



Maine Maritime Academy, 1 Pleasant Street, Castine, Maine 04421

CURTIS HALL RENOVATIONS

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1 Pleasant Street, Castine, Maine 04421

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EP101.4	PHASE 1 FOURTH FLOOR POWER & SYSTEMS REMOVALS & NEW PLANS
EP101.5	PHASE 1 ROOF POWER & SYSTEMS REMOVALS & NEW PLANS
EP101.G	PHASE 1 GROUND FLOOR POWER & SYSTEMS REMOVALS & NEW PLANS
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EP102.2	PHASE 2 SECOND FLOOR POWER & SYSTEMS REMOVALS & NEW PLANS
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EP102.5	PHASE 2 ROOF POWER & SYSTEMS REMOVALS & NEW PLANS
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FP100.3	THIRD FLOOR FIRE PROTECTION PLAN
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CURTIS HALL RENOVATIONS
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1 Pleasant Street, Castine, Maine 04421

NOT FOR CONSTRUCTION

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ISSUE
100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING
11/22/2023

TITLE
GENERAL NOTES & MATERIAL LEGEND

SHEET
A000.1

MATERIALS LEGEND

	GRAVEL
	CONCRETE MASONRY UNIT
	BRICK
	CONCRETE
	SOIL
	STEEL
	WOOD FRAMING
	WOOD BLOCKING
	GYPSUM BOARD
	PLAN GRAPHIC LEGEND
	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE REMOVED
	NEW CMU WALL
	NEW WALL
	EXISTING DOOR AND FRAME TO REMAIN
	EXISTING DOOR AND FRAME TO BE REMOVED
	NEW DOOR AND FRAME
	EXISTING FLOOR TO BE REMOVED
	NEW CONCRETE SLAB INFILL
	NEW WALKING PADS
	SYMBOLS
	Room name 101 ROOM TAG 150 SF
	ROOM NUMBER NOTE: BEDROOMS ARE IDENTIFIED WITH THREE DIGITS OTHER ROOMS ARE IDENTIFIED WITH 4 DIGITS
	1ST DIGIT = FLOOR
	2ND DIGIT = PHASE
	3RD AND 4TH DIGIT = ROOM IDENTIFIER
	DOOR TAG
	WINDOW GLAZING TAG
	WALL TAG
	SPECIALTY EQUIPMENT/ TOILET ACCESSORY TAG
	UNDER COUNTER REFRIGERATOR UNLESS NOTED OTHERWISE
	CASEWORK TAG
	DEMOLITION KEY NOTE
	CONSTRUCTION KEYNOTE
	BUILDING SECTION
	WALL SECTION
	PLAN OR SECTION DETAIL
	EXTERIOR ELEVATION
	INTERIOR ELEVATION
	FLOOR LEVEL/VERTICAL ELEVATION
	COLUMN CENTERLINE

ABBREVIATIONS

AB	ANCHOR BOLT	JT	JOINT
AB	APR BARRIER	KIT	KITCHEN
AC	AIR CONDITIONING	LAB	LABORATORY
ADJ	ADJUSTABLE	LAM	LAMINATE (D)
ADD	ADDITIONAL	LAV	LAVATORY
ADU	AUTOMATIC DOOR OPERATOR	LB	POUND (S)
AFF	ABOVE FINISHED FLOOR	LC	LEADER COIC COPPER
AH	AIR HANDLER	LF	LINEAR FOOT
AI	AIR INFECTION BARRIER	LFH	LEFT HAND LOCATION
ALT	ALTERNATE	LOCH	LIGHTWEIGHT (CMU)
ALUM	ALUMINUM	MAS	MASONRY
AOR	AREA OF REFUGE	MATL	MATERIAL
APPROX	APPROXIMATE	MAX	MAXIMUM
ARCH	ARCHITECTURAL	MC	MEDICINE CABINET
ARM	ARMOR	MDF	MEDIUM DENSITY OVERLAY
AV	AVENUE	MECH	MECHANICAL
AWP	AVENUE BARRIER	MEM	MEMBRANE FLASHING
BD	BOARD	MFR	MANUFACTURER
BF	BARRIER FREE	MHC	MANHOLE
BIT	BITUMINOUS	MIN	MINIMUM
BLOG	BLOCKING	MISC	MISCELLANEOUS
BLKG	BLOCKING	MJL	MOULDING, MOULDING
BM	BENCHMARK	MO	MASONRY OPENING
BTM	BOTTOM	MR	MOISTURE RESISTANT
BO	BOTTOM OF	MS	MOISTURE RESISTANT GYPSUM BOARD
BRK	BRICK	MSF	METAL STUD FRAMING
BRG	BEARING	MTL	METAL
BSMT	BASEMENT	N	NORTH
BS	BASE	NA	NOT APPLICABLE
BSM	BASEMENT	N/C	NOT IN CONTRACT
BS	BASE	NO	NUMBER
BS	BASE	NO	NORMAL
BS	BASE	NR	NOISE REDUCTION COEFFICIENT
BS	BASE	NTS	NOT TO SCALE
BS	BASE	OC	OVER
BS	BASE	ON	ON CENTER
BS	BASE	OD	OUTSIDE DIAMETER
BS	BASE	OF	OVERFLOW SCUPPER
BS	BASE	OH	OPPOSITE HAND
BS	BASE	OP	OPAQUE
BS	BASE	OPH	OPPOSITE HAND
BS	BASE	OPP	OPENING
BS	BASE	OPNG	OPPOSITE
BS	BASE	OPS	OPERABLE PANEL SYSTEM
BS	BASE	PC	PAINT
BS	BASE	PERF	PERFORATED
BS	BASE	PERM	PERMIETTER
BS	BASE	PERK	PERKING
BS	BASE	PL	PLATE
BS	BASE	PLAM	PLASTIC LAMINATE
BS	BASE	PLWD	PLYWOOD
BS	BASE	PSI	POUNDS PER SQUARE FOOT
BS	BASE	PSI	POUNDS PER SQUARE INCH
BS	BASE	PTD	PRESSURE TREATED
BS	BASE	PTD	PAPER TOWEL DISPENSER
BS	BASE	PTN	PARTITION
BS	BASE	PVC	POLYVINYL CHLORIDE
BS	BASE	PWT	PAVEMENT
BS	BASE	QR	QUARTER ROUND
BS	BASE	EA	EMERGENCY BATTERY UNIT
BS	BASE	EM	EMERGENCY BATTERY UNIT
BS	BASE	EX	ELECTRICAL
BS	BASE	EMF	ELECTRICAL MAGNETIC HOLD OPEN
BS	BASE	EFS	EXTERIOR INSULATION FINISH SYSTEM
BS	BASE	EJ	EXPANSION JOINT
BS	BASE	EL	ELEVATION
BS	BASE	EP	EPOXY PAINT
BS	BASE	ELEC	ELECTRICAL
BS	BASE	ELEV	ELEVATOR
BS	BASE	EMER	EMERGENCY
BS	BASE	ENCL	ENCLOSED/ENCLOSURE
BS	BASE	EQU	EQUAL
BS	BASE	EQUIP	EQUIPMENT
BS	BASE	EXH	EXHAUST
BS	BASE	EXST	EXISTING
BS	BASE	EXT	EXTENDED
BS	BASE	EW	EYEWASH
BS	BASE	EWC	ELECTRIC WATER COOLER
BS	BASE	FB	FIRE BLANKET
BS	BASE	FBO	FURNISHED BY OWNER
BS	BASE	FCS	FLOOR COATING SYSTEM
BS	BASE	FD	FLOOR DRAIN
BS	BASE	FE	FIRE EXTINGUISHER
BS	BASE	FEC	FIRE EXTINGUISHER AND CABINET
BS	BASE	FG	FINISHED FLOOR ELEVATION
BS	BASE	FG	FIBERGLASS
BS	BASE	FHV	FIRE HOSE AND VALVE CABINET
BS	BASE	FIN	FINISH
BS	BASE	FIN GR	FINISH GRADE
BS	BASE	FLR	FLOOR(ING)
BS	BASE	FNDR	FOUNDATION
BS	BASE	FP	FIREPROOFING
BS	BASE	FO	FACE OF
BS	BASE	FRM	FRAMING
BS	BASE	FRP	FIBER REINFORCED PLASTIC
BS	BASE	FRT	FIRE RETARDANT TREATED
BS	BASE	FSR	FLEXIBLE SHEET ROOFING
BS	BASE	FT	FOOT(FEET)
BS	BASE	FTG	FOOTING
BS	BASE	FTR	FIN TUBE RADIATION
BS	BASE	FUR	FURRING
BS	BASE	FV	FIELD VERIFY
BS	BASE	FWC	FABRIC WALL COVERING
BS	BASE	GA	GAUGE
BS	BASE	GALV	GALVANIZED
BS	BASE	GB	GRAB BAR
BS	BASE	GFB	GROUND FACE CMU
BS	BASE	GL	GLASS, GLAZING
BS	BASE	GWB	GYPSUM WALLBOARD
BS	BASE	HARD	HARDENER
BS	BASE	HB	HOSE BIBB
BS	BASE	HC	HOLLOW CORE
BS	BASE	HD	HEAD
BS	BASE	HDO	HIGH DENSITY OVERLAY
BS	BASE	HDWR	HARDWARE
BS	BASE	HM	HOLLOW METAL
BS	BASE	HORIZ	HORIZONTAL
BS	BASE	HR	HAND RAIL
BS	BASE	HS	HIGH SCHOOL
BS	BASE	HT	HEIGHT
BS	BASE	HTG	HEATING
BS	BASE	HVAC	HEATING/VENTILATION/AIR CONDITIONING
BS	BASE	IBC	INSTALLED BY CONTRACTOR
BS	BASE	ID	INSIDE DIAMETER
BS	BASE	IN	INCH(ES)
BS	BASE	INCL	INCLUDED (D), (ING)
BS	BASE	INFO	INFORMATION
BS	BASE	INSUL	INSULATED
BS	BASE	INT	INTERIOR
BS	BASE	INV	INVERT
BS	BASE	W	WEST
BS	BASE	WC	WATER CLOSET
BS	BASE	WD	WOOD
BS	BASE	WE	WIRE MESH
BS	BASE	WH	WATER HEATER
BS	BASE	WO	WITHOUT
BS	BASE	WS	WATERSTOP
BS	BASE	WST	WELDED WIRE FABRIC
BS	BASE	WWM	WELDED WIRE MESH
BS	BASE	YD	YARD
BS	BASE	ZCC	ZINC-COATED COPPER

ALTERNATES

1.	DORM ROOM AND DORM BATHROOM LIGHT FIXTURES A. BASE BID: EXISTING LIGHT FIXTURES IN DORM ROOMS AND DORM BATHROOMS TO REMAIN OR BE REINSTALLED, AS INDICATED ON DRAWINGS. PROVIDE LED EBUS IN EACH BATHROOM, AS INDICATED ON DRAWINGS. B. ALTERNATE: EXISTING LIGHT FIXTURES IN DORM ROOMS AND DORM BATHROOMS TO BE REPLACED WITH NEW LED FIXTURES, AS INDICATED ON DRAWINGS. THE LED EBUS WILL BE MAINTAINED IN EACH BATHROOM AS INSTALLED UNDER THE BASE BID.
2.	COMMON AREA LIGHT FIXTURES (CORRIDOR, OFFICE, STAIRS, LAUNDRY, STORAGE, UTILITY, ETC.) A. BASE BID: EXISTING LIGHT FIXTURES IN COMMON AREAS TO REMAIN OR BE SALVAGED AND REINSTALLED, AS INDICATED ON DRAWINGS. PROVIDE LED EBUS AND SELF-POWERED LED EXIT SIGNS THROUGHOUT COMMON AREAS AS INDICATED ON DRAWINGS. B. ALTERNATE: EXISTING LIGHT FIXTURES IN COMMON AREAS TO BE REMOVED AND REPLACED WITH NEW LED FIXTURES, PROVIDE BALANCE (50% OUTPUT AND 100% OUTPUT) LIGHTING OCCUPANCY SENSOR CONTROLLED, FOR CORRIDOR AND STAIRS, UTILIZE EMERGENCY EGRESS LIGHTING CENTRAL INVERTERS, CONTROLLING SELECTED LIGHT FIXTURES, IN LIEU OF LED EBUS, AS INDICATED ON DRAWINGS.
3.	VRF SYSTEMS FOR GROUND, INTERMEDIATE, AND FIRST FLOORS IN PHASE 1 AND PHASE 4 AREAS AS INDICATED A. BASE BID: NO VRF SYSTEMS FOR THESE AREAS. B. ALTERNATE: PROVIDE VRF SYSTEMS FOR THESE AREAS.
4.	COURTYARD EXTERIOR DOORS A. BASE BID: EXISTING TO REMAIN. B. ALTERNATE: REPLACE EXISTING WOOD DOORS WITH HOLLOW METAL DOORS AND NEW HARDWARE.
5.	STRUCTURAL FLOOR REMEDIATION AT WALK-OFF MAT A. BASE BID: NO WORK B. ALTERNATE: REPLACE FLOOR STRUCTURE, SLAB AND IMPACTED FINISHES WITH NEW AS INDICATED AT ONE LOCATION.
6.	STRUCTURAL FLOOR REMEDIATION AT TWO ADDITIONAL LOCATIONS A. BASE BID: NO WORK B. ALTERNATE: PROVIDE ACCESS HATCH IN EXISTING CONCRETE FLOOR WHERE INDICATED AND PRICE TO REPLACE POTENTIALLY FAILING JOBS AND FINISHES WITH RELATED FINISHES AT TWO OTHER RECESSED WALK-OFF MATS OVER CRAWL SPACES ASSUMING SIMILAR DETEIORATION AND REPLACEMENT SCOPE.
7.	COMMUNITY BATHROOM SINK APRONS A. BASE BID: REMOVE AND REINSTALL EXISTING SINK APRONS FOR ACCESS TO MECHANICAL WORK. B. ALTERNATE: REMOVE AND DISPOSE OF EXISTING SINK APRONS AND PROVIDE NEW APRONS, SUPPORT BLOCKING AND HARDWARE AS INDICATED IN DRAWINGS. THE IS FOR THE LARGER COMMUNITY-STYLE RESTROOMS, SMALLER RESTROOMS WILL BE HANDLED ON AN INDIVIDUAL BASIS WITH A UNIT PRICE.

ROOF GENERAL NOTES

1.	PROTECT ALL OPENINGS CUT IN THE ROOF, PROVIDE TEMPORARY ROOFING F WORK IS TO BE UNFINISHED DURING ADVERSE WEATHER CONDITIONS THROUGHOUT THE CONSTRUCTION PHASE.
2.	PROVIDE FLASHING AT ALL ROOF PENETRATIONS, PENETRATIONS MAY NOT BE INDICATED ON THE ROOF PLAN, REFER TO STRUCTURAL, MECHANICAL AND ELECTRICAL PLANS FOR NUMBER, LOCATION, AND SIZE OF PENETRATIONS.
3.	PROVIDE A 2 FEET WIDE WALKWAY WITH PROTECTION STRIPS ENTIRELY AROUND ALL ROOF TOP MECHANICAL UNITS AND CREATE A PROTECTION STRIP PATHWAY, 2 FEET WIDE, FROM THE ROOF ACCESS LOCATION(S) TO EACH MECHANICAL UNIT.
4.	PROTECT ROOFING MATERIALS FROM CONSTRUCTION OPERATIONS.
5.	PROVIDE CURBS AND PRESSURE TREATED WOOD BLOCKING FOR ALL ROOF MOUNTED EQUIPMENT, UNLESS NOTED OTHERWISE.
6.	PROVIDE FALL PROTECTION AS DELEGATED DESIGN AS REQUIRED WHERE VERTICAL PENETRATIONS ARE INSTALLED. REQUIRE WORKERS BE WITHIN 10' OF ROOF EDGE.
1.	ALL HANDRAIL AND GUARDRAIL COMPONENTS SHALL BE ABLE TO WITHSTAND A HORIZONTAL LOAD OF 250 POUNDS AT ANY POINT.
2.	GUARDRAILS SHALL NOT ALLOW THE PASSAGE OF A 4-INCH SPHERE BETWEEN MEMBERS.
3.	ALL RAMP, STAIR, LADDER, ALTERNATING TREAD DECK, HANDRAIL AND GUARDRAIL COMPONENTS SHALL COMPLY WITH THE APPLICABLE PROVISIONS OF THE LATEST VERSION(S) IBC, NFA 101, AND THE ADA.

GENERAL PATCHING AND REPAIRING NOTES

1.	WHERE NEW CONSTRUCTION EITHER FINISHES OR ABUTS EXISTING CONSTRUCTION, THE FINISHED FACES SHALL ALIGN, AND THE SURFACES SHALL BE FINISHED TO MATCH.
2.	AFTER CUTTING, FITTING, OR REMOVAL OF BUILDING COMPONENTS, ANY RESULTING HOLES SHALL BE PATCHED, SUCH PATCHES SHALL BE FLUSH WITH ADJACENT SURFACES AND FINISHED TO MATCH.
3.	MAINTAIN FIRE RATINGS, SMOKE RATINGS, AND ACOUSTICAL RATINGS.
4.	PROVIDE METAL COVER PLATES AT ALL ABANDONED ELECTRICAL DEVICES, FINISHED TO MATCH WALL.

DOOR AND WINDOW NOTES

1.	AT EXTERIOR WALLS AND MASONRY WALLS, COAT THE INSIDE AND EDGES OF ALL HOLLOW METAL FRAMES WITH BITUMINOUS COATING.
2.	FILL ALL INTERIOR HOLLOW METAL FRAMES ADJACENT TO MASONRY WITH MINERAL FIBER.
3.	PACK MINERAL-FIBER INSULATION IN ALL INTERIOR HOLLOW METAL FRAMES IN STUD WALLS.
4.	FILL ALL EXTERIOR METAL DOOR FRAMES WITH LOW-EXPANSION SPRAY-FORM INSULATION.
5.	REFER TO SPECIFICATIONS FOR LOCATIONS OF TEMPERED, LAMINATED, WROD, AND INSULATING GLASS.
6.	AT DOOR, WINDOW AND LOUVER OPENINGS IN EXTERIOR WALLS WITH MASONRY VENEER PROVIDE METAL PAN FLASHING AT HEADS UNLESS NOTED OTHERWISE.
7.	PROVIDE METAL RAIN HOOD AT ALL EXTERIOR HOLLOW METAL FRAMES.
8.	PROVIDE DOOR STOPS TO PROTECT WALLS AT ALL LOCATIONS WHERE A DOOR SWING WILL STRIKE THE WALL.
9.	ALL EXTERIOR DOORS SHALL HAVE WEATHER STRIPPING, THRESHOLDS, AND SHALL BE INSTALLED WEATHERTIGHT.

GENERAL ARCHITECTURAL NOTES

1.	THE DRAWINGS USE A SYSTEM OF KEYED NOTES ON PLANS, ELEVATIONS AND DETAILS. INSTRUCTIONS FOR SPECIFIC COMPONENTS OF THE WORK ARE KEYS TO THE DRAWINGS. BUILDING SYSTEMS (PARTITIONS, ROOF) ARE KEYS TO FLOOR PLANS, WALL SECTIONS, ROOF PLAN AND OTHER DETAILS AS APPROPRIATE.
2.	MAINTAIN MINIMUM MANEUVERING CLEARANCES AT DOORS IN COMPLIANCE WITH THE ADA ACCESSIBILITY GUIDELINES (ADAAG). REFERENCE THE ADA STANDARDS FOR ACCESSIBLE DESIGN.

404.2.1 Swinging Doors and Gates. Swinging doors and gates shall have maneuvering clearances complying with Table 404.2.1.

Type of Use	Minimum Maneuvering Clearance		
Approach Direction	Door or Gate Side		
	Perpendicular to Doorway		
	Parallel to Doorway (eyond reach unless noted)		
From front	Pull	60 inches (1525 mm)	18 inches (455 mm)
From front	Push	48 inches (1220 mm)	0 inches (0 mm)
From hinge side	Pull	60 inches (1525 mm)	36 inches (915 mm)
From hinge side	Push	54 inches (1370 mm)	42 inches (1065 mm)
From hinge side	Push	42 inches (1065 mm)	22 inches (560 mm)
From latch side	Pull	48 inches (1220 mm)	24 inches (610 mm)
From latch side	Push	42 inches (1065 mm)	24 inches (610 mm)

- Add 12 inches (305 mm) if closer and latch are provided.
- Bayward hinge side.
- Add 6 inches (150 mm) if closer is provided.

