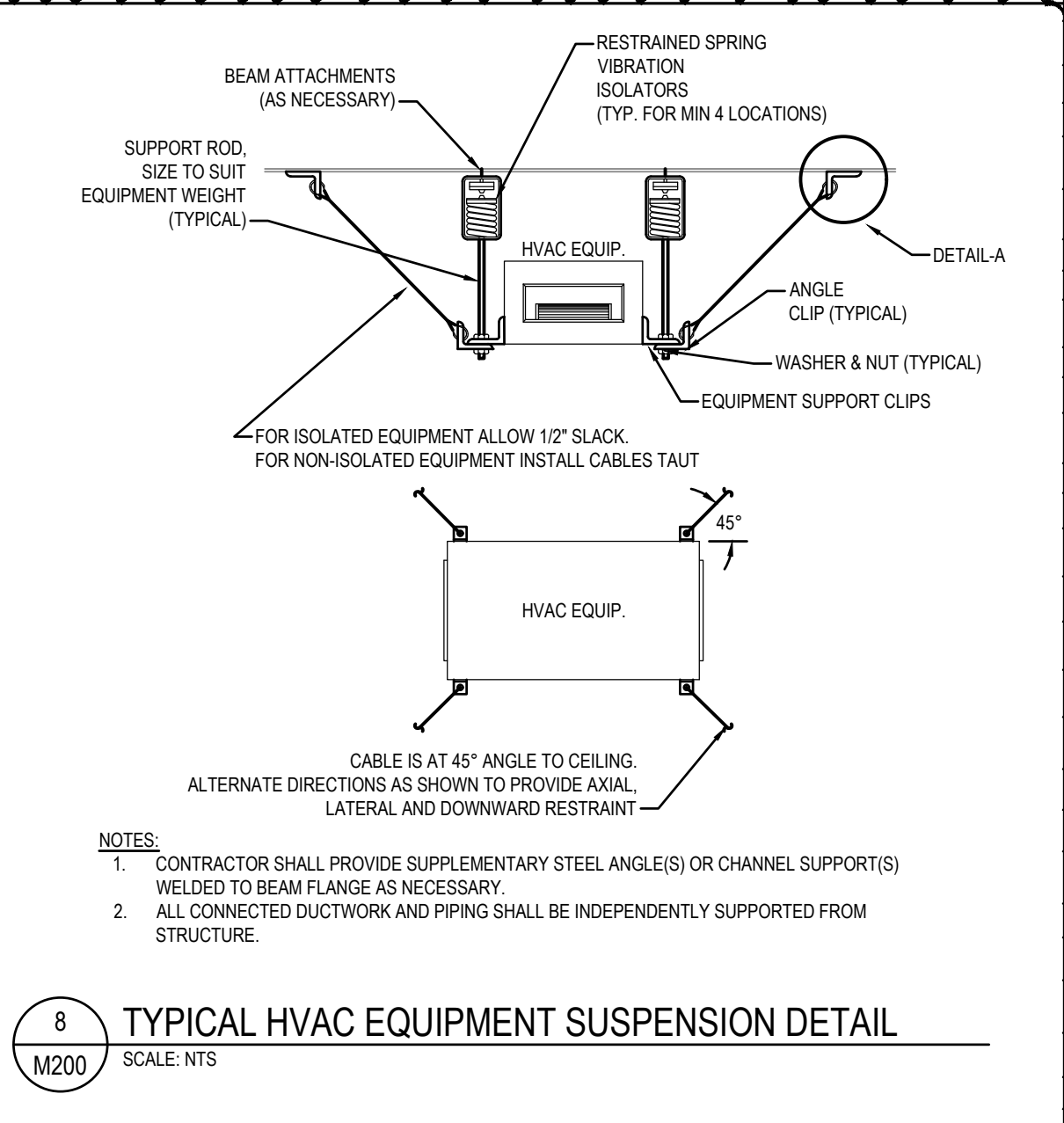
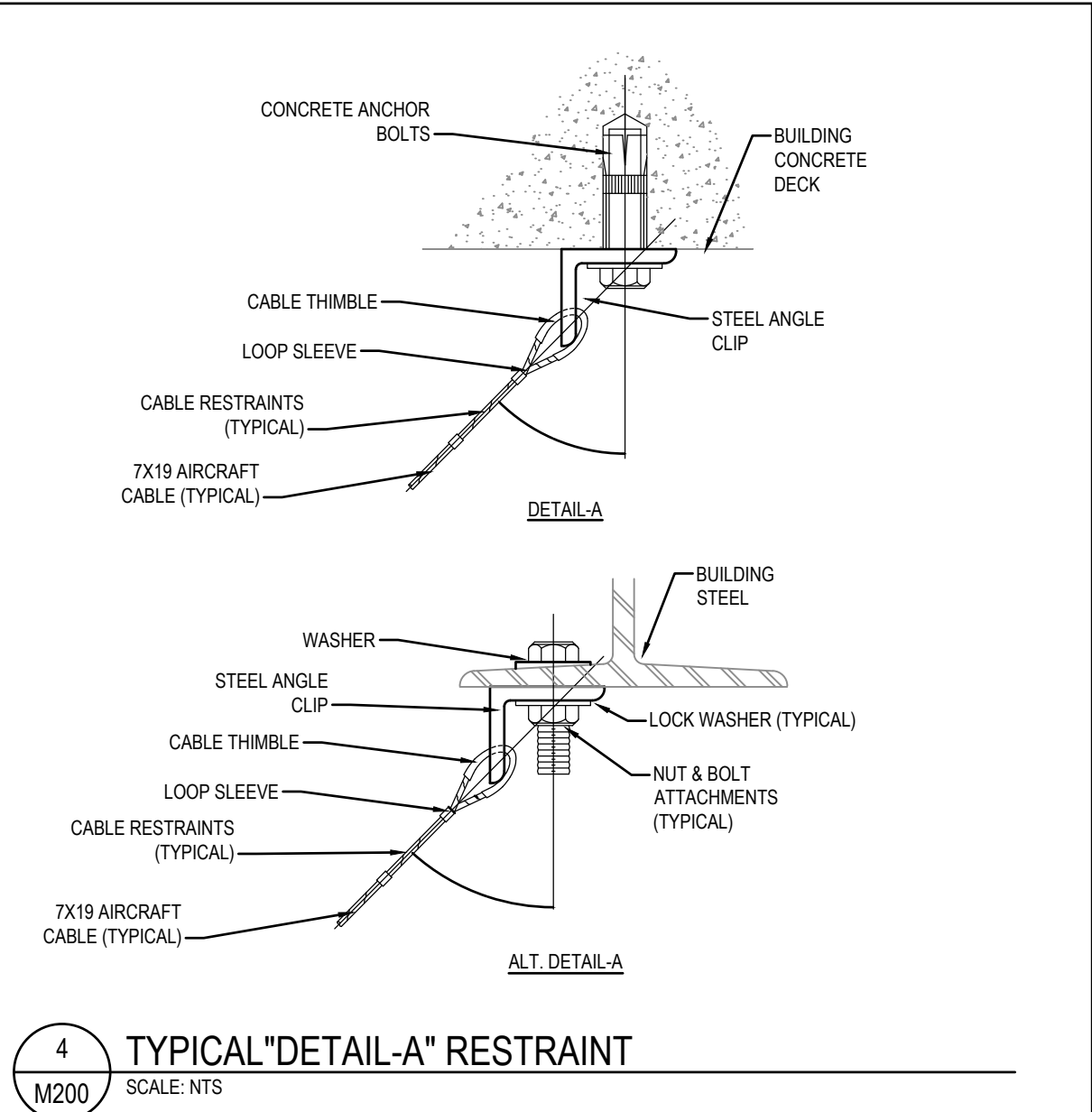
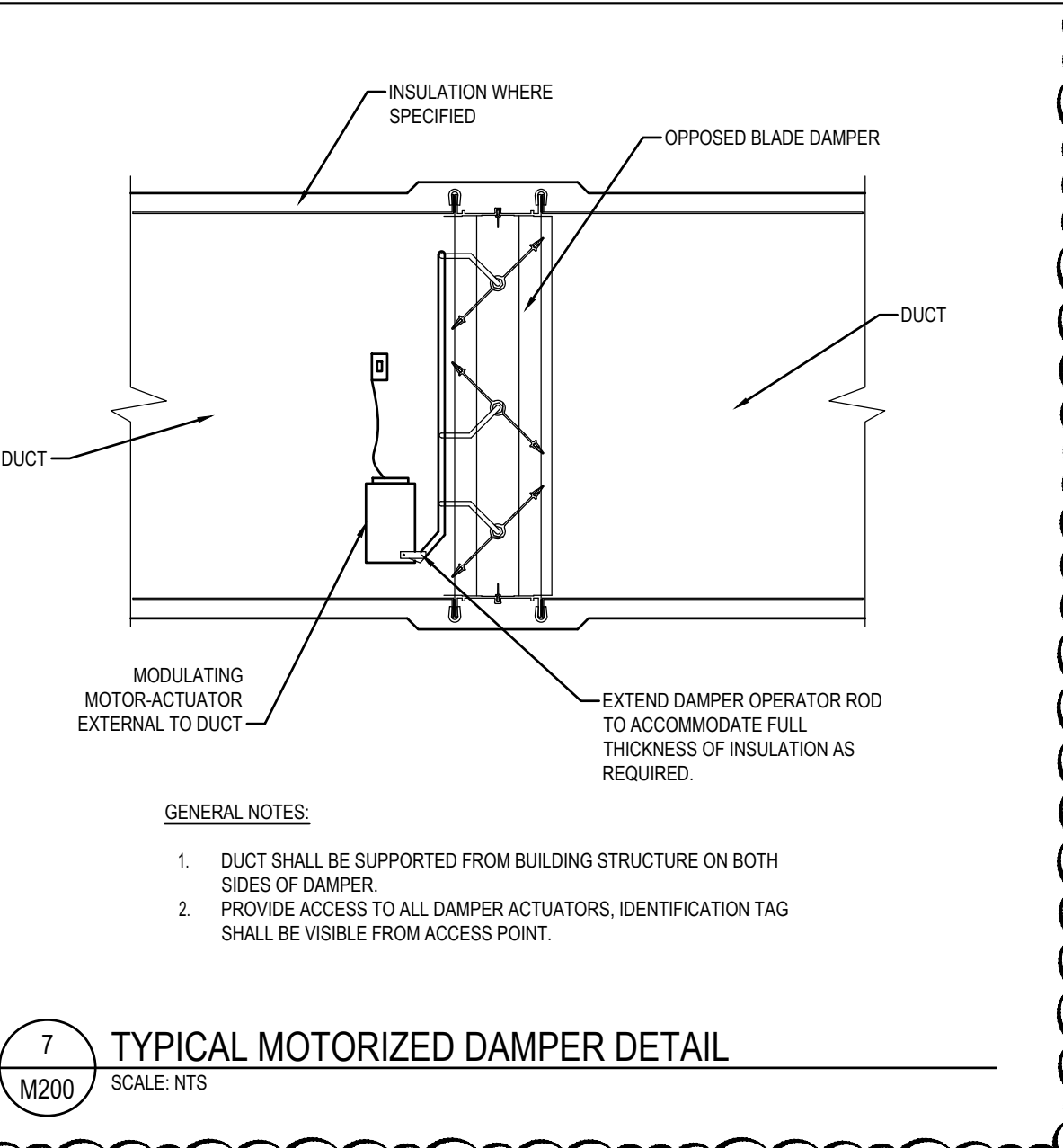
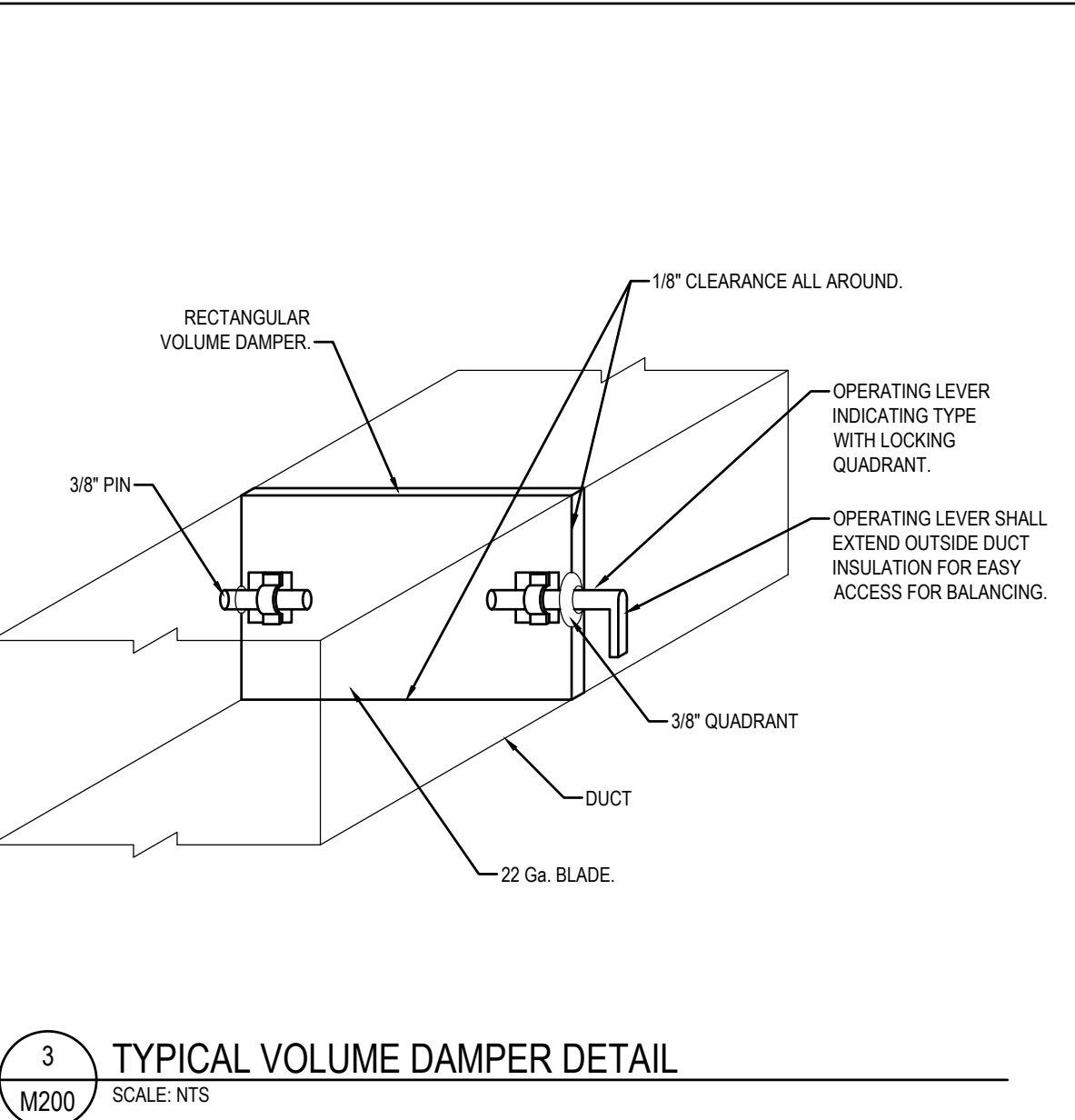
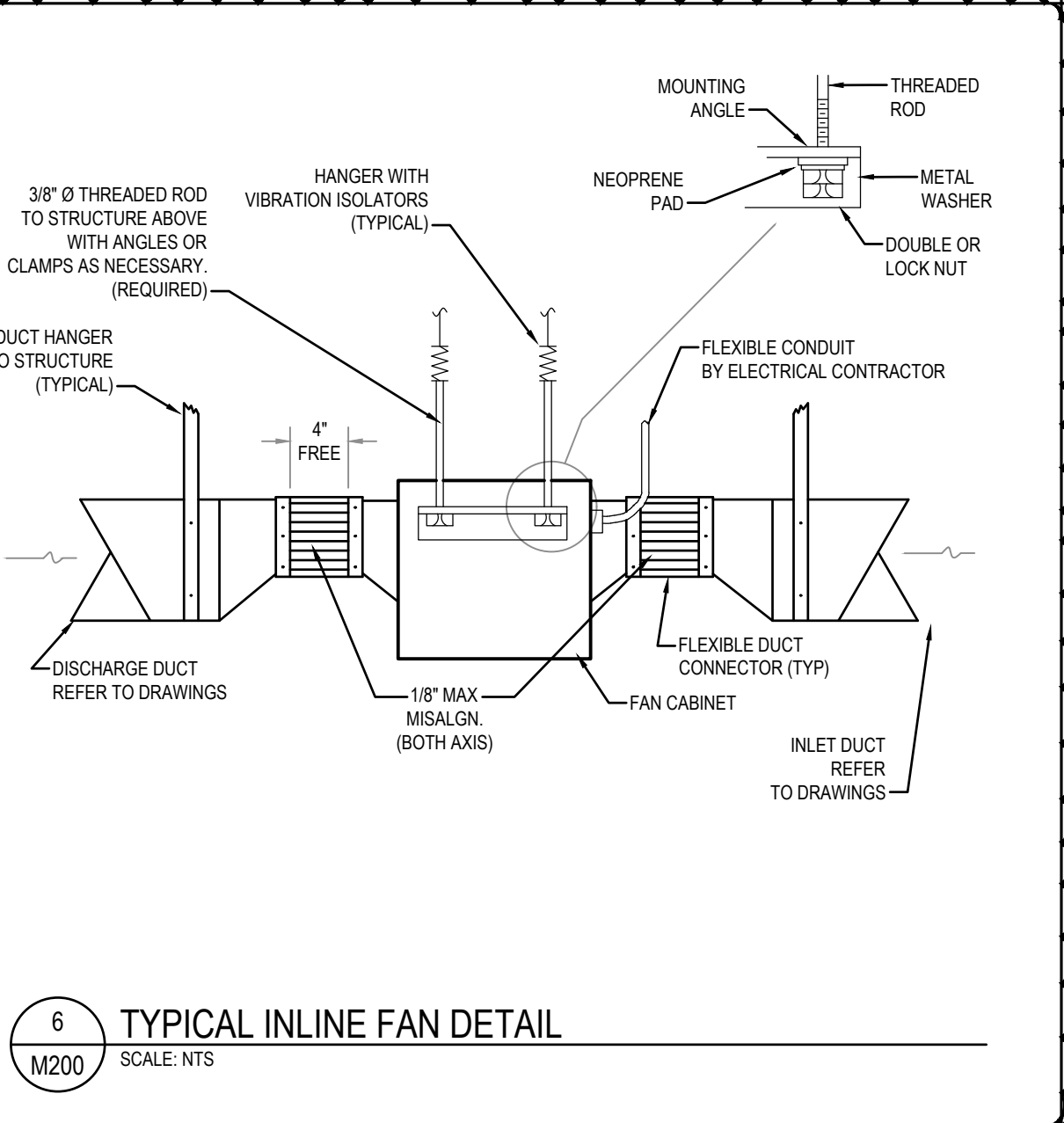
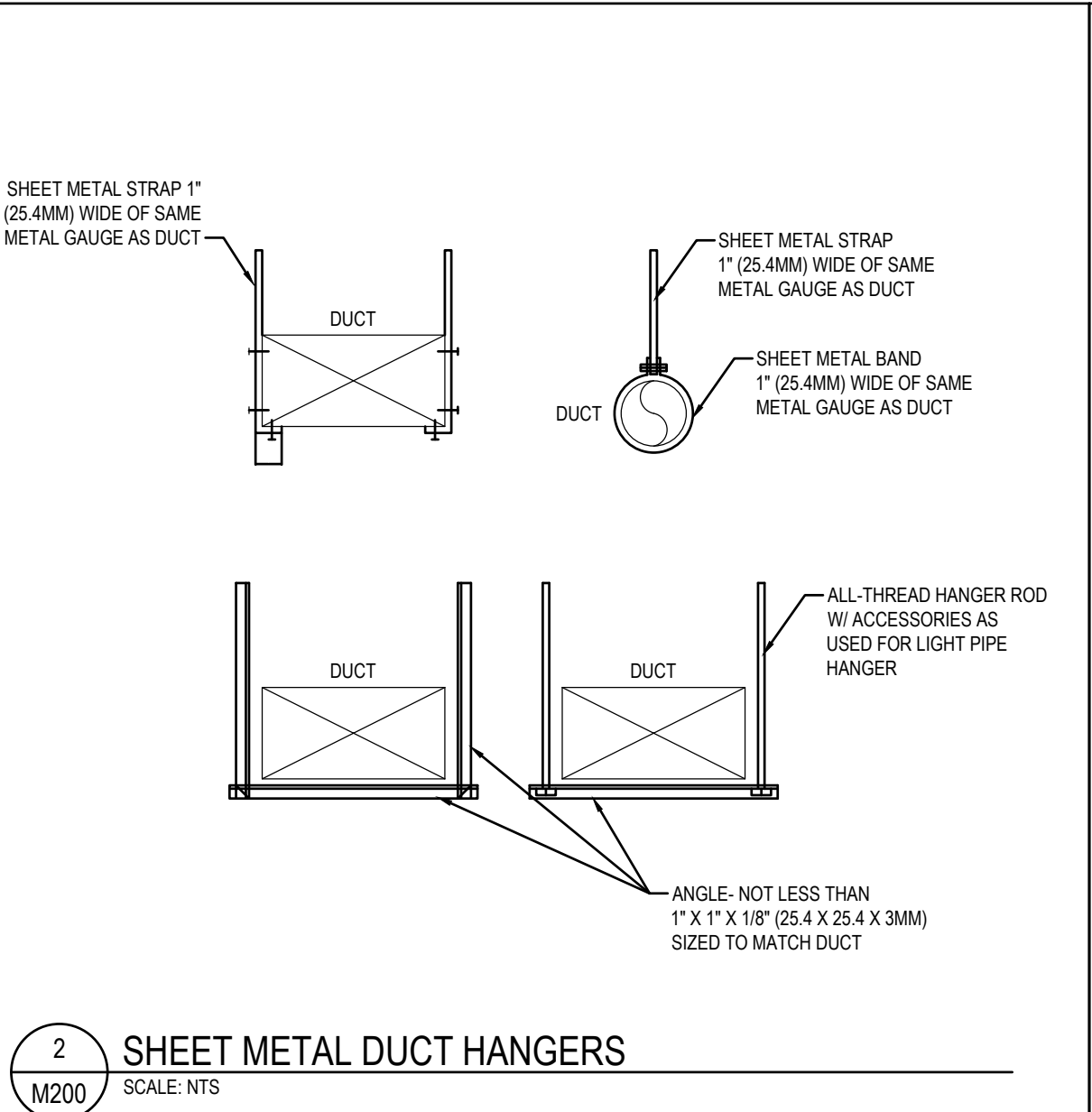
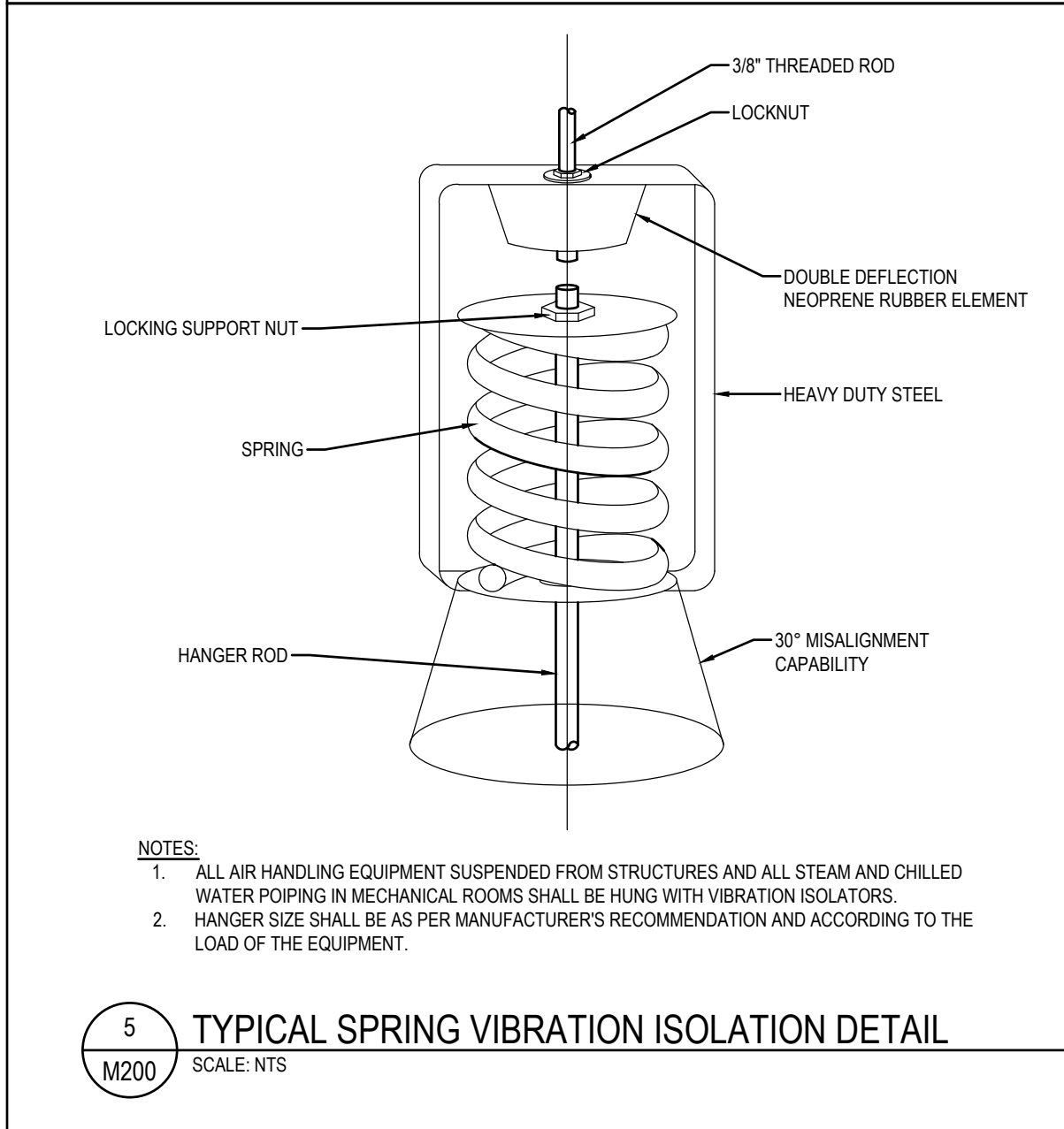
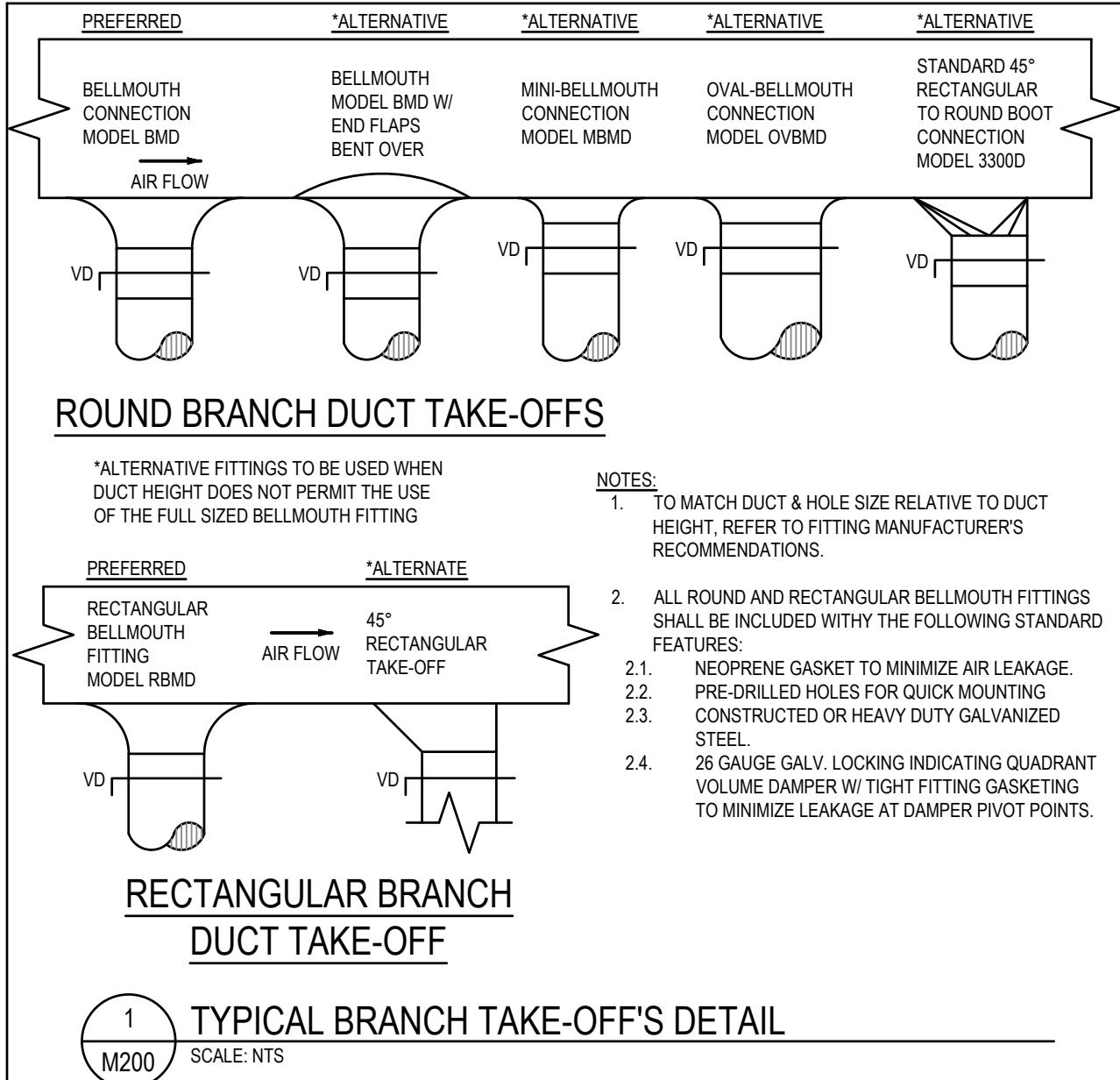
KAPLAN THOMPSON ARCHITECTS
MECHANICAL