- ALL MOUNTING HEIGHTS AND CLEARANCES AT TOILET ROOMS AND ELSEWHERE SHALL COMPLY WITH THE LATEST VERSION OF THE ADA ACCESSIBILITY GUIDELINES (ADAAG).
- BARRIER-FREE CLEARANCES ARE GIVEN. THESE CLEAR DIMENSIONS SHALL BE MAINTAINED IN CASES OF DISCREPANCY.
- ALL DIMENSIONS GIVEN FOR FIXTURE AND ACCESSORY LOCATIONS ARE CLEAR DIMENSIONS FROM FINISHED SURFACES, UNLESS NOTED OTHERWISE. COORDINATE ACTUAL DIMENSIONS WITH WALL CONSTRUCTION AND FINISHES.
- LOCATE ALL CONTROLS, FLUSH VALVES, SHUTOFFS AND SIMILAR ITEMS IN ACCORDANCE WITH THE LATEST VERSION OF THE ADA ACCESSIBILITY GUIDELINES (ADAAG).
- SOME ITEMS MAY INDICATE A RANGE IN MOUNTING HEIGHT, MAINTAIN A CONSISTENT MOUNTING HEIGHT WITHIN THE GIVEN RANGE.
- REMOVE HORIZONTAL ELEMENTS OF CANOPY, VERTICAL COLUMNS TO REMAIN IN PLACE, SEE EXTERIOR ELEVATIONS.
- REMOVE FLOORING AND WALL BASE
- REMOVE FLOOR FINISHES, WALL BASE, AND WALL FINISHES
- REMOVE STAR TREADS AND FLOOR FINISHES ON STAIRS, REMOVE HANDRAILS / GRAB BARS
- FLOOR FINISHES TO REMAIN
- REMOVE EXISTING METAL LOUVER IN ITS ENTIRETY
- REMOVE PLUMBING FIXTURE, SALVAGE FOR REINSTALLATION, SEE PLUMBING DRAWINGS, REMOVE EXISTING BATHROOM ACCESSORIES AND SALVAGE FOR REINSTALLATION, REMOVE EXISTING STALL DIVIDER SYSTEMS AND SALVAGE FOR REINSTALLATION.
- REMOVE PORTION OF FLOOR TO ACCOMMODATE NEW MEP WORK, EXACT LOCATION OF DEMOLITION TBD
- REMOVE SECTION OF ROOF TO ACCOMMODATE NEW MECHANICAL WORK, EXACT LOCATIONS TBD, COORDINATE WITH MECHANICAL DRAWINGS.
- REMOVE WALL SOUNGE

GENERAL DEMOLITION AND REMOVAL NOTES

- THE DEMOLITION DRAWINGS PROVIDE GENERAL COORDINATION INFORMATION ONLY, AND ARE SCHEMATIC IN NATURE. THEY DO NOT IDENTIFY ALL INDIVIDUAL ITEMS TO BE REMOVED, REMOVE ANY EXISTING CONSTRUCTION WHICH IS IN THE WAY OF NEW CONSTRUCTION OR PROHIBITS THE NEW CONSTRUCTION.
- VERIFY EXISTING STRUCTURAL CONDITIONS PRIOR TO DEMOLITION OR REMOVAL.
- PROTECT FROM DAMAGE AND WEATHER ANY EXISTING BUILDING COMPONENTS WHICH ARE EXPOSED AS A RESULT OF DEMOLITION OR REMOVALS.
- COORDINATE AND SCHEDULE ALL WORK IN EXISTING OCCUPIED PORTIONS OF THE BUILDING WITH THE OWNER.
- NOTIFY THE ARCHITECT AND OWNER IMMEDIATELY UPON DISCOVERY OF POTENTIALLY HAZARDOUS MATERIAL OR SUBSTANCE NOT ADDRESSED IN THE CONTRACT DOCUMENTS, INCLUDING BUT NOT LIMITED TO ASBESTOS, PCB LEAD, MERCURY, AND MOLD. DO NOT DISTURB HAZARDOUS MATERIALS, HAZARDOUS MATERIAL SHALL BE LEGALLY ABATED, TRANSPORTED, AND DISPOSED OF.
- CONCRETE SLAB REMOVALS MAY BE REQUIRED THROUGHOUT THE EXISTING BUILDING AND MAY NOT BE SHOWN ON THE DEMOLITION DRAWINGS. COORDINATE THE EXTENT OF SLAB REMOVALS WITH STRUCTURAL, MECHANICAL AND ELECTRICAL PLANS, CUT TRENCHES IN EXISTING CONCRETE FLOORS WITH NO MORE THAN A 1:2 SLOPE, PROVIDE AN UNDERSLAB DRAIN AT SLABS ON GRADE, REFER TO STRUCTURAL DRAWINGS FOR REINFORCEMENT REQUIREMENTS, PATCH CONCRETE TO MATCH ADJACENT THICKNESS AND FINISH PRIOR TO THE INSTALLATION OF UNDERLAYER OR NEW FINISHES.
- REMOVAL OF MATERIALS SHALL BE DONE WITHOUT DISTURBING ADJACENT SURFACES OR THE CURRENT CONDITION OF OTHER BUILDING ELEMENTS INTENDED TO REMAIN.
- CONTRACTOR TO MANAGE AND PROTECT EXISTING FURNITURE IN PLACE, DORM FURNITURE WILL NOT BE REMOVED BY THE OWNER, AND MUST BE IN ITS ORIGINAL LOCATION AT TURNOVER AT EACH PHASE, PROTECT AND INVENTORY FURNITURE AND PROVIDE TO OWNER AT BEGINNING OF EACH PHASE.
- REMOVE ALL DAMAGED AND/OR DISCARDED BUILDING CONSTRUCTION MATERIAL FROM CONCEALED SPACES, PRIOR TO CLOSING-OR SEALING-OFF CONCEALED SPACES, THE CONTRACTOR SHALL ALLOW FOR AN INSPECTION OF COMPONENTS WHICH WILL NOT BE VISIBLE WHEN THE SPACES HAVE BEEN SEALED.
- ALL DEMOLITION REMOVAL DEBRIS IS THE PROPERTY OF THE CONTRACTOR, UNLESS NOTED OTHERWISE, AND SHALL BE LEGALLY DISPOSED OF.
- EXISTING WINDOW TREATMENTS IN RESIDENT ROOMS AND THE BLGE RECREATION ROOM ARE TO BE REMOVED AND DEPOSED OF TO MAKE WAY FOR NEW ROLLER SHADES, WINDOW TREATMENTS IN OTHER ROOMS ARE TO REMAIN AND BE PROTECTED.
- EXISTING WALL SOUNGE LIGHT FIXTURE IN EACH RESIDENT ROOM TO BE REMOVED TO MAKE WAY FOR INSTALLATION OF VRF UNIT.

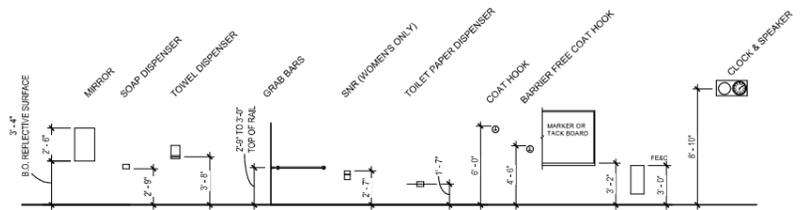
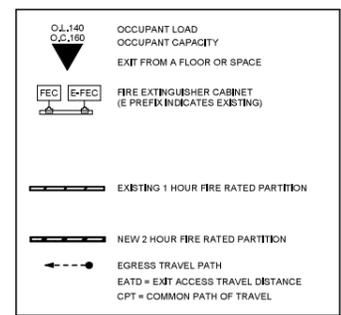
CEILING NOTES

- CEILING PLANS DO NOT SHOW EVERY FEATURE OR COMPONENT, REFER TO ELECTRICAL, PLUMBING, MECHANICAL AND STRUCTURAL DRAWINGS FOR EXTENT OF ALL CEILING PENETRATIONS AND INSTALLATIONS AND COORDINATE PRIOR TO INSTALLATION.
- CENTER GRID LAYOUT IN ALL ROOMS UNLESS NOTED OTHERWISE.
- ALL COMPONENTS MOUNTED IN OR BELOW A SUSPENDED ACOUSTIC CEILING SHALL BE CENTERED IN THE CEILING TILE OR IN THE 2X2 PORTION OF REGULAR CEILING TILES, UNLESS NOTED OTHERWISE, THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, LIGHT FIXTURES, DIFFUSERS, SPEAKERS, SMOKE DETECTORS, AND SPRINKLER HEADS.
- PRIOR TO THE INSTALLATION OF

BUILDING CODE SUMMARY		
AHJ: CASTINE, ME		
PREVAILING CODES		
BUILDING	2015 INTERNATIONAL BUILDING CODE W MAINE AMENDMENTS, 2015 INTERNATIONAL EXISTING BUILDING CODE W MAINE AMENDMENTS, & 2018 NFPA 101	
FIRE	2018 NFPA 1	
ENERGY	2015 INTERNATIONAL ENERGY CONSERVATION CODE	
MECHANICAL	MAINE UNIFORM BUILDING & ENERGY CODE, 2015 INTERNATIONAL MECHANICAL CODE	
PLUMBING	2021 UNIFORM PLUMBING CODE W MAINE AMENDMENTS	
ACCESSIBILITY	2010 ADA STANDARDS FOR ACCESSIBLE DESIGN 2009 ICC-ANSI A117.1 ACCESSIBLE AND USEABLE BUILDINGS AND FACILITIES	
BUILDING CODE ANALYSIS		
COMPLIANCE PATH	IEBC/IBC WORK AREA COMPLIANCE PATH: ALTERATION LEVEL 2, SECTION 504	NFPA 101 MODIFICATION, CHAPTER 43: SECTION 43.2.2.1.3
OCCUPANCY	EXISTING MIXED-USE, NON-SEPARATED OCCUPANCY: R2 (RESIDENTIAL), B (BUSINESS), A3 (ASSEMBLY), M (MERCANTILE), U (UTILITY), ACCESSORY STORAGE, SECTION 302 NO CHANGE OF OCCUPANCY CLASSIFICATION.	MIXED-USE, NON-SEPARATED, EXISTING ASSEMBLY (CHAPTER 13), EXISTING DORMITORY (CHAPTER 29), EXISTING APARTMENTS (CHAPTER 31), EXISTING MERCANTILE (CHAPTER 37), EXISTING BUSINESS (CHAPTER 39)
AREA SQUARE FOOTAGE	Approx. 168,728 SF (GROSS)	
EXISTING CONSTRUCTION TYPE	II-B NON-COMBUSTIBLE, UNPROTECTED, CHAPTER 6, EXISTING USE RESEMBLES THIS CATEGORY, NEW CONSTRUCTION WILL COMPLY	II (0,0,0) NON-COMBUSTIBLE, UNPROTECTED, NFPA 220 EXISTING USE RESEMBLES THIS CATEGORY, NEW CONSTRUCTION WILL COMPLY
AUTOMATIC SPRINKLER SYSTEMS	SUPERVISED - AUTOMATIC SPRINKLER SYSTEM DESIGNED AND INSTALLED PER NFPA 13, TABLE 903	SUPERVISED - AUTOMATIC SPRINKLER SYSTEM DESIGNED AND INSTALLED PER NFPA 13
FIRE ALARM SYSTEMS	FIRE ALARM SYSTEM	FIRE ALARM SYSTEM
OCCUPANT LOAD CALCULATION	IBC TABLE 1004.1.2	NFPA TABLE 7.3.1.2
ILLUMINATED EXIT SIGNS	REQUIRED PER SECTION 1013	REQUIRED PER SECTION 7.10.5
COMMON PATH OF TRAVEL	B: 100 FT, A: M: 75 FT, R2: 125 FT, S: 100 FT, U: 75 FT - TABLE 1006.2.1	BUSINESS: 100 FT, ASSEMBLY: 20 FT, DORMITORY & APARTMENT: 50 FT, MERCANTILE: 100 FT - TABLE A.7.6
SPACES WITH ONE MEANS OF EGRESS	MAX OCCUPANTS - B, A, M, U: 46, R2: 10, S: 29, TABLE 1006.2.1	PERMITTED PER SECTION 7.4.1.1
EXIT ACCESS TRAVEL DISTANCE	B: 300 FT, A, M, R: 250 FT, S2, U: 400 FT, TABLE 1017.2	BUSINESS: 300 FT, DORMITORY & APARTMENT: 325 FT, ASSEMBLY: 250, MERCANTILE: 250 FT - TABLE A.7.8
MIN. EXIT SEPARATION (SPRINKLERED)	1/3 LENGTH OF MAX. DIAG. BUILDING DISTANCE, SECTION 1007	1/3 LENGTH OF MAX. DIAG. BUILDING DISTANCE, SECTION 7.5.1.3.3
EGRESS WIDTHS	MEANS OF EGRESS CAPACITY FACTOR: .2" PER OCCUPANT, SECTION 1005	MEANS OF EGRESS CAPACITY FACTOR: .2" PER OCCUPANT OR 28" MINIMUM, TABLE 7.3.3.1
MAXIMUM DEAD END	50 FT, SECTION 1020.4	50 FT, TABLE A.7.6
		EXISTING AND IN COMPLIANCE
		EXISTING AND IN COMPLIANCE
		EXIT CAPACITY SHOWN ON PLANS

NOTE: SEE MEP DRAWINGS FOR ANY PENETRATIONS OF RATED PARTITIONS - ALL PENETRATIONS OF RATED PARTITIONS REQUIRE PENETRATION FIRESTOPPING

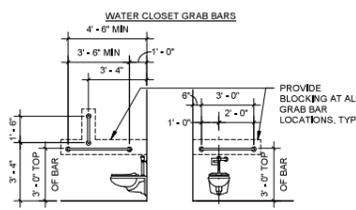
2009 INTERNATIONAL ENERGY CONSERVATION CODE / 2013 ASHRAE 90.1	
CASTINE, ME is climate zone 6A	
This is an existing building. The only changes to the exterior envelope include new doors, windows, and storefront systems.	
BUILDING ENVELOPE REQUIREMENTS - FENESTRATION	Table 502.3
	U VALUE TABLE 502.3
FRAMING MATERIALS OTHER THAN METAL WITH OR WITHOUT METAL REINFORCEMENT OR CLADDING	U-0.25
METAL FRAMING WITH OR WITHOUT THERMAL BREAK	U-0.45
CURTAIN WALL/STOREFRONT	U-0.80
ENTRANCE DOOR	U-0.25
ALL OTHER	
SHGC - ALL FRAME TYPES	U-0.40
SHGC: PF < 0.25	NR
SHGC: 0.25 LESS THAN OR EQUAL TO PF < 0.5	NR
SHGC: PF GREATER THAN OR EQUAL TO 0.5	NR



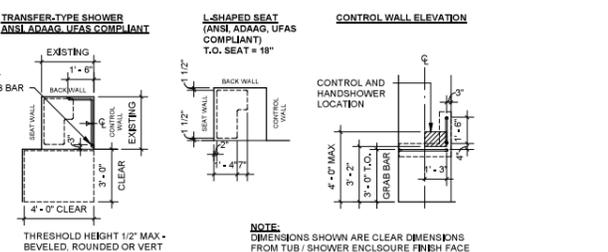
- MOUNTING HEIGHT GENERAL NOTES:**
- SEE MECHANICAL, ELECTRICAL, AND TECHNOLOGY DRAWINGS FOR SPECIFIC FIXTURE OR DEVICE LOCATION AND DESIGNATION AND ADDITIONAL MOUNTING REQUIREMENTS.
 - COORDINATE LOCATION OF ALL RECEPTACLES, FIXTURES OR DEVICES WITH INTERIOR ELEVATIONS AND CASEWORK LOCATIONS.
 - REFER TO MANUFACTURER'S INSTRUCTIONS FOR SPECIFIC ADA REQUIRED MOUNTING HEIGHTS AS APPLICABLE.
 - PROVIDE BLOCKING IN STUD WALL ASSEMBLIES AS REQUIRED.

A6 TYPICAL MOUNTING HEIGHTS
3/16" = 1'-0"

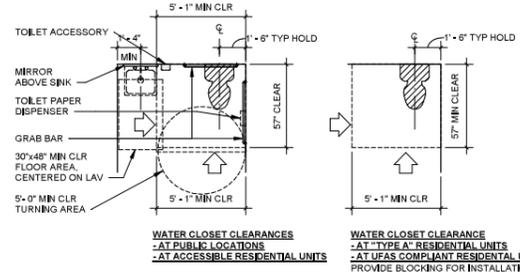
WATER CLOSET GRAB BARS REQUIREMENTS



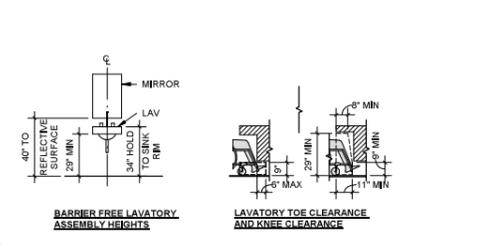
SHOWER AND TUB REQUIREMENTS



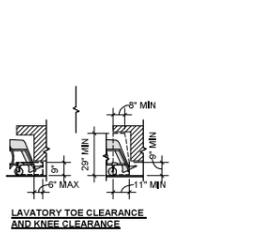
WATER CLOSET CLEARANCES



BARRIER FREE LAVATORY HEIGHTS



LAVATORY TOE & KNEE CLEARANCE



A6 ACCESSIBILITY STANDARD
1/4" = 1'-0"

No.	Date	Description
		Revision Schedule

NOT FOR CONSTRUCTION

JOB NO. 078982

ISSUE
100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING
11/22/2023

TITLE CODE SUMMARY, TYPICAL MOUNTING HEIGHTS

SHEET

A000.2

No.	Date	Description
Revision Schedule		

NOT FOR
CONSTRUCTION

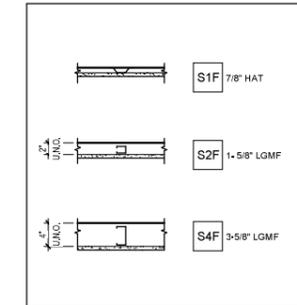
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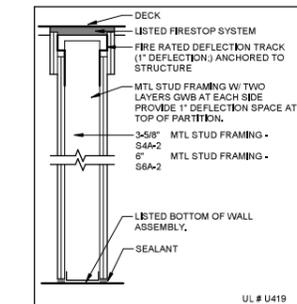
TITLE
TYPICAL
ASSEMBLIES