BATHHOUSE PLAN
WOLFE'S NECK WOODS STATE PARK
BATHHOUSE
MAINE
FREEPORT

PROJ. No.: 20240149.A10
DATE: 10/11/2024

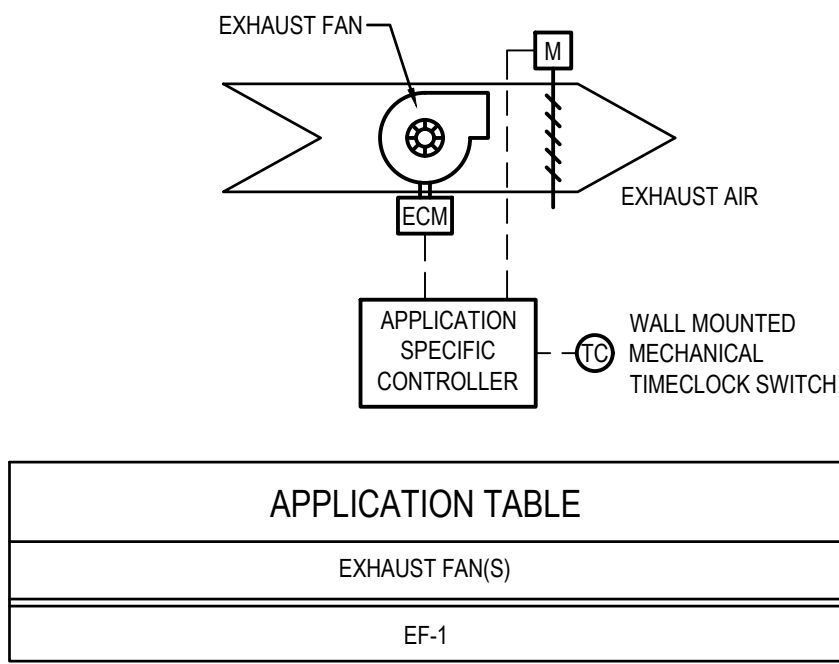
M-101

ADDENDUM #1

MECHANICAL DETAILS

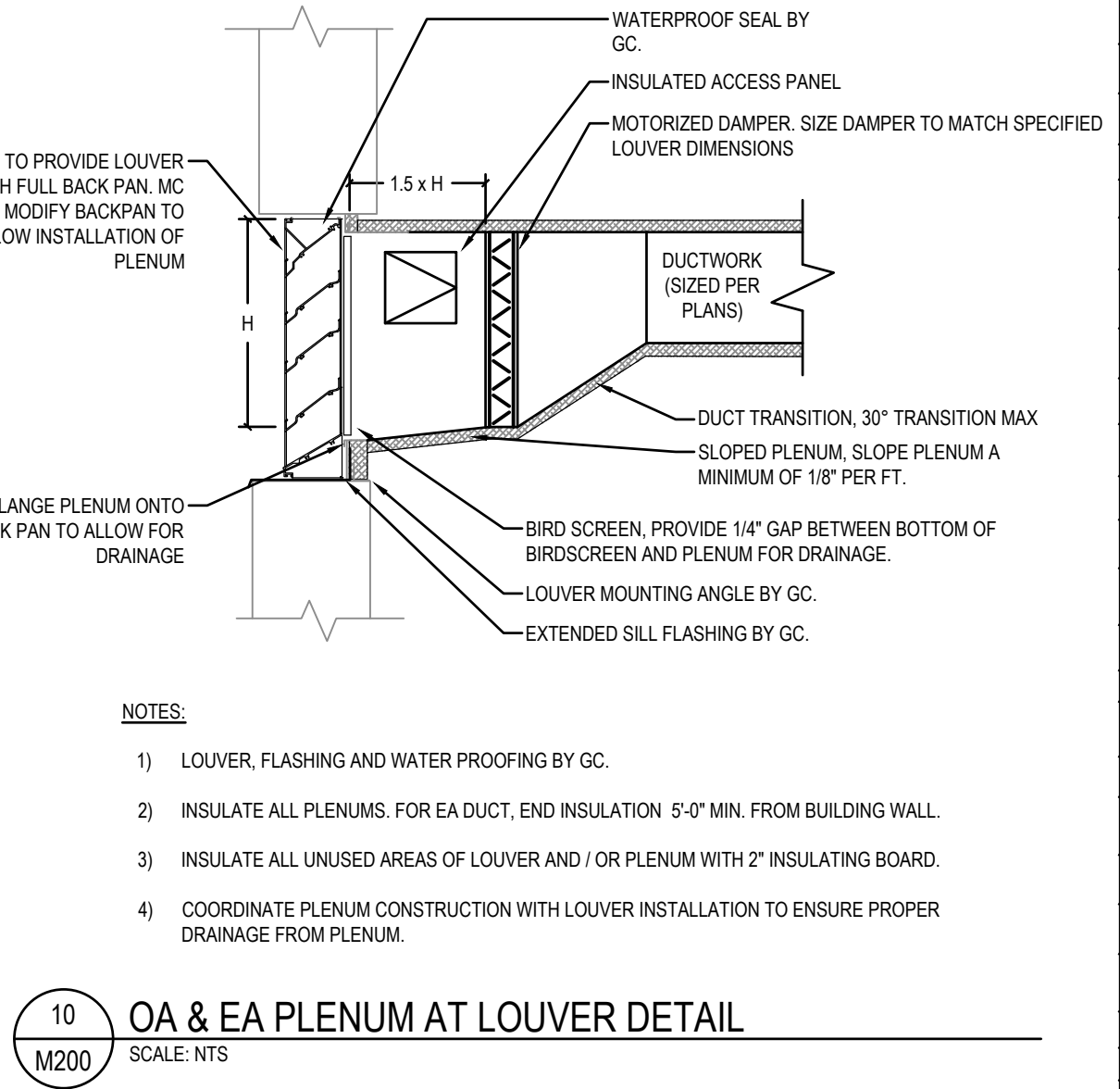
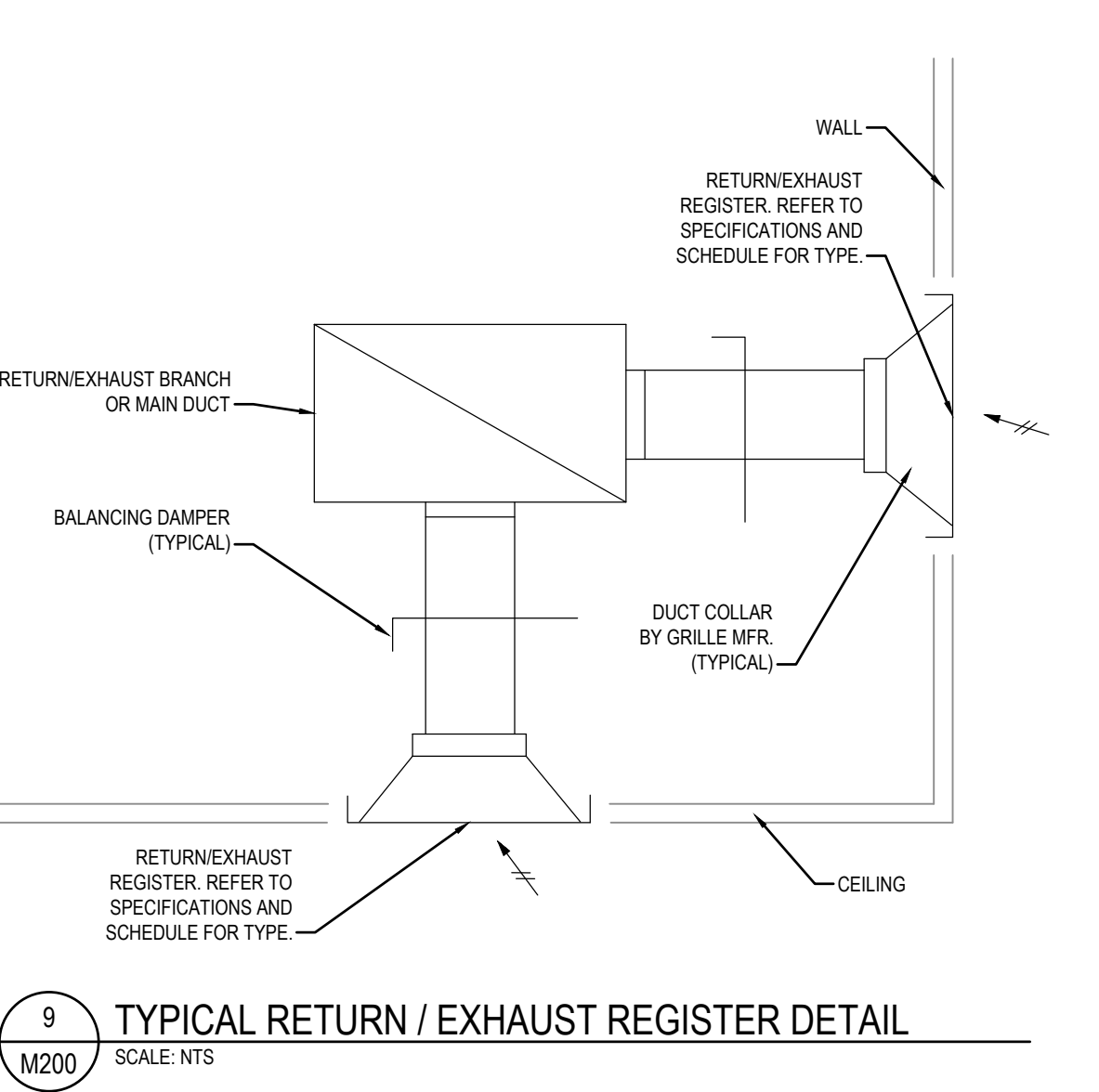


MECHANICAL SEQUENCES OF OPERATION



THE EXHAUST FANS SHALL BE CONTROLLED THROUGH THE APPLICATION SPECIFIC CONTROLLER AND THE WALL MOUNTED DIGITAL TIMECLOCK SWITCH. THE SEQUENCE LISTED BELOW IS REVERSIBLE UNLESS NOTED OTHERWISE.

DURING OCCUPIED HOURS, THE MOTORIZED CONTROL DAMPER SHALL OPEN, AND THE FAN SHALL ENERGIZE. DURING UNOCCUPIED HOURS, THE FAN SHALL DE-ENERGIZE, AND THE MOTORIZED CONTROL DAMPER SHALL CLOSE.



ADDENDUM #1



BGS_ Wolfe's Neck Woods State Park
WNP Freeport, ME

Pre-Bid Sign in Sheet **10/03/2024**

No.	Firm Represented	Rep Name	Firm Address	Phone	Email	
*Bidders must sign-in on this sheet to verify attendance at the Pre-Bid meeting. Failure to sign in legibly may be grounds for declaring a vendor ineligible to bid. For further verification, please also provide a business card if possible.						
1	C.H. Stevensen	Trevor L. Knell	190 Walton Road, Wayne, ME 04284	207-685-3600	tknell@chstevensoninc.com	
2	Doten's Construction	Jackson Swann	396 US Route 1, Suite 1 Freeport, Maine 04032	207-800-5783	Jackson@dotens.com	
3	Ray Labbe & Sons	James Martin	4 Highland Road, Brunswick, ME 04011	207-725-7336	james@raylabbeandsons.com	
4	Benchmark Const.	David Brooks	34 Thomas Drive, Westbrook, ME	207-591-7600	krice@benchmark.org	