SHEET
A000.3

- WALL SYSTEMS**
- REFER TO STRUCTURAL DRAWINGS FOR NOTES ON MASONRY REINFORCEMENT.
 - ALL NEW OPENINGS, GREATER THAN 12" FOR BRICK-SIZE AND 24" FOR BLOCK-SIZE, INTO MASONRY WALLS SHALL RECEIVE A LITTEL. REFER TO THE STRUCTURAL DRAWINGS FOR LITTEL REQUIREMENTS, REFER TO MECHANICAL, ELECTRICAL, & PLUMBING PLANS FOR NUMBER, LOCATION, AND SIZE OF APPLICABLE PENETRATIONS.
 - FILL ALL CMU VOIDS WITH MORTAR OR GROUT AT ALL DOOR JAMBS.
 - ALL PARTITIONS SHALL EXTEND FROM SUB-FLOOR OR SLAB TO UNDERSIDE OF FLOOR OR ROOF DECK ABOVE, UNLESS NOTED OTHERWISE.
 - GYPSUM BOARD APPLIED TO WALLS SHALL BE APPLIED WITH THE BOTTOM EDGE SPACED NOT LESS THAN 14" ABOVE THE FLOOR, INSTALL A CONTINUOUS BEAD OF ACOUSTICAL SEALANT UNDER EACH LAYER OF GWB AT THE INTERSECTION WITH FLOOR, ON EACH SIDE OF THE WALL.
 - ALL TOP-OF-WALL CONDITIONS SHALL BE SEALED TO THE DECK ABOVE, UNLESS NOTED OTHERWISE. MAINTAIN THE REQUIRED FIRE RATINGS, SMOKE RATINGS, AND ACOUSTICAL RATINGS, COORDINATE THE TOP OF WALL CONSTRUCTION WITH THE STRUCTURAL FRAMING.
 - INSTALL BLOCKING BEHIND ALL SURFACE-APPLIED FIXTURES, TRIM, GRAB BARS, SHELVES, CHAIR RAILS, PICTURE RAILS, BASE MOLDINGS, TACK OR MARKER BOARDS, WINDOW TREATMENT, WALL OR BASE CABINETS OR COUNTERTOPS, AND MISCELLANEOUS ACCESSORIES MOUNTED ON STUD WALLS.
 - FOR EXISTING WALLS SUPPORTING NEW ITEMS, VERIFY THE WALL TYPE PRIOR TO PERFORMING THE WORK TO DETERMINE APPROPRIATE TYPE OF ANCHOR UNLESS INDICATED OTHERWISE, CONSULT ARCHITECT FOR CLARIFICATION IF NEEDED.
 - INSTALL MOISTURE RESISTANT (MR) GWB IN TOILET ROOMS, JANITOR'S CLOSETS, SHOWER ROOMS, LOCKER ROOMS, KITCHENS, DARKROOMS, ALL WALL AREAS WITHIN 8 FEET OF SINKS, AND OTHER DAMP OR HIGH HUMIDITY AREAS.
 - PROVIDE WOOD-PRESERVATIVE TREATED LUMBER (PRESSURE TREATED) AT ALL EXTERIOR WOOD FRAMING IN CONTACT WITH CONCRETE, WITHIN 18" OF THE GROUND, OR EXPOSED TO THE WEATHER SHALL BE.
 - VERIFY ALL COLD-FORMED METAL FRAMING AND CONNECTION REQUIREMENTS WITH ENGINEER OF EXTERIOR FRAMING SYSTEM.
 - ALL INTERIOR LIGHT GAGE METAL FRAMING IS 6", UNLESS NOTED OTHERWISE.
 - ALL CMU IS 8"x8"x16" (NOMINAL), UNLESS NOTED OTHERWISE.
 - LOCATE CONTROL JOINTS IN MASONRY AS SHOWN, OR IF NOT SHOWN, IN ACCORDANCE WITH ACES/ACES30.1, UNLESS NOTED OTHERWISE.
 - ALL COLD-FORMED METAL FRAMING CAVITIES SHALL BE FIRE STOPPED WITH A 1-HOUR SEPARATION AT EACH FLOOR LEVEL.
 - PROVIDE ACOUSTICAL INSULATION AT ALL INTERIOR STUD WALL ASSEMBLIES UNLESS NOTED OTHERWISE.
 - IDENTIFY ALL FIRE-RATED PARTITIONS BY STENCILING THE RATING ON EACH SIDE OF THE RATED WALLS ABOVE THE CEILING LINE WITH 4" HIGH LETTERS IN RED OR ORANGE PAINT; EACH RATED WALL SHALL BE IDENTIFIED AT LEAST ONCE AND AT A SPACING NOT GREATER THAN 12 FEET ON CENTER.

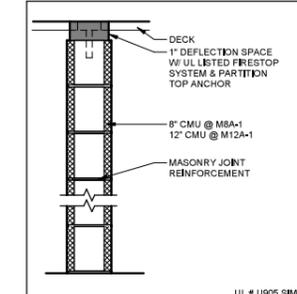


METAL STUD FURRING
EXTEND GWB 3" ABOVE
FIN, CLG, U.N.C.



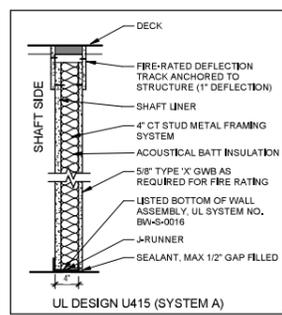
METAL STUD
FULL HEIGHT
2-HOUR FIRE-RATED

S4A-2
S6A-2



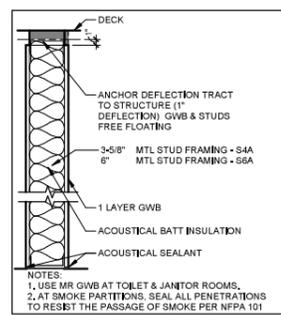
CMU PARTITION
FULL HEIGHT
1-HOUR FIRE-RATED

M8A-1
M12A-1



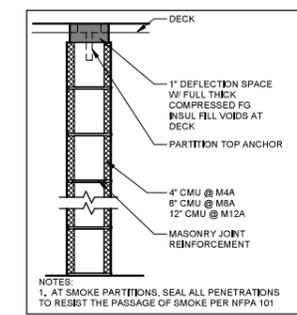
SHAFT WALL SYSTEM
1-HOUR FIRE RATED

SW4-1



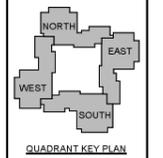
METAL STUD PARTITION
FULL HEIGHT

S4A
S6A



CMU PARTITION
FULL HEIGHT

M4A
M8A
M12A



No.	Date	Description
Revision Schedule		

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CONSTRUCTION

JOB NO.
078982

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CONSTRUCTION
DOCUMENTS -
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11/22/2023

TITLE
PHASE 1 - LIFE
SAFETY PLANS

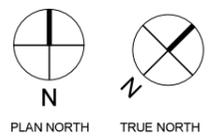
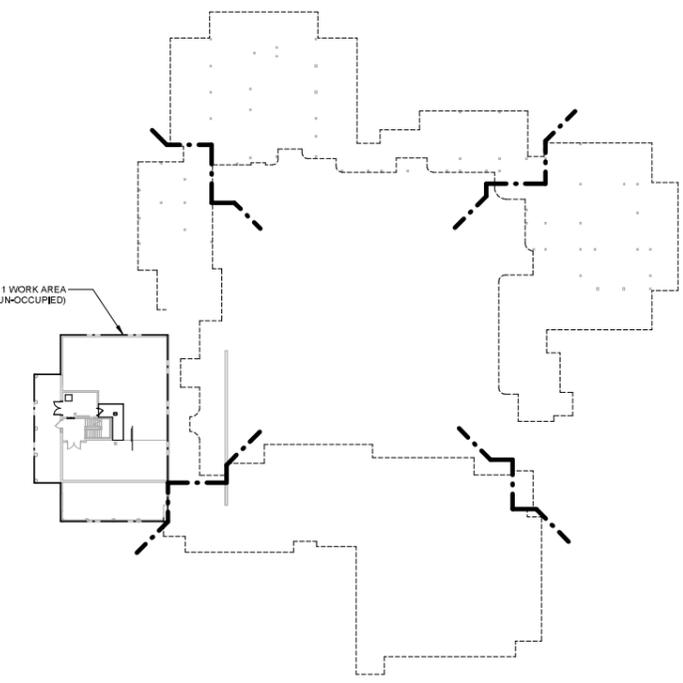
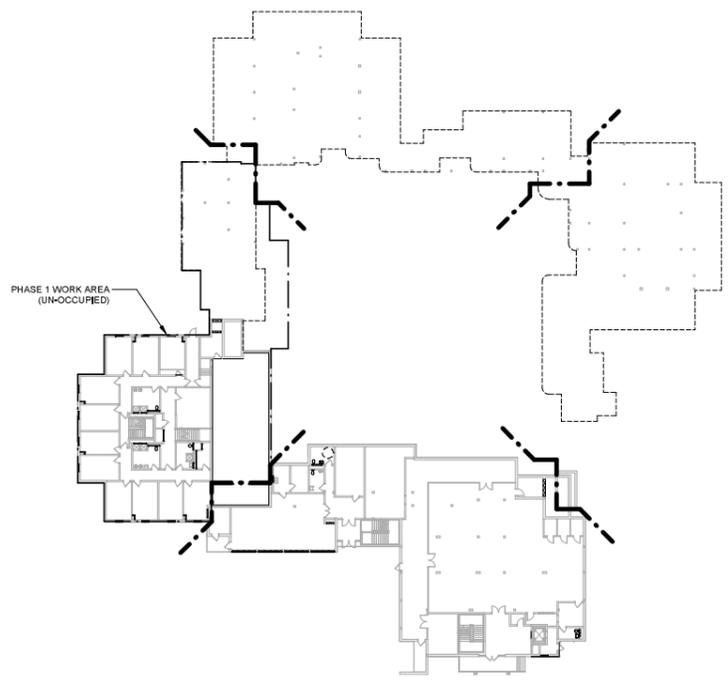
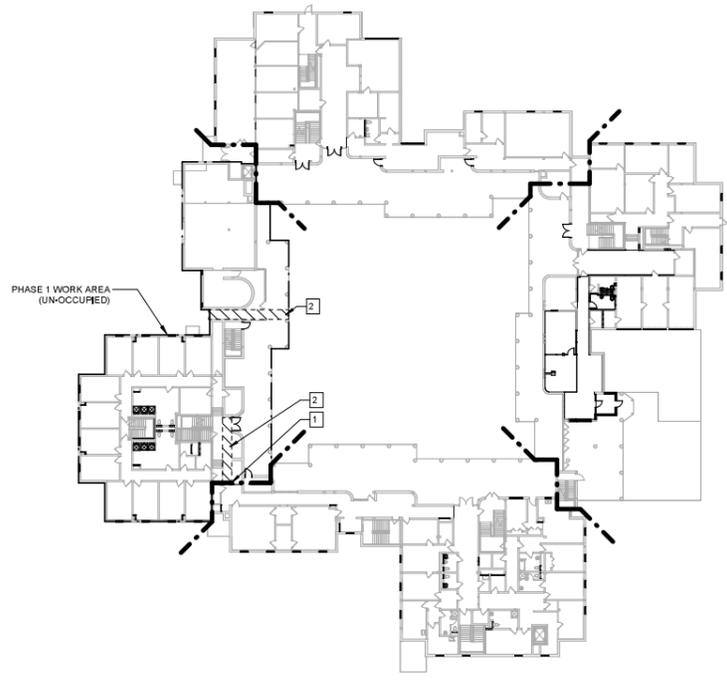
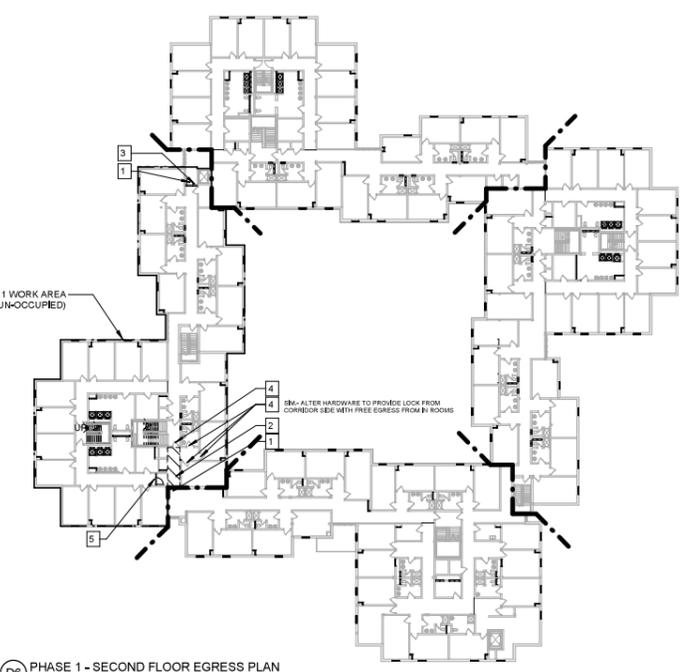
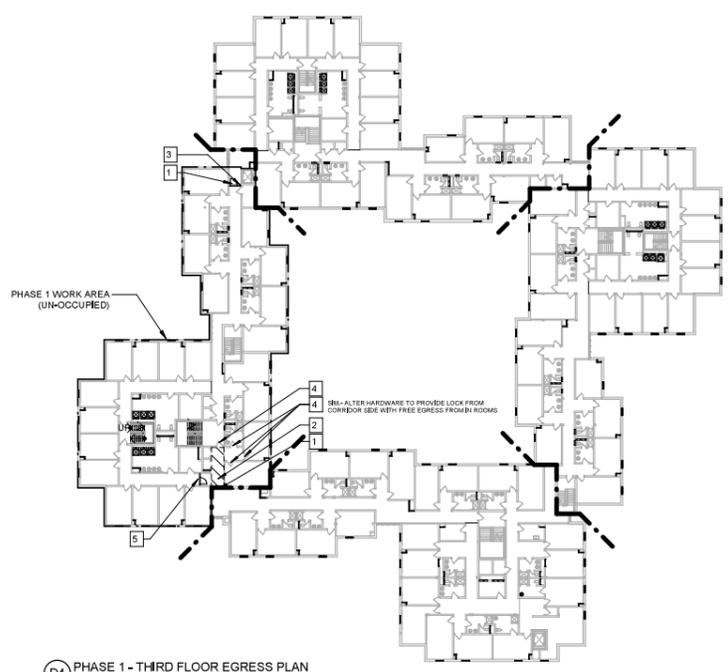
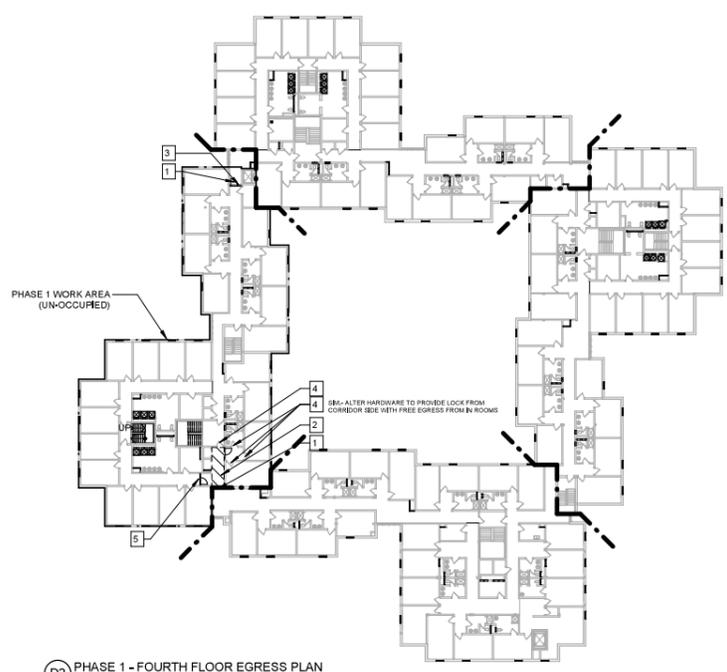
SHEET
A001

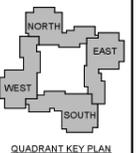
- CONSTRUCTION PHASING EGRESS PLANS KEYNOTE LEGEND**
- 1 TEMP EGRESS DOOR AND WALL
 - 2 TEMP EMERGENCY EGRESS PATH
 - 3 TEMP PARTITION, 1-HR FIRE RATED
 - 4 CONFIGURE EXISTING HARDWARE TO BE LOCKED FROM STAIR SIDE, WITH FREE EGRESS FROM CORRIDOR SIDE
 - 5 TEMPORARY DOOR AND WALL TO CONTROL UNAUTHORIZED ACCESS FROM OCCUPIED SPACES AND ALLOW FOR EGRESS FROM CONSTRUCTION AREA.

CONSTRUCTION PHASING EGRESS PLANS GENERAL NOTES

1. PROVIDE TEMPORARY EMERGENCY EGRESS DOORS AND WALL AT LOCATIONS INDICATED.
2. TEMP EGRESS DOORS TO HAVE PANIC BAR, LOCAL AUDIBLE ALARM.
3. PROVIDE ILLUMINATED EXIT SIGN TO STAIR TOWER DOOR WITHIN ACTIVE CONSTRUCTION AREA AT ENTRY TO EGRESS STAIR.
4. MAINTAIN CLEAR CORRIDOR IN EMERGENCY EGRESS AREA WITHIN ACTIVE CONSTRUCTION AREA, PROVIDE SIGNAGE INSTRUCTING SUBS TO MAINTAIN A CLEAR EGRESS PATH.

GENERAL NOTE: REFER TO SPECIFICATIONS FOR TEMPORARY CONSTRUCTION PHASING REQUIREMENTS.





QUADRANT KEY PLAN

No.	Date	Description
Revision Schedule		

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11/22/2023

TITLE
PHASE 2 - LIFE
SAFETY PLANS

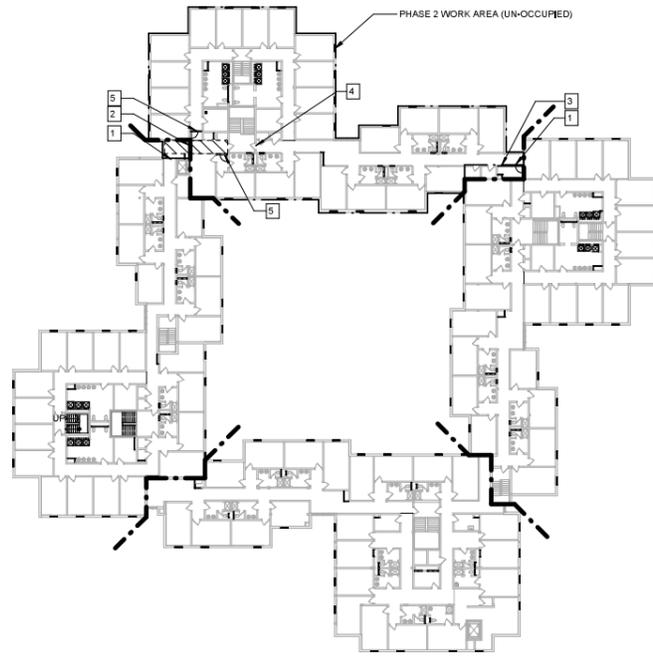
SHEET
A002

- CONSTRUCTION PHASING EGRESS PLANS KEYNOTE LEGEND**
- 1 TEMP EGRESS DOOR AND WALL
 - 2 TEMP EMERGENCY EGRESS PATH
 - 3 TEMP PARTITION, 1-HR FIRE RATED
 - 4 CONFIGURE EXISTING HARDWARE TO BE LOCKED FROM STAIR SIDE WITH FREE EGRESS FROM CORRIDOR SIDE
 - 5 TEMPORARY DOOR AND WALL TO CONTROL UNAUTHORIZED ACCESS FROM OCCUPIED SPACES AND ALLOW FOR EGRESS FROM CONSTRUCTION AREA,

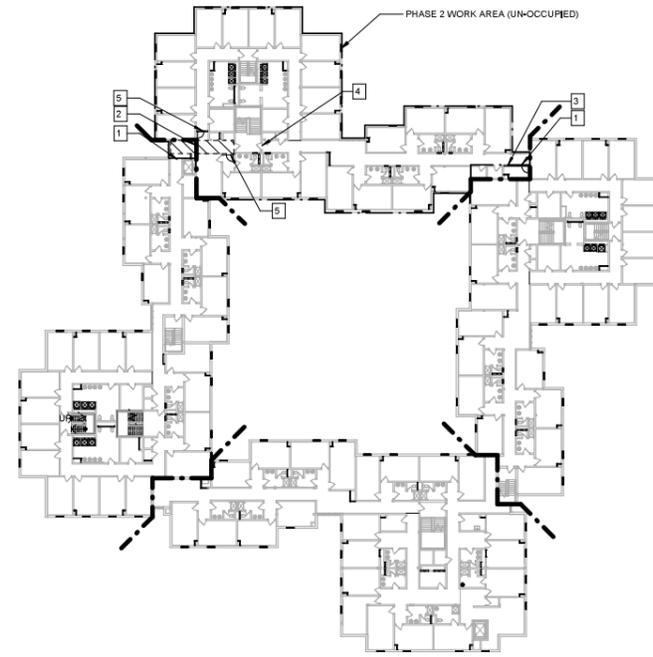
CONSTRUCTION PHASING EGRESS PLANS GENERAL NOTES

1. PROVIDE TEMPORARY EMERGENCY EGRESS DOORS AND WALL AT LOCATIONS INDICATED.
2. TEMP EGRESS DOORS TO HAVE PANIC BAR, LOCAL AUDIBLE ALARM.
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4. MAINTAIN CLEAR CORRIDOR IN EMERGENCY EGRESS AREA WITHIN ACTIVE CONSTRUCTION AREA. PROVIDE SIGNAGE INSTRUCTING SUBS TO MAINTAIN A CLEAR EGRESS PATH.

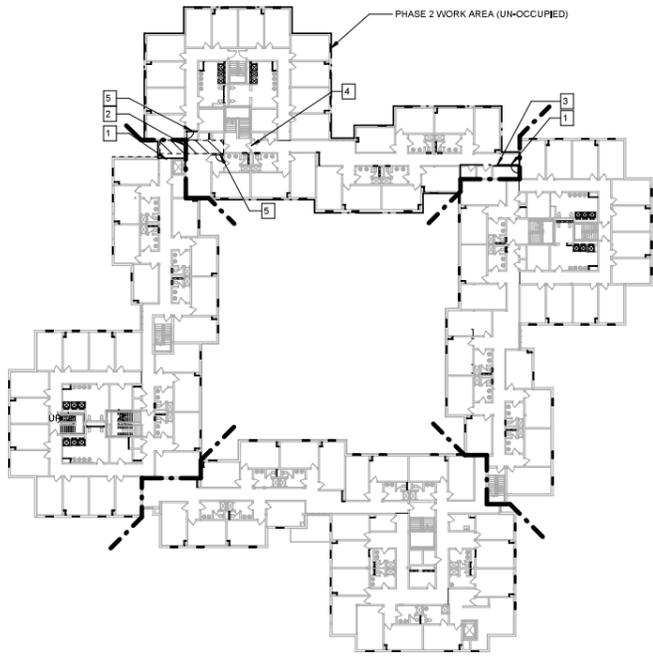
GENERAL NOTE: REFER TO SPECIFICATIONS FOR TEMPORARY CONSTRUCTION PHASING REQUIREMENTS.



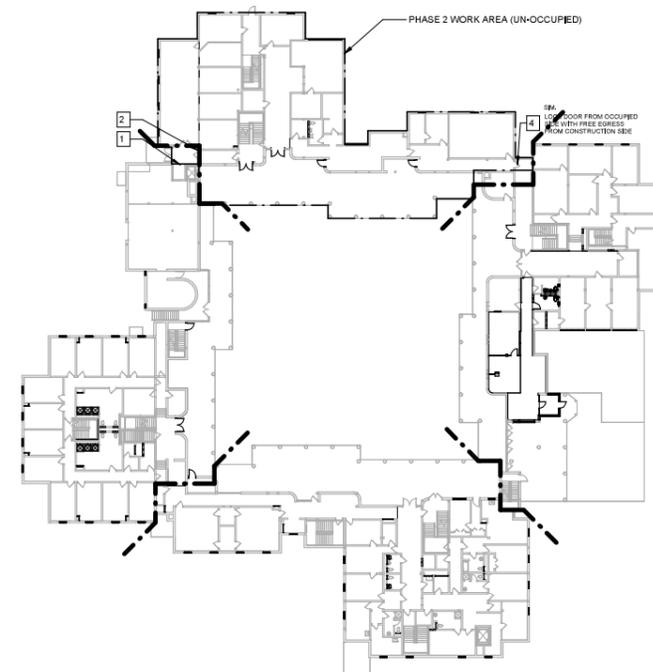
D2 PHASE 2 - FOURTH FLOOR EGRESS PLAN
1/32" = 1'-0"



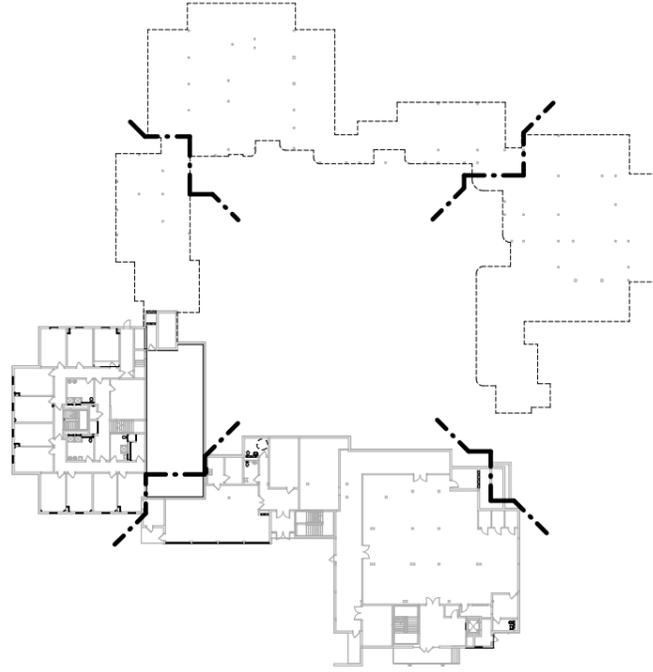
D4 PHASE 2 - THIRD FLOOR EGRESS PLAN
1/32" = 1'-0"



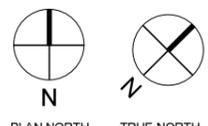
D6 PHASE 2 - SECOND FLOOR EGRESS PLAN
1/32" = 1'-0"

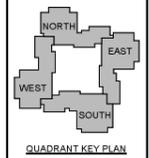


A2 PHASE 2 - FIRST FLOOR EGRESS PLAN
1/32" = 1'-0"



A4 PHASE 2 - INTERMEDIATE FLOOR EGRESS PLAN
1/32" = 1'-0"





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Revision Schedule		

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078982

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11/22/2023

TITLE
PHASE 3 - LIFE
SAFETY PLANS

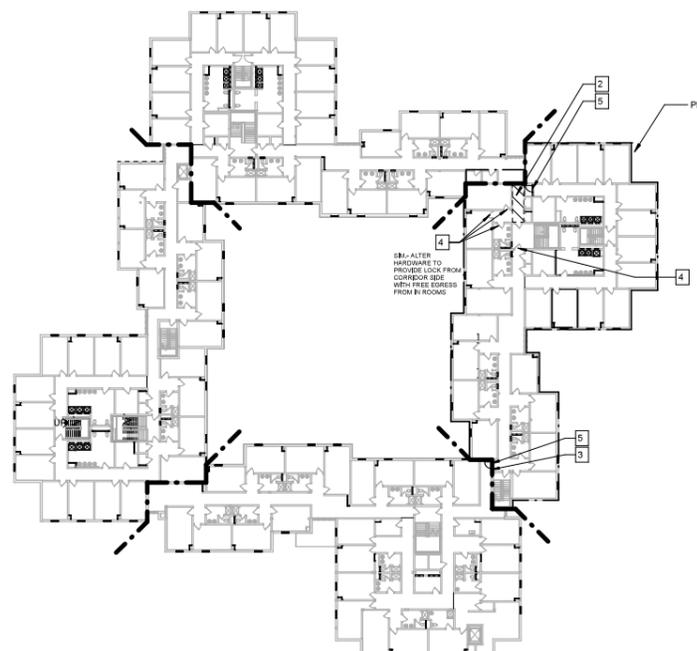
SHEET
A003

- CONSTRUCTION PHASING EGRESS PLANS KEYNOTE LEGEND**
- 1 TEMP EGRESS DOOR AND WALL
 - 2 TEMP EMERGENCY EGRESS PATH
 - 3 TEMP PARTITION, 1-HR FIRE RATED
 - 4 CONFIGURE EXISTING HARDWARE TO BE LOCKED FROM STAIR SIDE, WITH FREE EGRESS FROM CORRIDOR SIDE
 - 5 TEMPORARY DOOR AND WALL TO CONTROL UNAUTHORIZED ACCESS FROM OCCUPIED SPACES AND ALLOW FOR EGRESS FROM CONSTRUCTION AREA

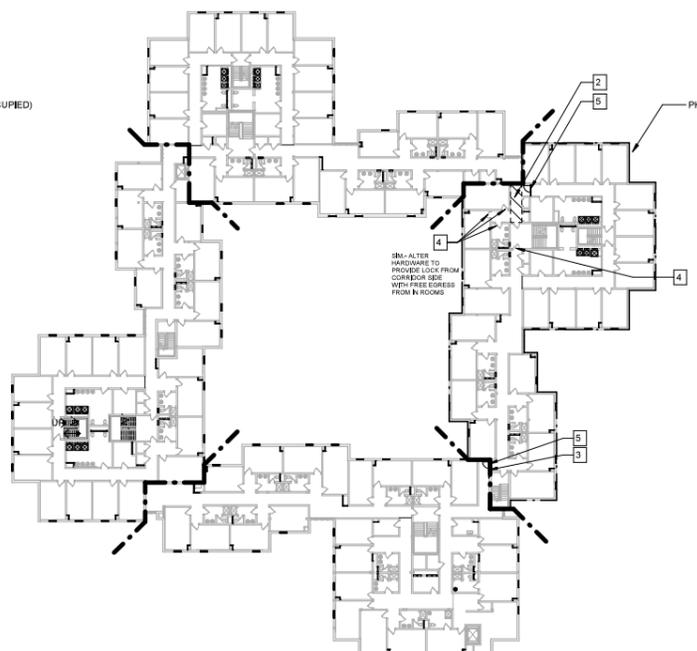
CONSTRUCTION PHASING EGRESS PLANS GENERAL NOTES

1. PROVIDE TEMPORARY EMERGENCY EGRESS DOORS AND WALL AT LOCATIONS INDICATED
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4. MAINTAIN CLEAR CORRIDOR IN EMERGENCY EGRESS AREA WITHIN ACTIVE CONSTRUCTION AREA. PROVIDE SIGNAGE INSTRUCTING SUBS TO MAINTAIN A CLEAR EGRESS PATH.

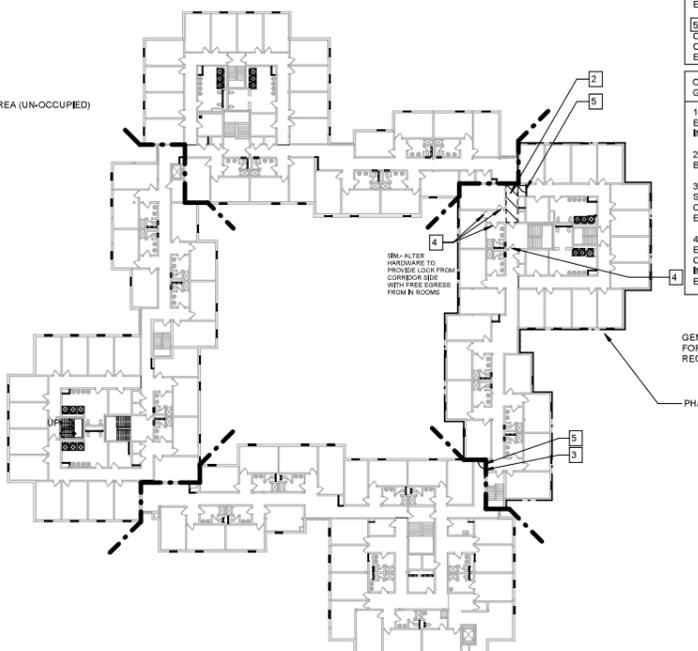
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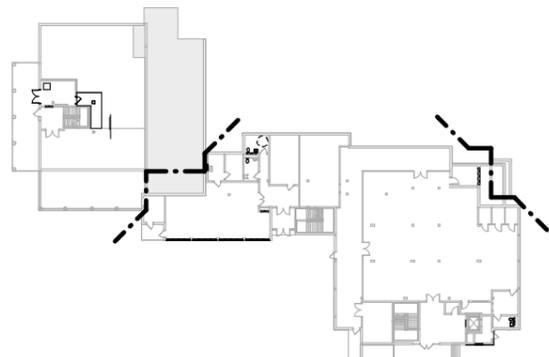
3 PHASE 3 - SECOND FLOOR EGRESS PLAN
1/32" = 1'-0"



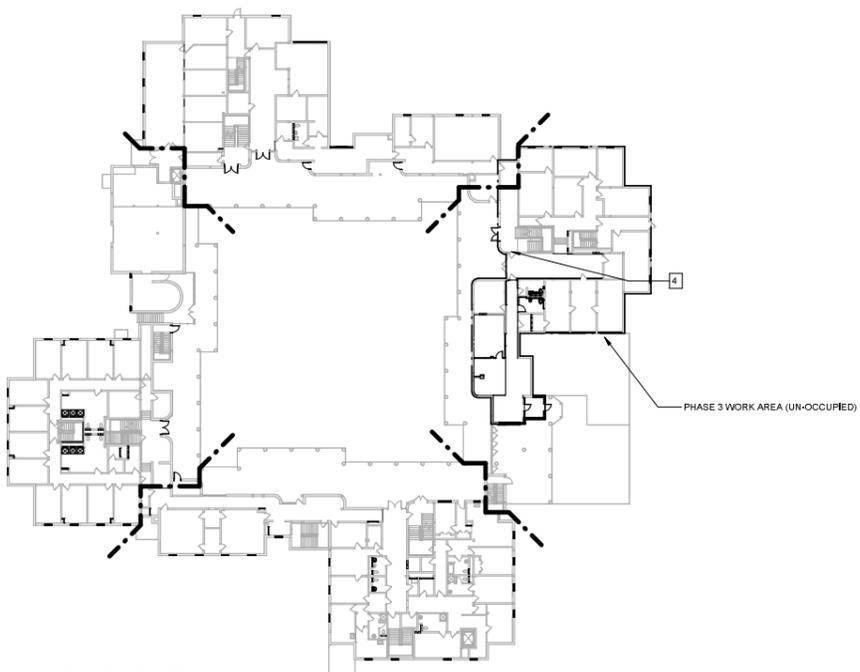
4 PHASE 3 - THIRD FLOOR EGRESS PLAN
1/32" = 1'-0"



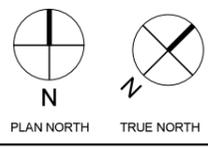
5 PHASE 3 - FOURTH FLOOR EGRESS PLAN
1/32" = 1'-0"

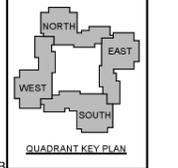


A4 PHASE 3 - INTERMEDIATE FLOOR EGRESS PLAN
1/32" = 1'-0"



A2 PHASE 3 - FIRST FLOOR EGRESS PLAN
1/32" = 1'-0"





No.	Date	Description
Revision Schedule		

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CONSTRUCTION**

JOB NO.
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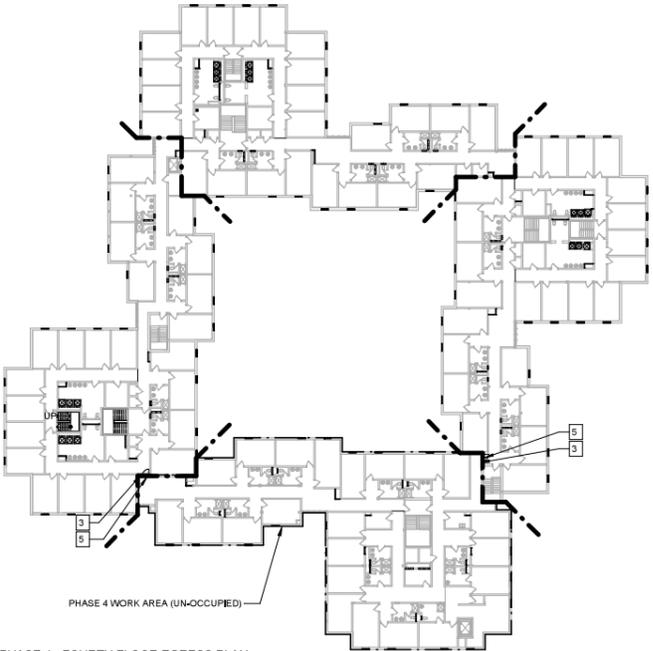
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11/22/2023

TITLE
PHASE 4 - LIFE
SAFETY PLANS

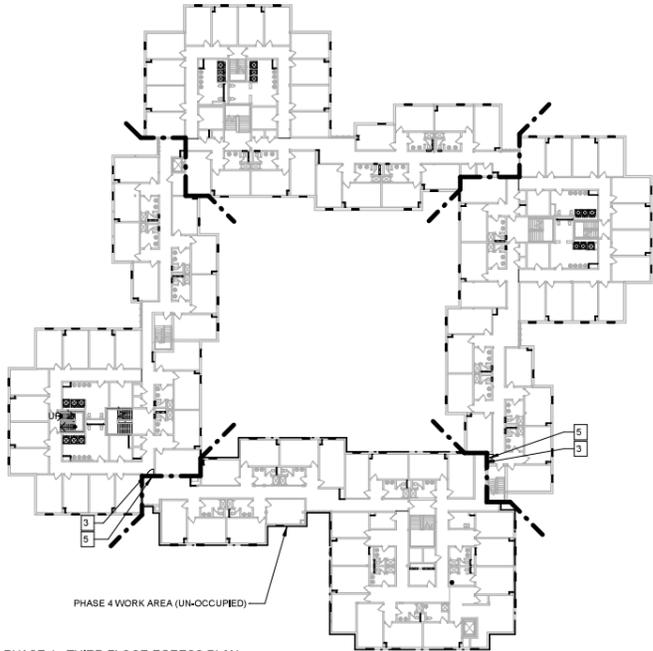
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- CONSTRUCTION PHASING EGRESS PLANS KEYNOTE LEGEND**
- 1 TEMP EGRESS DOOR AND WALL
 - 2 TEMP EMERGENCY EGRESS PATH
 - 3 TEMP PARTITION, 1-HR FIRE RATED
 - 4 CONFIGURE EXISTING HARDWARE TO BE LOCKED FROM STAR SIDE WITH FREE EGRESS FROM CORRIDOR SIDE
 - 5 TEMPORARY DOOR AND WALL TO CONTROL UNAUTHORIZED ACCESS FROM OCCUPIED SPACES AND ALLOW FOR EGRESS FROM CONSTRUCTION AREA.
- CONSTRUCTION PHASING EGRESS PLANS GENERAL NOTES**
1. PROVIDE TEMPORARY EMERGENCY EGRESS DOORS AND WALL AT LOCATIONS INDICATED.
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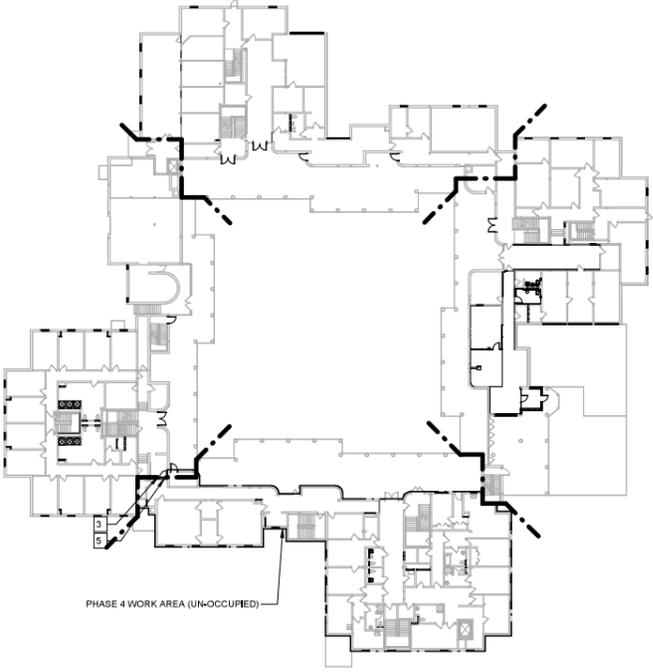
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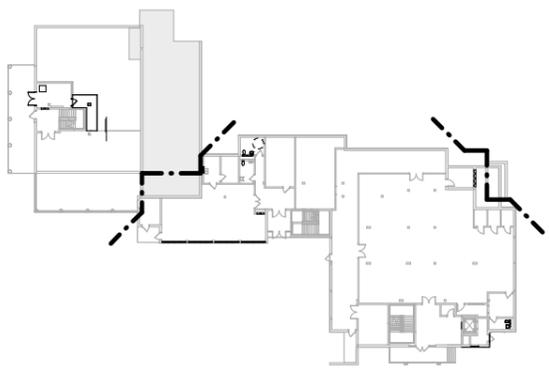
D2 PHASE 4 - FOURTH FLOOR EGRESS PLAN
1/32" = 1'-0"