5	Mid State Masonry	Ryan Hardesty	41 Davis Road, Fairfield, ME	207-649-3257	ryan.midstatemasonry@gmail.com	
6						

BGS_ Wolfe's Neck Woods State Park
WNP Freeport, ME**Pew-Bid Sign in Sheet**

No.	Firm Represented	Rep Name	Firm Address	Phone	Email
*Bidders must sign-in on this sheet to verify attendance at the Pre-Bid meeting. Failure to sign in legibly may be grounds for declaring a vendor ineligible to bid. For further verification, please also provide a business card if possible.					
1	C.H. STEVENSON, INC.	TREVOR KNEW	190 WALTON ROAD WAYNE, ME 04284	207-685-3600	tknew@chstevensoninc.com
2	Doten's Construction	Jackson Swann	396 US Rt 1, Freeport, ME	207-800-5783	Jackson@Dotens.com
3	Ray Labbe & Sons	James Martin	4 HIGHLAND RD, BRUNSWICK, ME 04011	207-725-7336	James@raylabbeandsons.com
4	Benchmark David Brooks	David Brooks	34 Thomas Drive Westbrook ME	207-591-2600	Krice@benchmark construction.org
5	Mid state Masonry	Ryan Hardesty	41 DAVIS RD Fairfield ME 04937	649-3257	RYAN.MIDSTATEMAS ONRY@gmail
6					
7					
8					
9					
10					
11					
12					