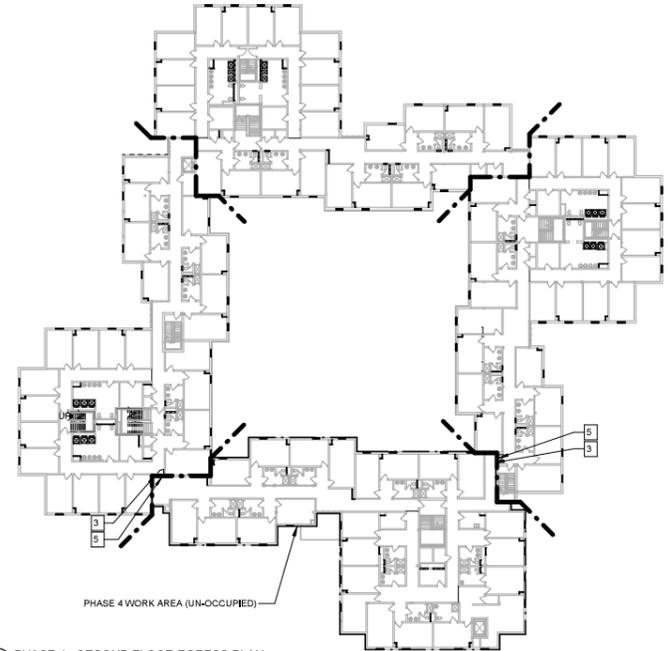
D4 PHASE 4 - THIRD FLOOR EGRESS PLAN
1/32" = 1'-0"



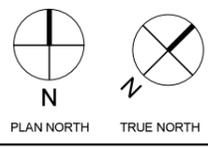
A2 PHASE 4 - FIRST FLOOR EGRESS PLAN
1/32" = 1'-0"

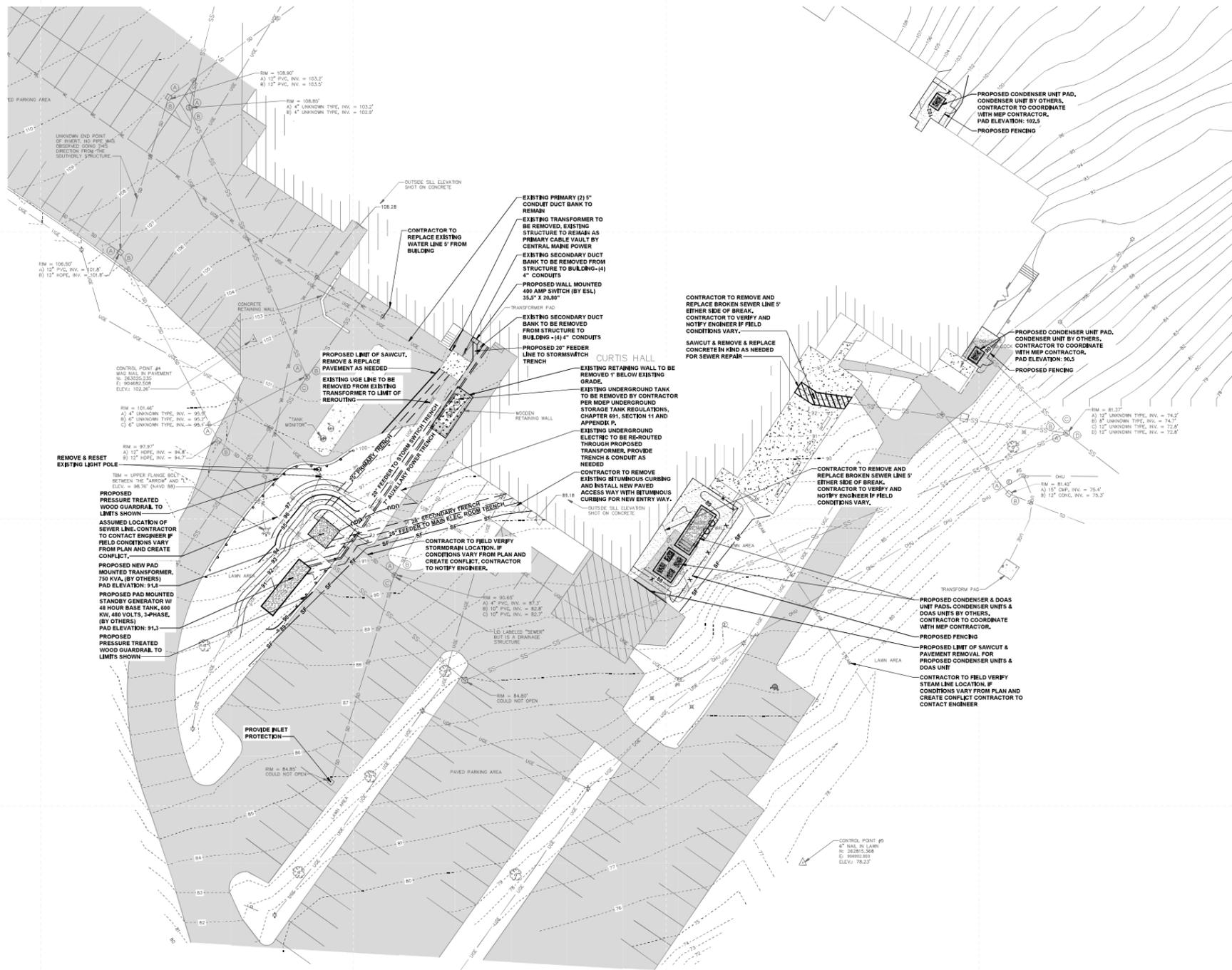


A4 PHASE 4 - INTERMEDIATE FLOOR EGRESS PLAN
1/32" = 1'-0"



D6 PHASE 4 - SECOND FLOOR EGRESS PLAN
1/32" = 1'-0"



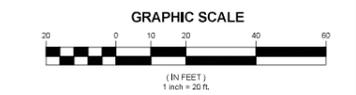


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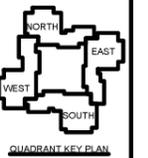
LEGEND:

DESCRIPTION	EXISTING	PROPOSED
BENCHMARK		
SURVEY STATION		
SEWER MANHOLE		
UTILITY POLE		
SGN		
CATCH BASIN		
HYDRANT		
DRAINAGE MANHOLE		
CONDENSER UNIT		
DOAS UNIT		
EDGE OF PAVEMENT		
MAJOR FOOT CONTOUR		
MINOR FOOT CONTOUR		
WATERLINE		
STORM DRAIN		
SANITARY SEWER		
UTILITY TRENCH LIMITS		
UNDERGROUND UTILITIES		
GUARDRAIL		
S&T FENCE		
ARCHITECTURAL FENCING		
CONCRETE SURFACE		
PAVED SURFACE		
3/4" CRUSHED STONE W/ WEED CONTROL MATTING		
GRASSED AREA		

PLAN REFERENCE:
 REFERENCE IS MADE TO A PLAN ENTITLED "EXISTING CONDITIONS PLAN - CURTIS HALL" PREPARED BY HALEY WARD, INC. ON SEPTEMBER 13, 2023.
 THIS PLAN DEPICTS EXISTING CONDITIONS AS FOUND AND SURVEYED BY HALEY WARD, INC. ON SEPTEMBER 13, 2023.



CURTIS HALL RENOVATIONS
 Maine Maritime Academy, Curtis Hall
 1 Pleasant Street, Castine, Maine 04421



No.	Date	Description
Revision Schedule		

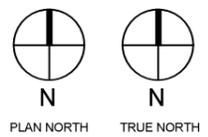
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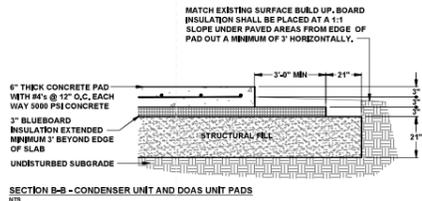
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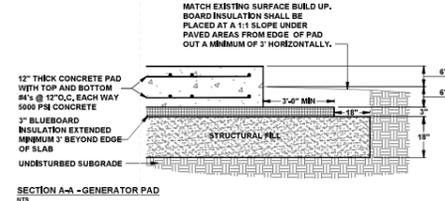


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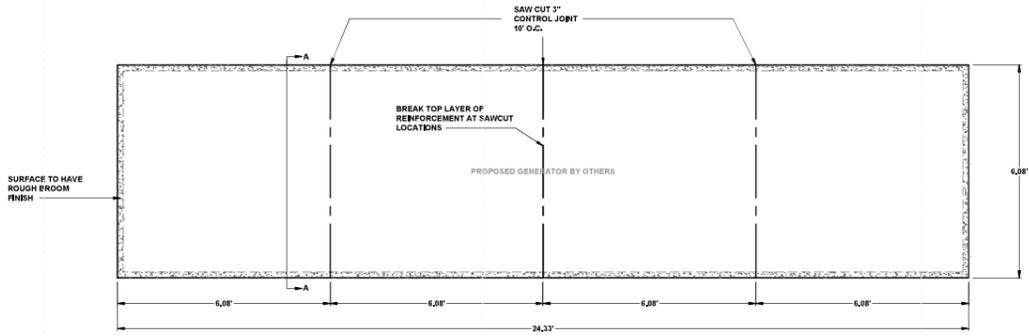
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SECTION B-B - CONDENSER UNIT AND DOAS UNIT PADS
NTS

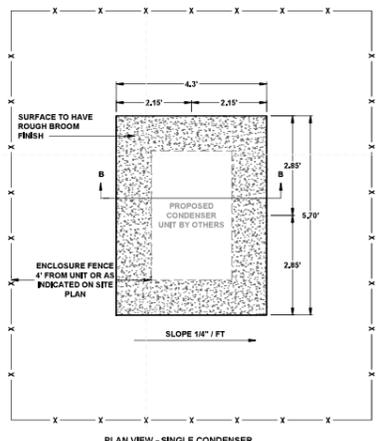


SECTION A-A - GENERATOR PAD
NTS

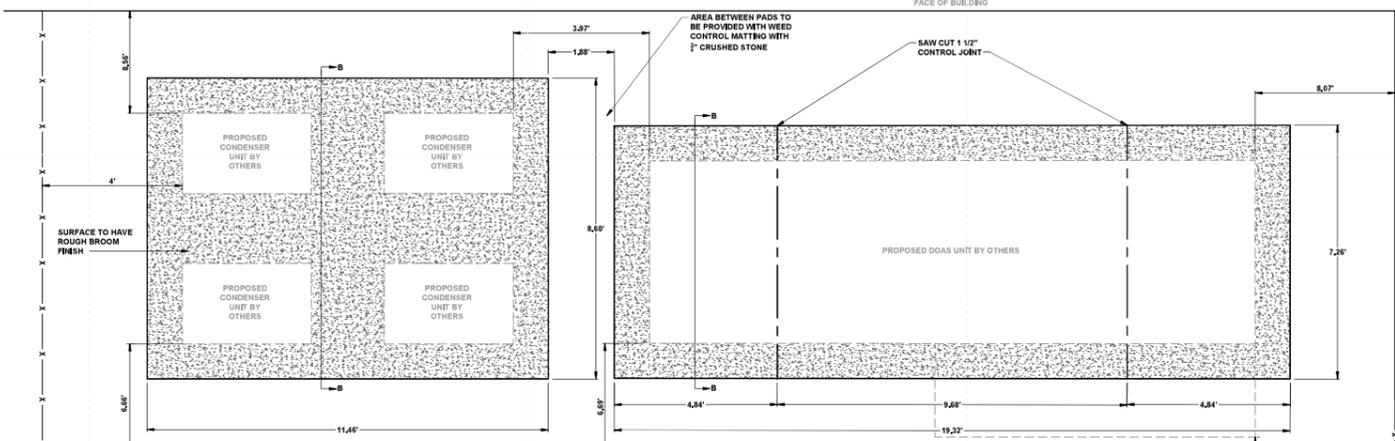


PLAN VIEW - GENERATOR CONCRETE PAD DETAIL
NTS

CONCRETE PAD DETAIL - SECTIONS
NTS

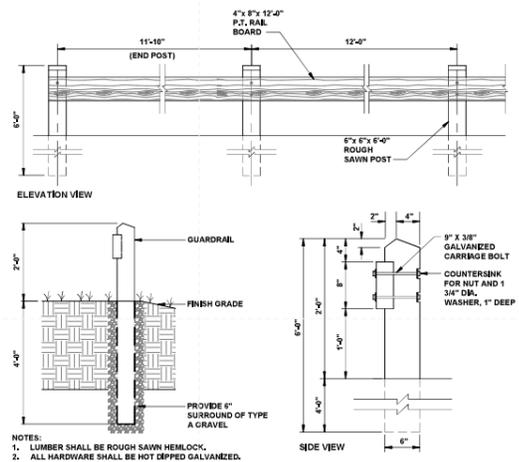


PLAN VIEW - SINGLE CONDENSER PAD DETAIL
NTS

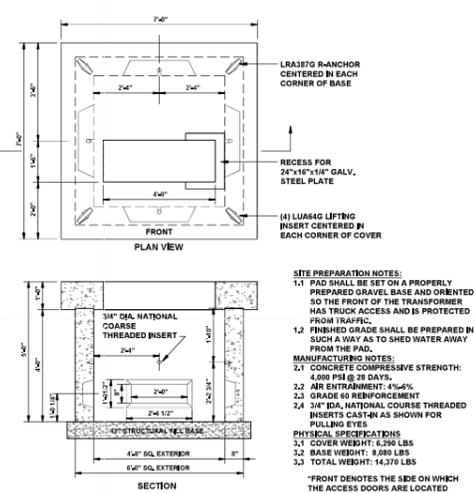


PLAN VIEW - CONDENSER & DOAS CONCRETE PAD DETAIL
NTS

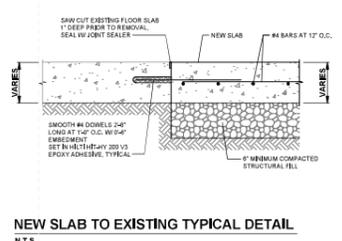
- CONCRETE NOTES:**
- ALL CONCRETE MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE LATEST EDITIONS OF ACI 318 AND ACI 301.
 - CONCRETE EXPOSED TO FREEZING AND THAWING SHALL BE AS FOLLOWS UNLESS NOTED OTHERWISE:
 - A. MINIMUM COMPRESSIVE STRENGTH: 5000 PSI @ 28 DAYS
 - B. CEMENT: ASTM C150 TYPE II
 - C. AGGREGATE: ASTM C33 OR C330
 - D. MAXIMUM AGGREGATE SIZE: 1"
 - E. MAXIMUM WATER-CEMENT RATIO: 0.45
 - F. SLUMP: 2 TO 4 INCHES
 - G. AIR ENTRAINMENT: ASTM C260, 4 TO 6 PERCENT
 - H. WATER REDUCING ADMIXTURE: ASTM C494
 - ADMIXTURES SHALL BE USED IN ACCORDANCE WITH ACI AND THE MANUFACTURERS RECOMMENDATIONS.
 - USE OF CALCIUM CHLORIDE, CHLORIDE IONS OR OTHER SALTS IS NOT PERMITTED.
 - REINFORCING BARS SHALL CONFORM TO ASTM A615, GRADE 60, DEFORMED BARS. REINFORCING BARS TO BE WELDED SHALL BE ASTM A706, GRADE 60, DEFORMED BARS.
 - WELDED WIRE FABRIC SHALL CONFORM TO ASTM A1064.
 - PROVIDE ALL NECESSARY CHAIRS, SPACERS, ETC. WELDED SECURELY TO HOLD REINFORCEMENT IN POSITION. THESE ACCESSORIES SHALL BE PLASTIC BOOTED WHERE CONCRETE IS TO BE EXPOSED TO WEATHER OR MOISTURE.
 - REINFORCING BARS SHALL BE PLACED IN ACCORDANCE WITH THE LATEST EDITION OF THE CRSI "RECOMMENDED PRACTICE FOR PLACING REINFORCING BARS".
 - CONCRETE COVER TO REINFORCING STEEL SHALL CONFORM TO ACI 318.
 - PROVIDE A 2" CHAMFER TO ALL EXPOSED CONCRETE EDGES.
 - WET CURE CONCRETE SLABS FOR A MINIMUM OF 3 DAYS.
 - SAW CUT CONTROL JOINTS SHALL BE 1/8" X 1/4" SLAB DEPTH CUT WITH AN EARLY ENTRY DRY-CUT SAW AS SOON AS THE CONCRETE IS SUFFICIENTLY HARD TO RESIST TEARING AND RAVELLING (1 TO 4 HOURS AFTER FINISHING).
- FROST DEPTH: 5 FEET



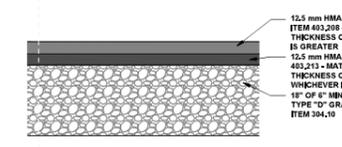
TYPICAL WOODEN GUARDRAIL DETAIL
NTS



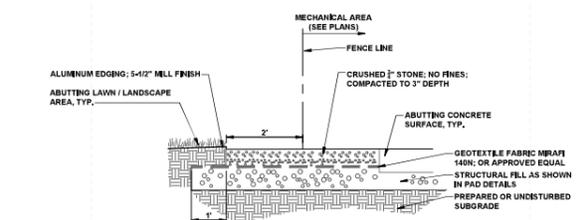
3 PHASE TRANSFORMER PAD DETAIL
NTS



NEW SLAB TO EXISTING TYPICAL DETAIL
NTS

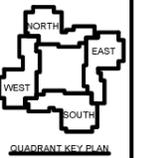


TYPICAL PAVEMENT BUILDUP DETAIL
NTS



WEED CONTROL MATTING & CRUSHED STONE DETAIL
NTS

CURTIS HALL RENOVATIONS
Maine Maritime Academy, Curtis Hall
1 Pleasant Street, Castine, Maine 04421



No.	Date	Description
Revision Schedule		

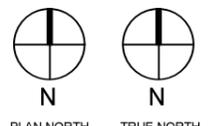
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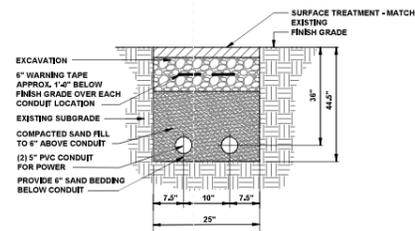
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TITLE SITE DETAILS

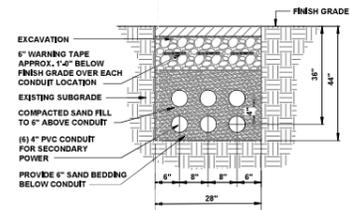
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C501





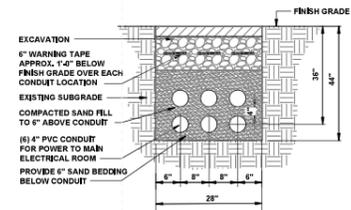
- NOTES**
1. CONDUITS RUN HORIZONTAL TO WATER OR GAS LINES MUST HAVE A MINIMUM 36" HORIZONTAL SEPARATION.
 2. ALL FOREIGN UTILITY PERPENDICULAR CROSSINGS MUST HAVE 12" MINIMUM SEPARATION FROM DUCTBANK.
 3. CONDUIT SHALL BE PVC, SCH. 40, SIZE AS INDICATED ON DRAWINGS.
 4. DUCT BANK TO BE SUPPORTED AT REGULAR INTERVALS NOT EXCEEDING 7'-0".
 5. IF DUCT BANK RUNS UNDERNEATH PAVEMENT CONDUITS TO BE ENCASED IN CONCRETE.

PRIMARY POWER DUCTBANK TRENCH DETAIL
N.T.S.



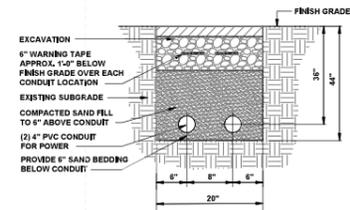
- NOTES**
1. CONDUITS RUN HORIZONTAL TO WATER OR GAS LINES MUST HAVE A MINIMUM 36" HORIZONTAL SEPARATION.
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 4. DUCT BANK TO BE SUPPORTED AT REGULAR INTERVALS NOT EXCEEDING 7'-0".
 5. IF DUCT BANK RUNS UNDERNEATH PAVEMENT CONDUITS TO BE ENCASED IN CONCRETE.

SECONDARY POWER DUCTBANK TRENCH DETAIL
N.T.S.



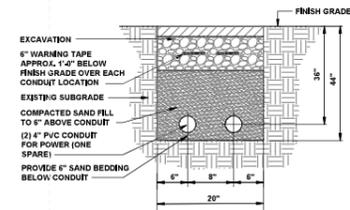
- NOTES**
1. CONDUITS RUN HORIZONTAL TO WATER OR GAS LINES MUST HAVE A MINIMUM 36" HORIZONTAL SEPARATION.
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 4. DUCT BANK TO BE SUPPORTED AT REGULAR INTERVALS NOT EXCEEDING 7'-0".
 5. IF DUCT BANK RUNS UNDERNEATH PAVEMENT CONDUITS TO BE ENCASED IN CONCRETE.

FEEDER LINE TO MAIN ELECTRICAL ROOM DUCTBANK TRENCH DETAIL
N.T.S.



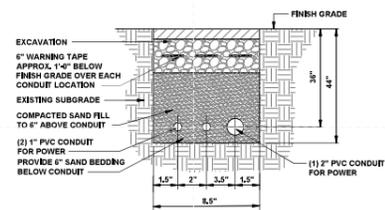
- NOTES**
1. CONDUITS RUN HORIZONTAL TO WATER OR GAS LINES MUST HAVE A MINIMUM 36" HORIZONTAL SEPARATION.
 2. ALL FOREIGN UTILITY PERPENDICULAR CROSSINGS MUST HAVE 12" MINIMUM SEPARATION FROM DUCTBANK.
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 4. DUCT BANK TO BE SUPPORTED AT REGULAR INTERVALS NOT EXCEEDING 7'-0".
 5. IF DUCT BANK RUNS UNDERNEATH PAVEMENT CONDUITS TO BE ENCASED IN CONCRETE.

STORM SWITCH DUCTBANK TRENCH DETAIL
N.T.S.



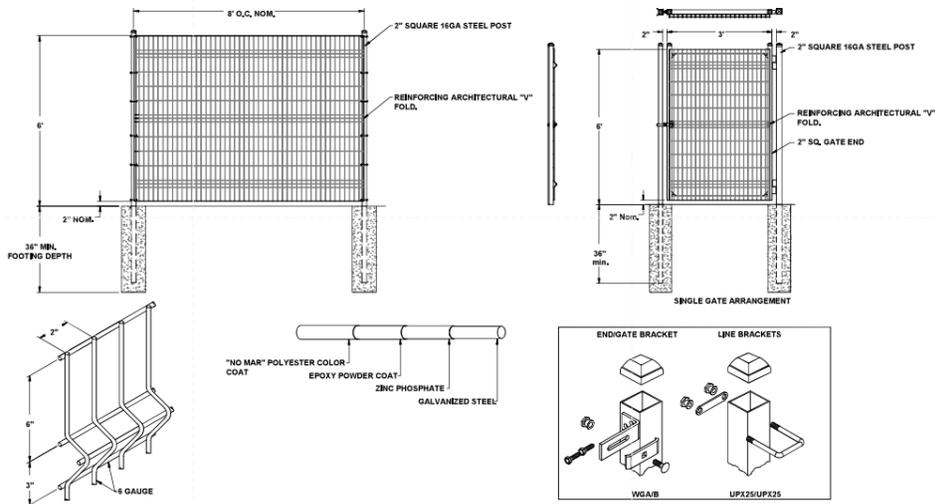
- NOTES**
1. CONDUITS RUN HORIZONTAL TO WATER OR GAS LINES MUST HAVE A MINIMUM 36" HORIZONTAL SEPARATION.
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FEEDER LINE TO STORM SWITCH DUCTBANK TRENCH DETAIL
N.T.S.

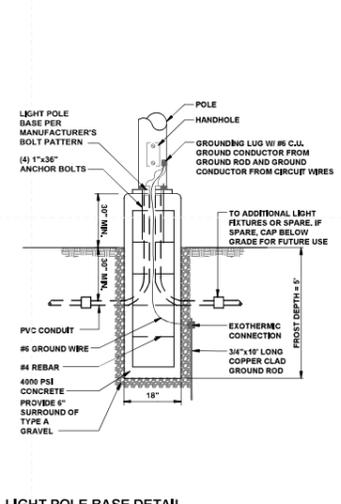


- NOTES**
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AUXILLARY DUCTBANK TRENCH DETAIL
N.T.S.



ARCHITECTURAL FENCE DETAIL
N.T.S.

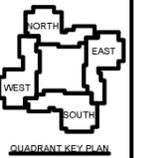


TYPICAL LIGHT POLE BASE DETAIL
N.T.S.



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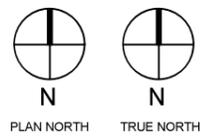
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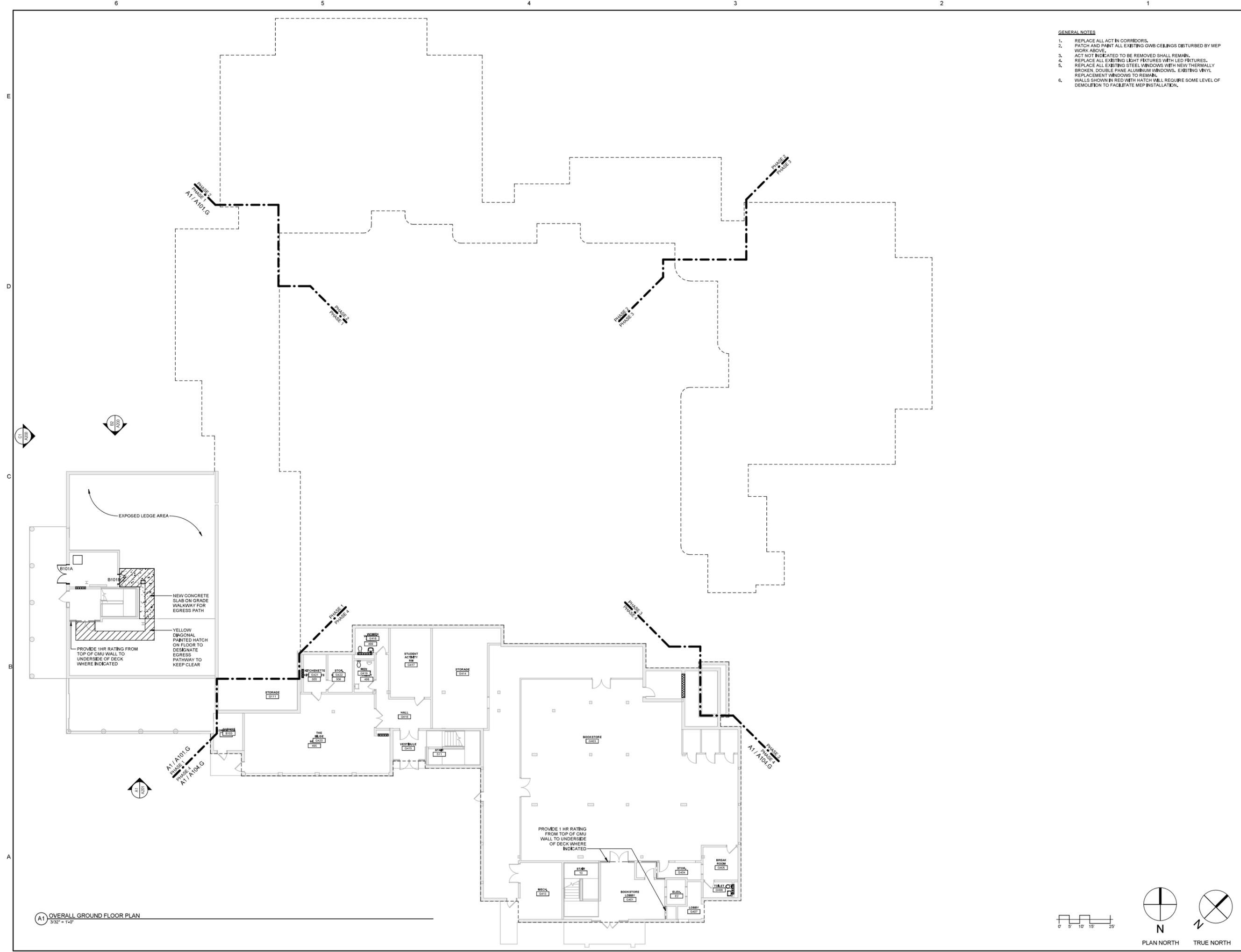
JOB NO.
076982

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11/22/2023

TITLE
PROPOSED SITE DETAILS

SHEET
C502



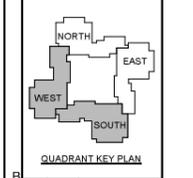


- GENERAL NOTES**
1. REPLACE ALL ACT IN CORRIDORS.
 2. PATCH AND PAINT ALL EXISTING GWB CEILINGS DISTURBED BY MEP WORK ABOVE.
 3. ACT NOT INDICATED TO BE REMOVED SHALL REMAIN.
 4. REPLACE ALL EXISTING LIGHT FIXTURES WITH LED FIXTURES.
 5. REPLACE ALL EXISTING STEEL WINDOWS WITH NEW THERMALLY BROKEN, DOUBLE PANE ALUMINUM WINDOWS. EXISTING VINYL REPLACEMENT WINDOWS TO REMAIN.
 6. WALLS SHOWN IN RED WITH HATCH WILL REQUIRE SOME LEVEL OF DEMOLITION TO FACILITATE MEP INSTALLATION.



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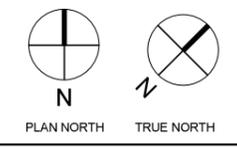
JOB NO.
078982

ISSUE
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 11/22/2023

TITLE
 OVERALL GROUND FLOOR PLAN

SHEET
A009

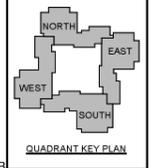
A1 OVERALL GROUND FLOOR PLAN
 3/32" = 1'-0"



- GENERAL NOTES**
1. REPLACE ALL ACT IN CORRIDORS.
 2. PATCH AND PAINT ALL EXISTING GWB CEILINGS DISTURBED BY MEP WORK ABOVE.
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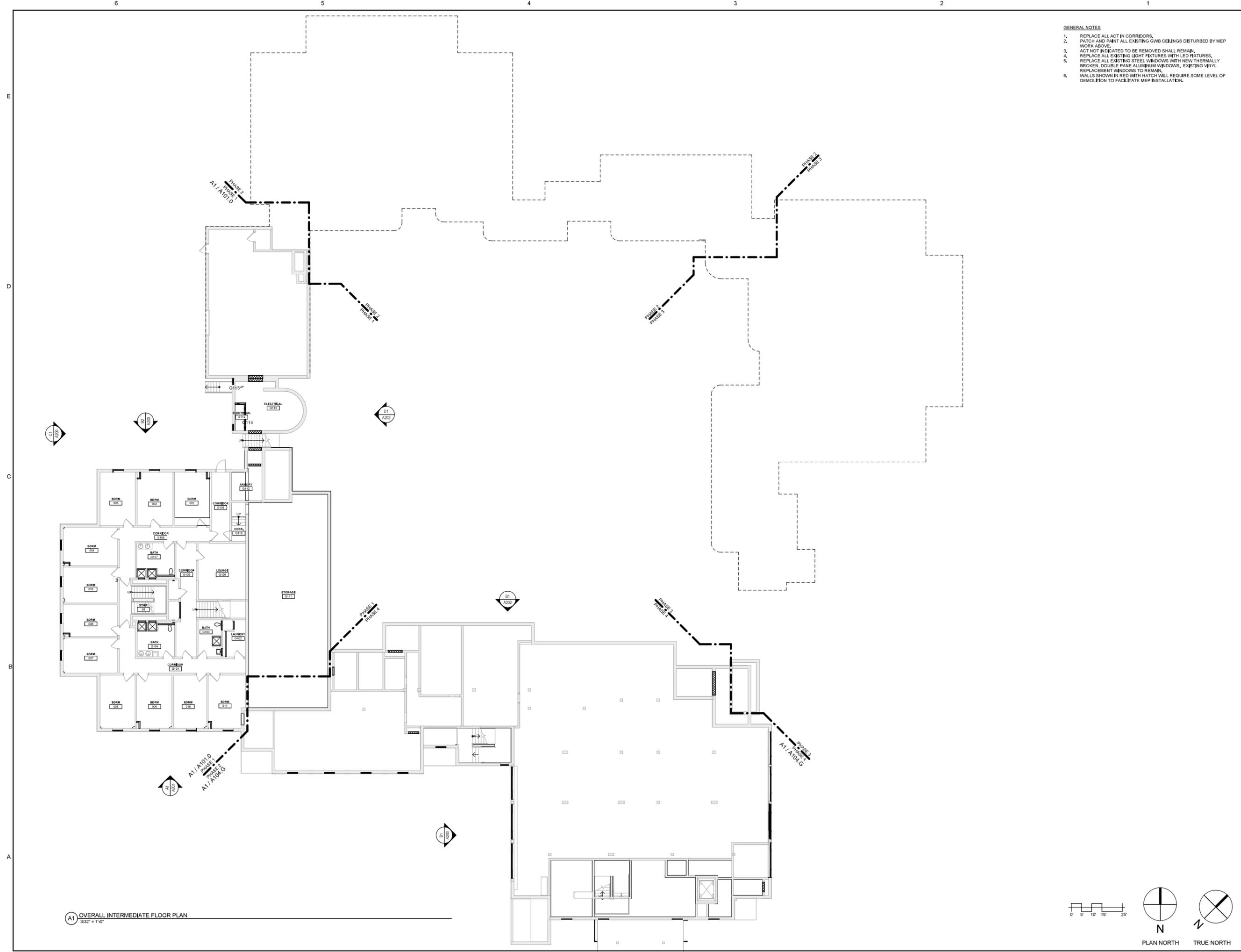
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TITLE
 OVERALL INTERMEDIATE FLOOR PLAN

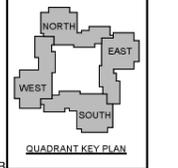
SHEET
A010





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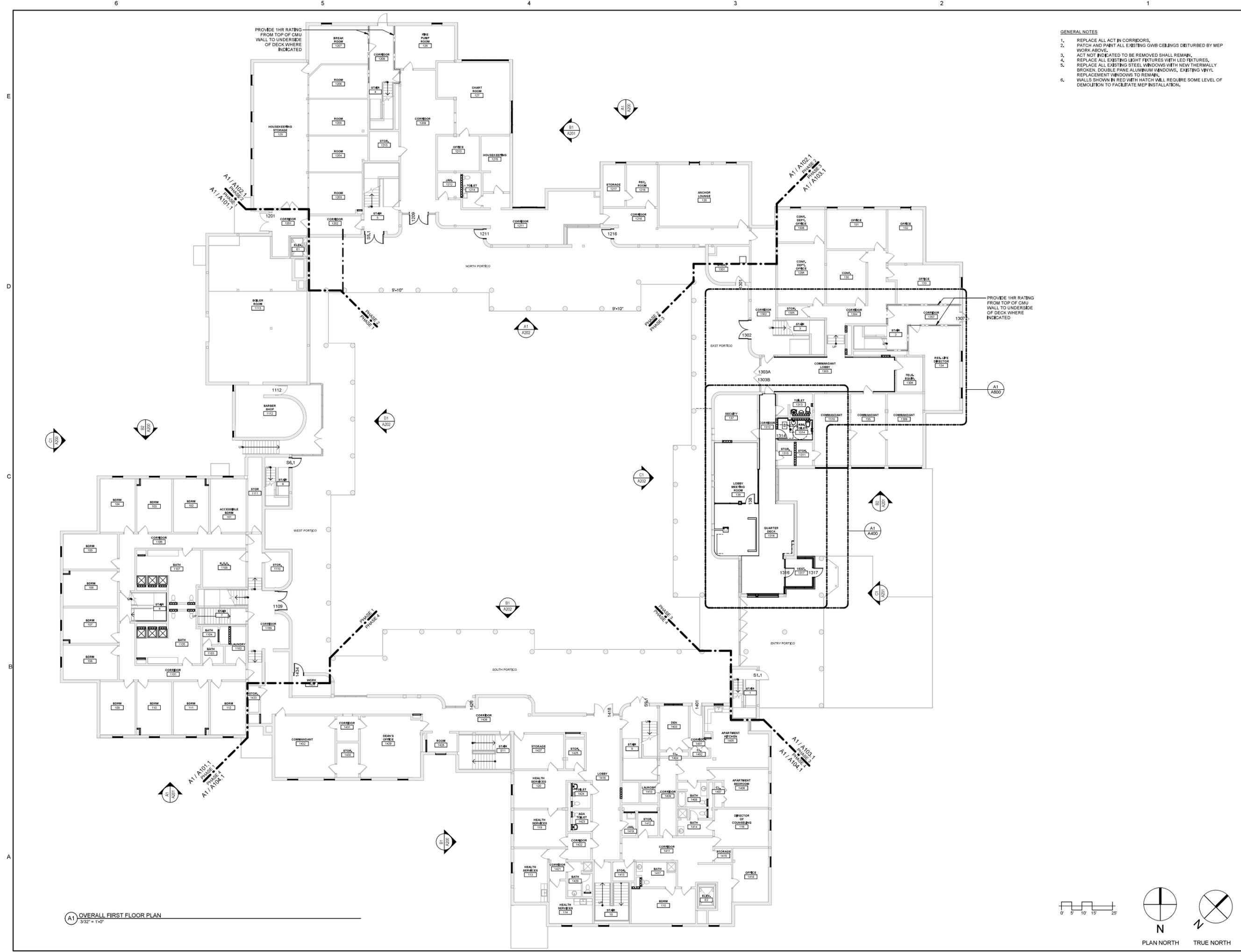
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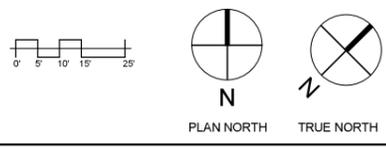
TITLE
 OVERALL FIRST FLOOR PLAN

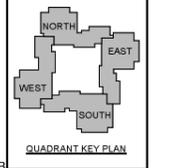
SHEET
A011

- GENERAL NOTES**
1. REPLACE ALL ACT IN CORRIDORS.
 2. PATCH AND PAINT ALL EXISTING GWB CEILINGS DISTURBED BY MEP WORK ABOVE.
 3. ACT NOT INDICATED TO BE REMOVED SHALL REMAIN.
 4. REPLACE ALL EXISTING LIGHT FIXTURES WITH LED FIXTURES.
 5. REPLACE ALL EXISTING STEEL WINDOWS WITH NEW THERMALLY BROKEN, DOUBLE PANE ALUMINUM WINDOWS, EXISTING VINYL REPLACEMENT WINDOWS TO REMAIN.
 6. WALLS SHOWN IN RED WITH HATCH WILL REQUIRE SOME LEVEL OF DEMOLITION TO FACILITATE MEP INSTALLATION.



A1 OVERALL FIRST FLOOR PLAN
 3/32" = 1'-0"





No.	Date	Description
Revision Schedule		

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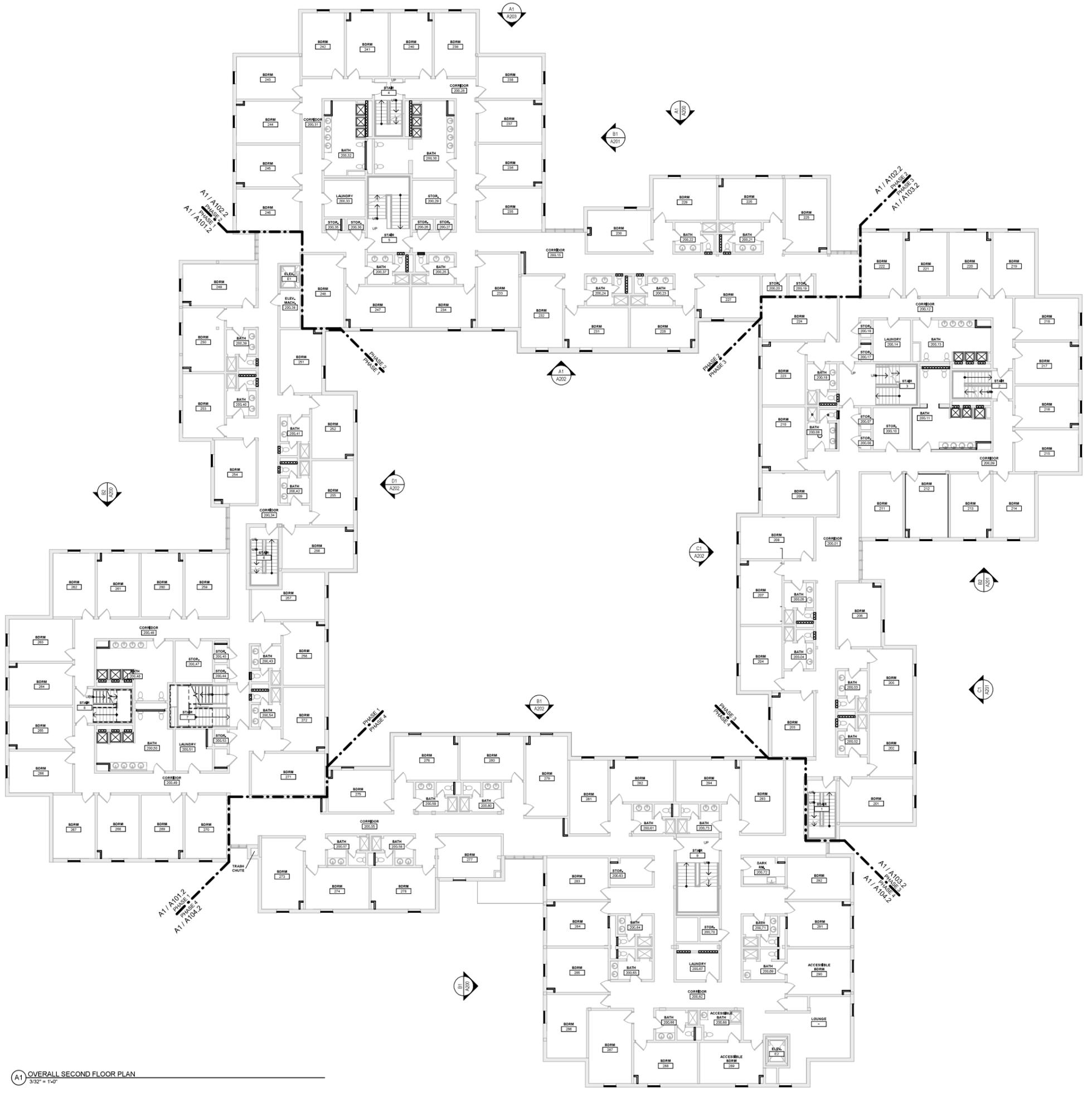
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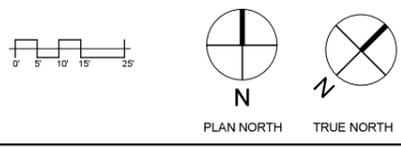
TITLE
 OVERALL SECOND FLOOR PLAN

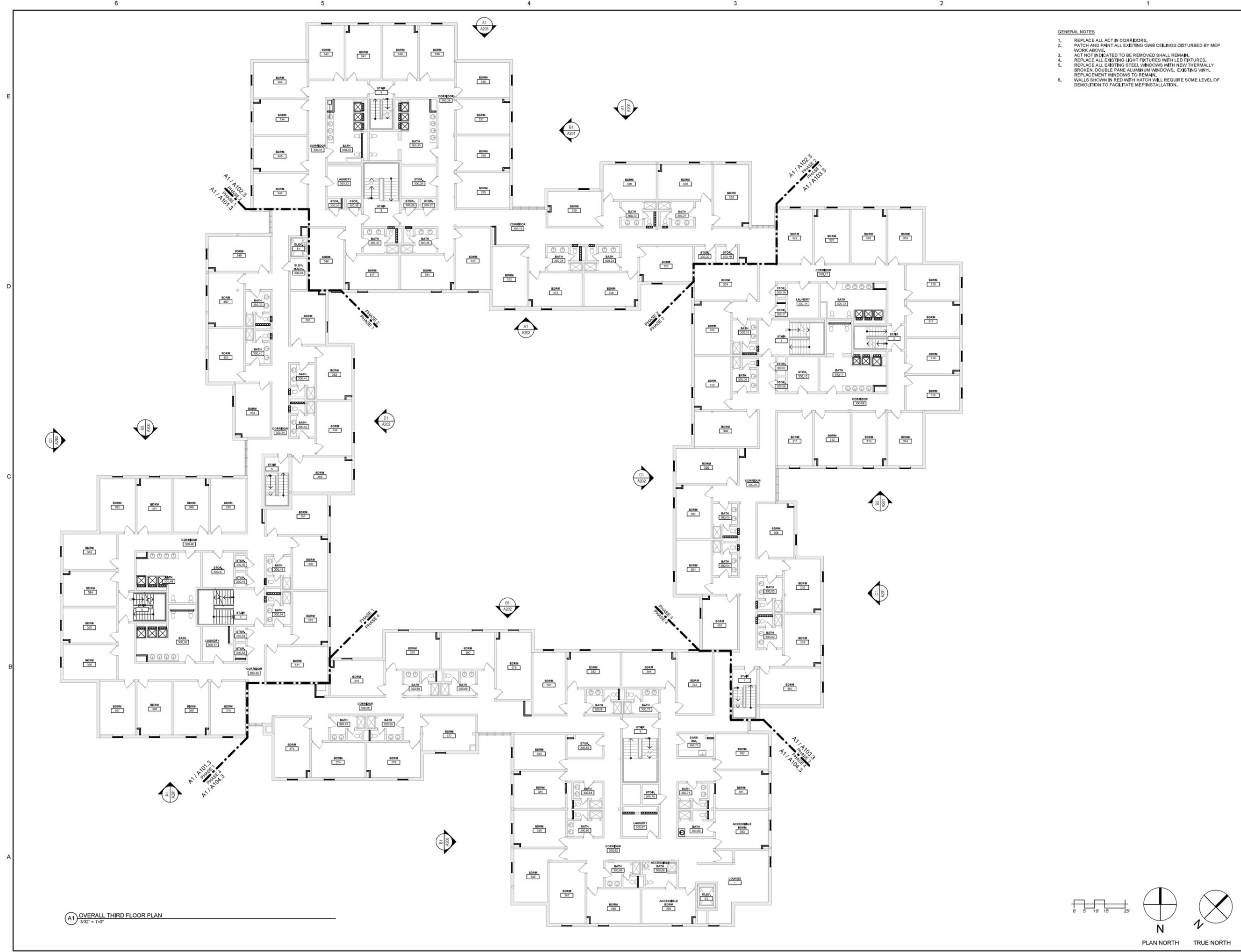
SHEET
A012

- GENERAL NOTES**
1. REPLACE ALL ACT IN CORRIDORS, PATCH AND PAINT ALL EXISTING GWB CEILINGS DISTURBED BY MEP WORK ABOVE.
 2. ACT NOT INDICATED TO BE REMOVED SHALL REMAIN.
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 5. WALLS SHOWN IN RED WITH HATCH WILL REQUIRE SOME LEVEL OF DEMOLITION TO FACILITATE MEP INSTALLATION.
 - 6.



A1 OVERALL SECOND FLOOR PLAN
 3/32" = 1'-0"



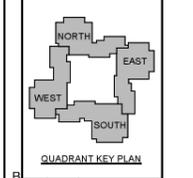


- GENERAL NOTES**
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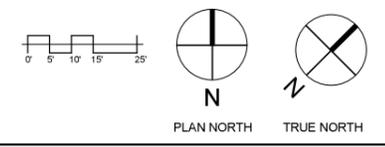
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TITLE
OVERALL THIRD FLOOR PLAN

SHEET
A013

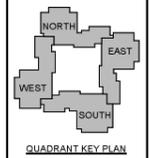
A1 OVERALL THIRD FLOOR PLAN
3/32" = 1'-0"





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QUADRANT KEY PLAN

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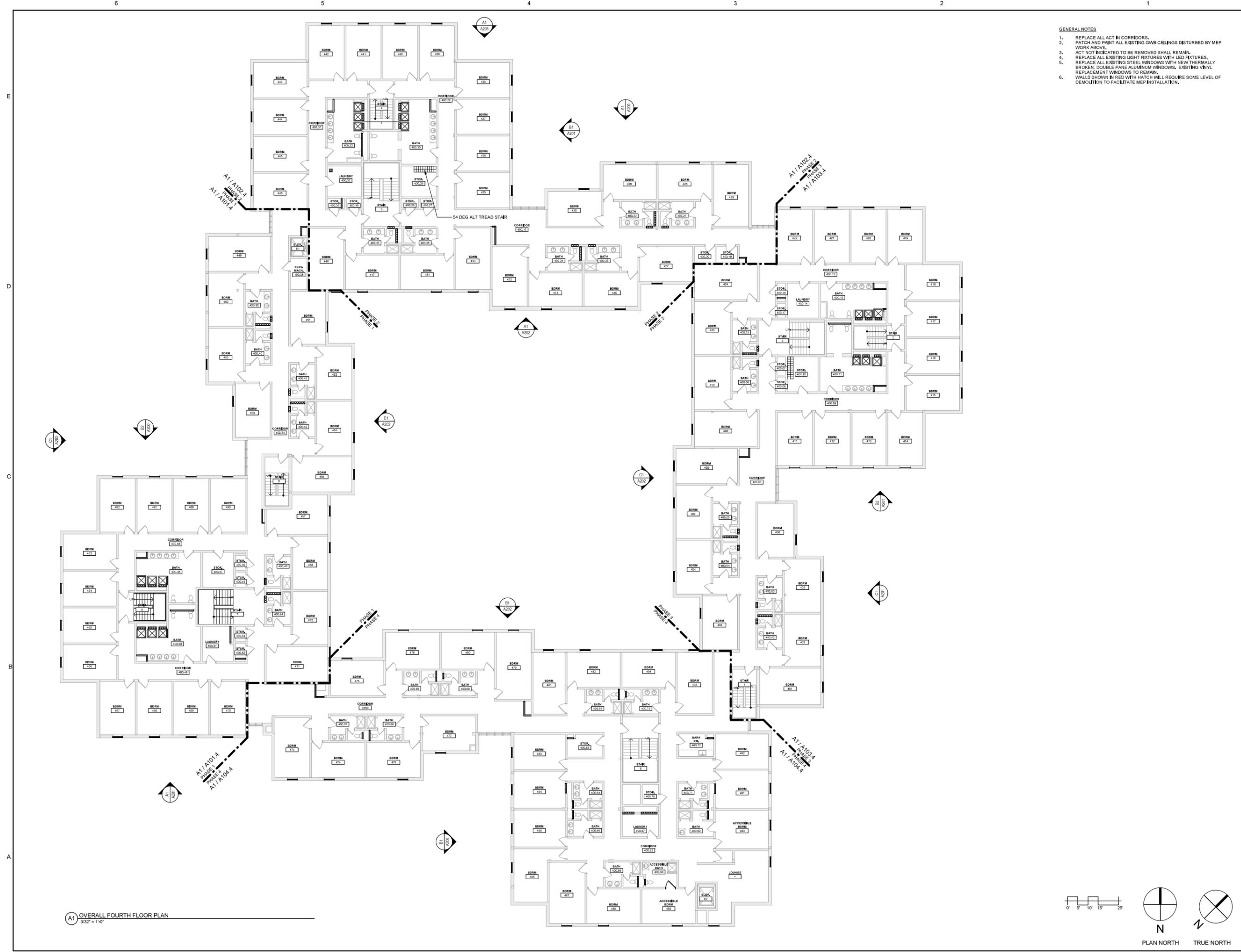
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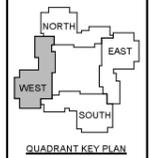
TITLE
OVERALL FOURTH
FLOOR PLAN

SHEET
A014

- GENERAL NOTES
1. REPLACE ALL ACT IN CORRIDORS.
 2. PATCH AND PAINT ALL EXISTING GWB CEILINGS DISTURBED BY MEP WORK ABOVE.
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A1 OVERALL FOURTH FLOOR PLAN
3/32" = 1'0"



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11/22/2023

TITLE
INTERMEDIATE
FLOOR PLAN AND
DEMO PLAN - PHASE
1

SHEET
A101.0

PLAN GENERAL NOTES

- WORK FROM GIVEN DIMENSIONS. IN GENERAL, LARGE-SCALE DETAILS TAKE PRECEDENCE OVER SMALLER SCALE PLANS, ELEVATIONS AND BUILDING SECTIONS. NOTIFY THE ARCHITECT OF ANY DIMENSIONAL DISCREPANCIES PRIOR TO COMMENCING THE WORK, AND DO NOT BEGIN WORK UNTIL SUCH DISCREPANCIES ARE RESOLVED BY THE ARCHITECT.
- DO NOT SCALE THE DRAWINGS.
- DIMENSIONS INDICATED AS "CLEAR" SHALL BE MAINTAINED IN CASES OF DISCREPANCY.
- UNLESS NOTED OTHERWISE, THE LOCATION OF DOOR FRAMES SHALL BE:
 • CMU PARTITIONS: 4" FROM THE ADJACENT WALL TO THE HINGE SIDE OF THE ROUGH OPENING.
 • METAL STUD PARTITIONS: 4" FROM THE ADJACENT WALL STUDS TO THE HINGE SIDE OF THE ROUGH OPENING.
- MASONRY OPENING OR ROUGH OPENING DIMENSIONS INDICATED ARE NOMINAL DIMENSIONS AND MAY NOT MATCH THE ACTUAL DIMENSIONS OF THE PRODUCT. COORDINATE ALL MASONRY OPENINGS AND ROUGH OPENINGS WITH THE ACTUAL WINDOW UNIT, DOORFRAME, CURTAIN WALL, STOREFRONT, OR LOUVER SIZES AND REQUIREMENTS.
- DIMENSIONAL CONTROL:**
EXTERIOR DIMENSIONS ARE TO:
 • CENTERLINE OF COLUMN
 • FACE OF MASONRY
 • FACE OF STUD
 • FACE OF CONCRETE
 • CENTERLINE OF WINDOW OPENING
 • ROUGH OPENING
 • MASONRY OPENING
INTERIOR DIMENSIONS ARE TO:
 • CENTERLINE OF COLUMN
 • FACE OF MASONRY
 • FACE OF STUD
 • FACE OF EXISTING FINISH MATERIAL
EXISTING DIMENSIONS SHALL BE VERIFIED, REPORT ANY DISCREPANCIES TO THE ARCHITECT.
- TYPICAL DETAIL NOTES:**
THE FOLLOWING NOTES ARE TYPICAL THROUGHOUT THIS PROJECT AND APPLY IN ALL CASES UNLESS SPECIFICALLY NOTED OTHERWISE. THESE NOTES AND ASSOCIATED DETAILS MAY NOT BE DIRECTLY REFERENCED ON THE DRAWINGS.
 • ALL GWB PARTITIONS INTERSECTING MASONRY PARTITIONS, EITHER NEW OR EXISTING, SHALL BE FINISHED WITH A "J" BEAD AND CONTINUOUS SEALANT.
 • ALL NEW OPENINGS FOR WINDOWS AND DOORS IN EXISTING MASONRY WALLS SHALL BE TOOTHED IN AT THE JAMBS.
 • ALL ROOF LEADERS, HEAT PIPING, SPRINKLER RISERS, PLUMBING VENTS, SANITARY PLUMBING OR MISCELLANEOUS PIPING SHALL BE ENCLOSED WITHIN THE WALL CONSTRUCTION.
 • ALL DUCT PENETRATIONS THROUGH FLOORS SHALL BE ENCLOSED IN A CHASE.

ROOM NUMBER NOTE:
 BEDROOMS ARE IDENTIFIED WITH THREE DIGITS
 OTHER ROOMS ARE IDENTIFIED WITH 4 DIGITS

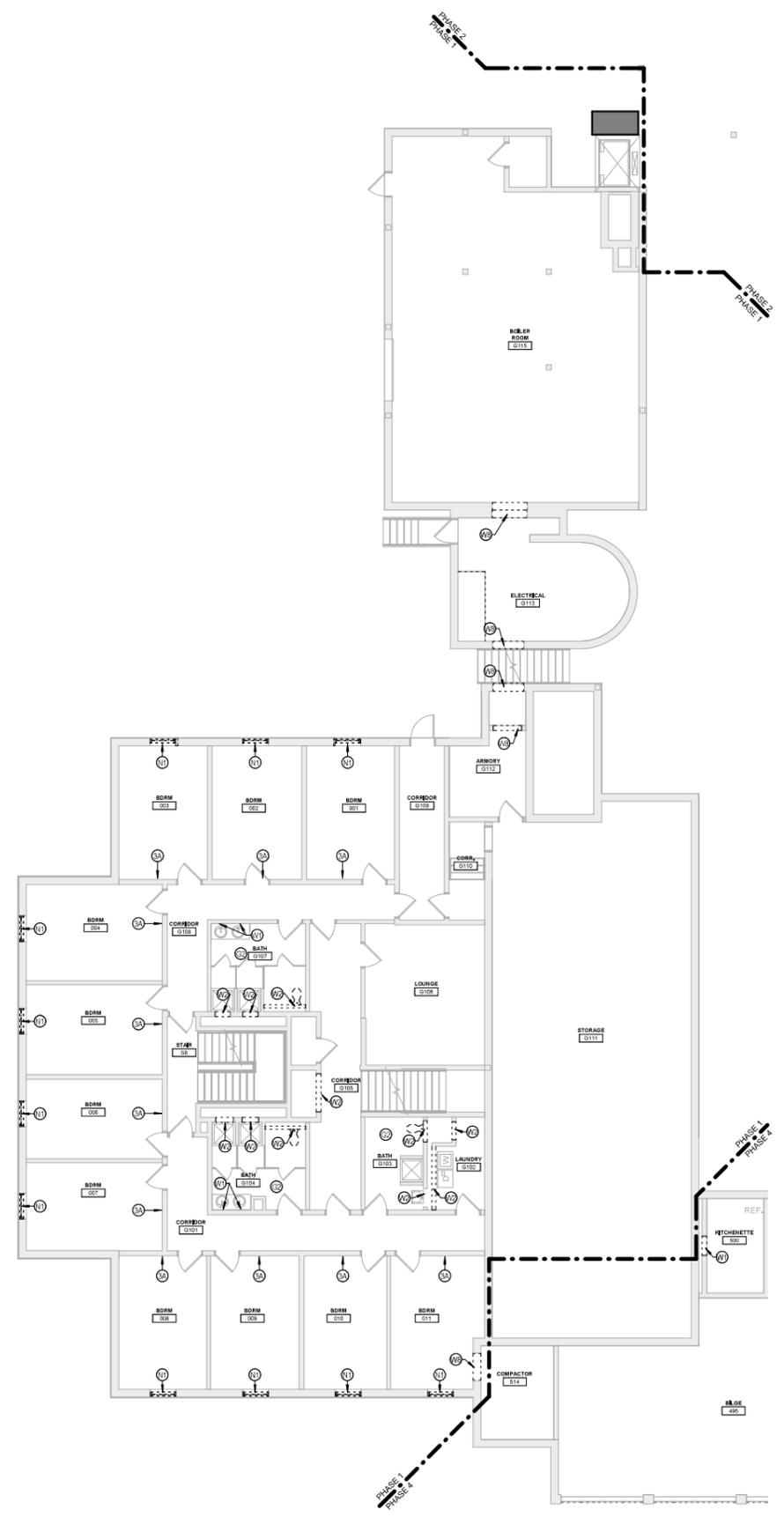
1ST DIGIT = FLOOR
 2ND DIGIT = PHASE
 3RD AND 4TH DIGIT = ROOM IDENTIFIER

GENERAL PLAN AND DEMO NOTES

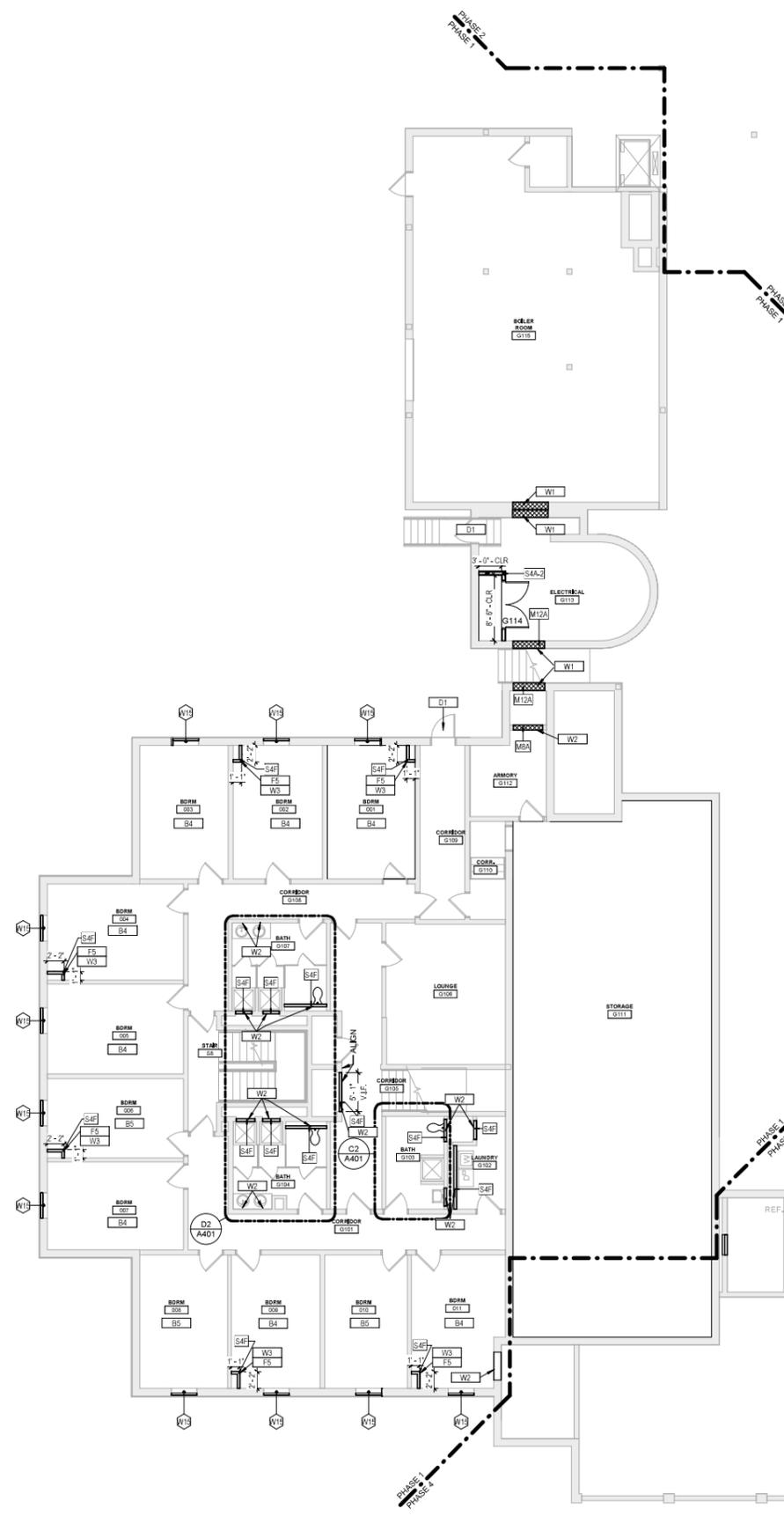
- REFERENCE SHEET A00.1 FOR FURTHER INFORMATION RELATING TO PLAN AND DEMOLITION NOTES
- REFER TO SHEET A00.1 FOR DEMO KEYNOTES LEGEND AND CONSTRUCTION KEYNOTES LEGEND.

PLAN GRAPHIC LEGEND

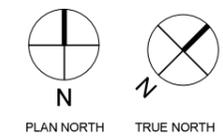
- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED
- NEW CMU WALL
- NEW WALL
- EXISTING DOOR AND FRAME TO REMAIN
- EXISTING DOOR AND FRAME TO BE REMOVED
- NEW DOOR AND FRAME
- EXISTING FLOOR TO BE REMOVED
- NEW CONCRETE SLAB INFILL
- NEW WALKING PADS

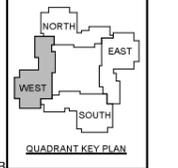


A2 INTERMEDIATE FLOOR DEMO PLAN - PHASE 1
 1/8" = 1'-0"



A1 INTERMEDIATE FLOOR PLAN - PHASE 1
 1/8" = 1'-0"





No.	Date	Description
Revision Schedule		

NOT FOR CONSTRUCTION

JOB NO.
078982

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TITLE
FIRST FLOOR PLAN AND DEMO PLAN - PHASE 1

SHEET
A101.1

PLAN GENERAL NOTES

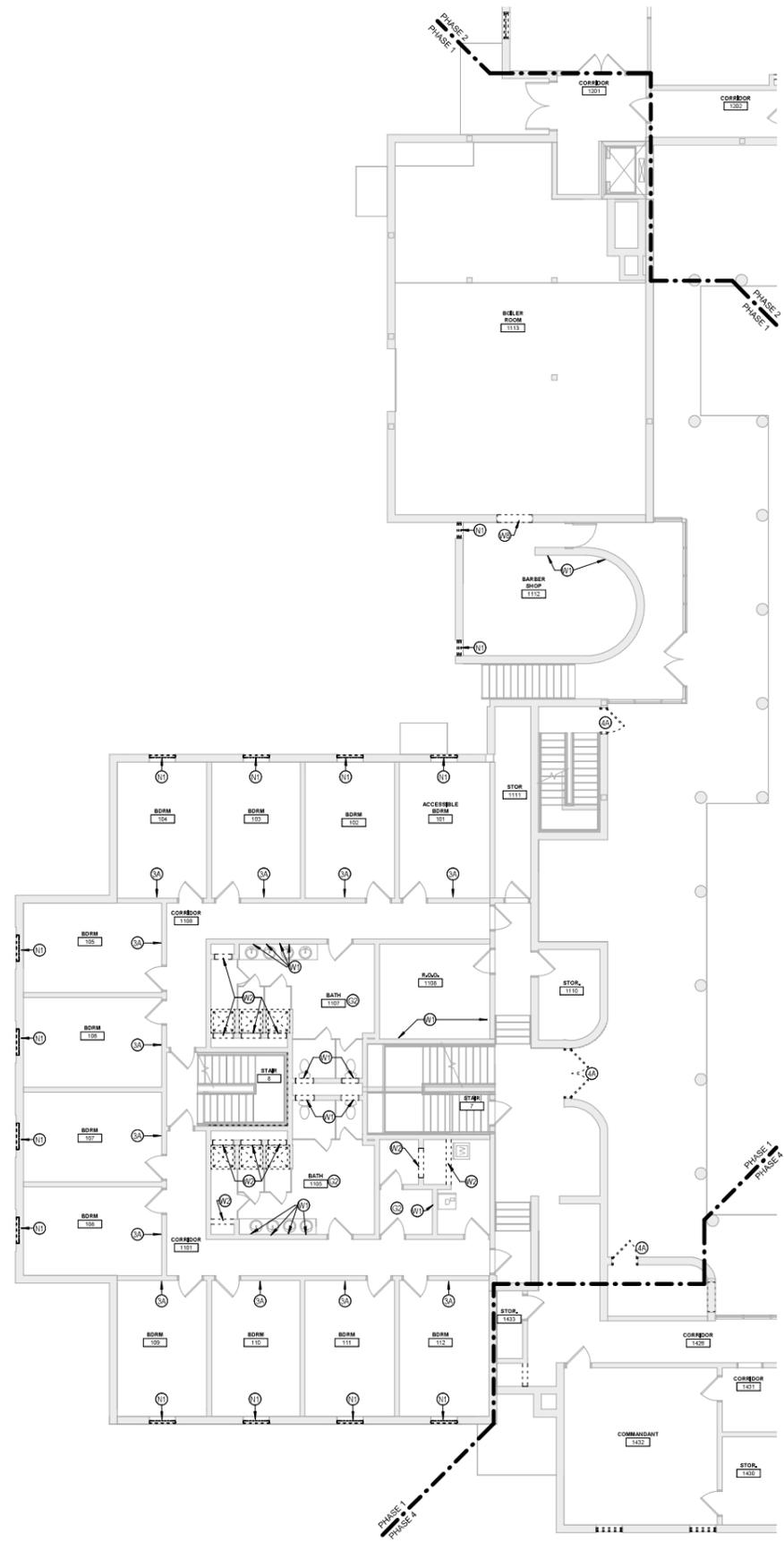
- WORK FROM GIVEN DIMENSIONS. IN GENERAL, LARGE-SCALE DETAILS TAKE PRECEDENCE OVER SMALLER SCALE PLANS, ELEVATIONS AND BUILDING SECTIONS. NOTIFY THE ARCHITECT OF ANY DIMENSIONAL DISCREPANCIES PRIOR TO COMMENCING THE WORK, AND DO NOT BEGIN WORK UNTIL SUCH DISCREPANCIES ARE RESOLVED BY THE ARCHITECT.
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 • METAL STUD PARTITIONS: 4" FROM THE ADJACENT WALL STUDS TO THE HINGE SIDE OF THE ROUGH OPENING.
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 EXTERIOR DIMENSIONS ARE TO:
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 • FACE OF MASONRY
 • FACE OF STUD
 • FACE OF CONCRETE
 • CENTERLINE OF WINDOW OPENING
 • ROUGH OPENING
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 • CENTERLINE OF COLUMN
 • FACE OF MASONRY
 • FACE OF STUD
 • FACE OF EXISTING FINISH MATERIAL
 EXISTING DIMENSIONS SHALL BE VERIFIED, REPORT ANY DISCREPANCIES TO THE ARCHITECT.
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ROOM NUMBER NOTE
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 OTHER ROOMS ARE IDENTIFIED WITH 4 DIGITS
 1ST DIGIT = FLOOR
 2ND DIGIT = PHASE
 3RD AND 4TH DIGIT = ROOM IDENTIFIER

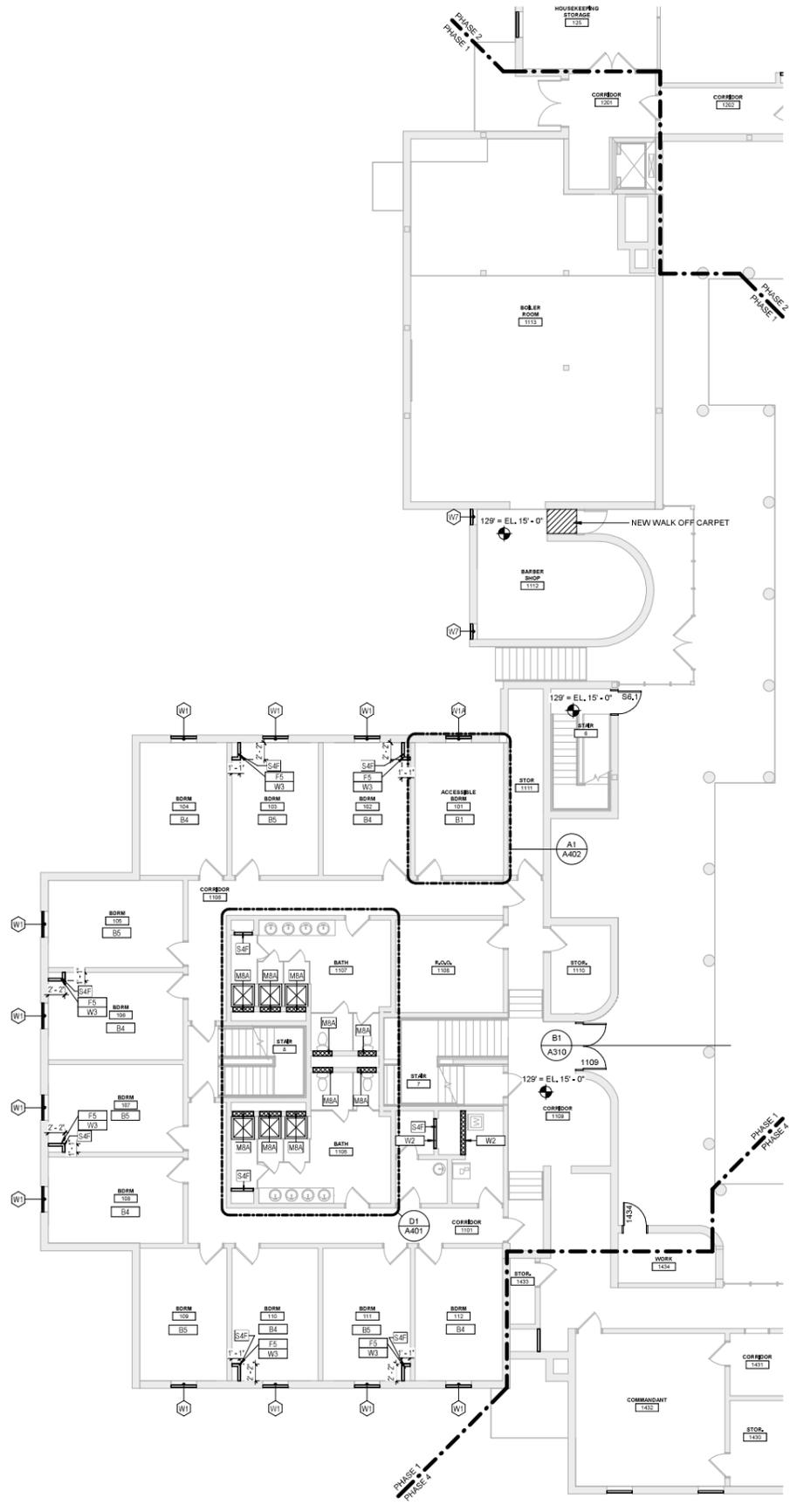
GENERAL PLAN AND DEMO NOTES
 1. REFERENCE SHEET A000.1 FOR FURTHER INFORMATION RELATING TO PLAN AND DEMOLITION NOTES
 2. REFER TO SHEET A000.1 FOR DEMO KEYNOTES LEGEND AND CONSTRUCTION KEYNOTES LEGEND.

PLAN GRAPHIC LEGEND

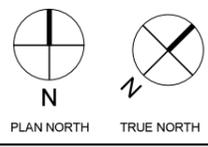
- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED
- NEW CMU WALL
- NEW WALL
- EXISTING DOOR AND FRAME TO REMAIN
- EXISTING DOOR AND FRAME TO BE REMOVED
- NEW DOOR AND FRAME
- EXISTING FLOOR TO BE REMOVED
- NEW CONCRETE SLAB INFILL
- NEW WALKING PADS

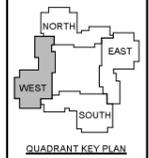


A2 FIRST FLOOR DEMO PLAN - PHASE 1
 1/8" = 1'-0"



A1 FIRST FLOOR PLAN - PHASE 1
 1/8" = 1'-0"





No.	Date	Description
Revision Schedule		

NOT FOR
CONSTRUCTION

JOB NO.
078982

ISSUE
100%
CONSTRUCTION
DOCUMENTS -
ISSUED FOR
BIDDING
11/22/2023

TITLE
SECOND FLOOR
PLAN AND DEMO
PLAN - PHASE 1

SHEET
A101.2

PLAN GENERAL NOTES

- WORK FROM GIVEN DIMENSIONS. IN GENERAL, LARGE-SCALE DETAILS TAKE PRECEDENCE OVER SMALLER SCALE PLANS, ELEVATIONS AND BUILDING SECTIONS. NOTIFY THE ARCHITECT OF ANY DIMENSIONAL DISCREPANCIES PRIOR TO COMMENCING THE WORK, AND DO NOT BEGIN WORK UNTIL SUCH DISCREPANCIES ARE RESOLVED BY THE ARCHITECT.
- DO NOT SCALE THE DRAWINGS.
- DIMENSIONS INDICATED AS "CLEAR" SHALL BE MAINTAINED IN CASES OF DISCREPANCY.
- UNLESS NOTED OTHERWISE, THE LOCATION OF DOOR FRAMES SHALL BE: CMU PARTITIONS: 4" FROM THE ADJACENT WALL TO THE HINGE SIDE OF THE ROUGH OPENING. METAL STUD PARTITIONS: 4" FROM THE ADJACENT WALL STUDS TO THE HINGE SIDE OF THE ROUGH OPENING.
- MASONRY OPENING OR ROUGH OPENING DIMENSIONS INDICATED ARE NOMINAL DIMENSIONS AND MAY NOT MATCH THE ACTUAL DIMENSIONS OF THE PRODUCT. COORDINATE ALL MASONRY OPENINGS AND ROUGH OPENINGS WITH THE ACTUAL WINDOW UNIT, DOORFRAME, CURTAIN WALL/STOREFRONT, OR LOUVER SIZES AND REQUIREMENTS.
- DIMENSIONAL CONTROL:**
 - EXTERIOR DIMENSIONS ARE TO:**
 - CENTERLINE OF COLUMN
 - FACE OF MASONRY
 - FACE OF STUD
 - FACE OF CONCRETE
 - CENTERLINE OF WINDOW OPENING
 - ROUGH OPENING
 - MASONRY OPENING
 - INTERIOR DIMENSIONS ARE TO:**
 - CENTERLINE OF COLUMN
 - FACE OF MASONRY
 - FACE OF STUD
 - FACE OF EXISTING FINISH MATERIAL
 - EXISTING DIMENSIONS SHALL BE VERIFIED. REPORT ANY DISCREPANCIES TO THE ARCHITECT.**
- TYPICAL DETAIL NOTES:**
 - THE FOLLOWING NOTES ARE TYPICAL THROUGHOUT THIS PROJECT AND APPLY IN ALL CASES UNLESS SPECIFICALLY NOTED OTHERWISE. THESE NOTES AND ASSOCIATED DETAILS MAY NOT BE DIRECTLY REFERENCED ON THE DRAWINGS.
 - ALL GWS PARTITIONS INTERSECTING MASONRY PARTITIONS, EITHER NEW OR EXISTING, SHALL BE FINISHED WITH A "J" BEAD AND CONTINUOUS SEALANT.
 - ALL NEW OPENINGS FOR WINDOWS AND DOORS IN EXISTING MASONRY WALLS SHALL BE TOOTHED IN AT THE JAMS.
 - ALL ROOF LEADERS, HEAT PIPING, SPRINKLER RISERS, PLUMBING VENTS, SANITARY PLUMBING OR MISCELLANEOUS PIPING SHALL BE ENCLOSED WITHIN THE WALL CONSTRUCTION.
 - ALL DUCT PENETRATIONS THROUGH FLOORS SHALL BE ENCLOSED IN A CHASE.

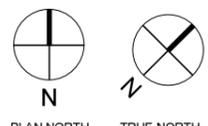
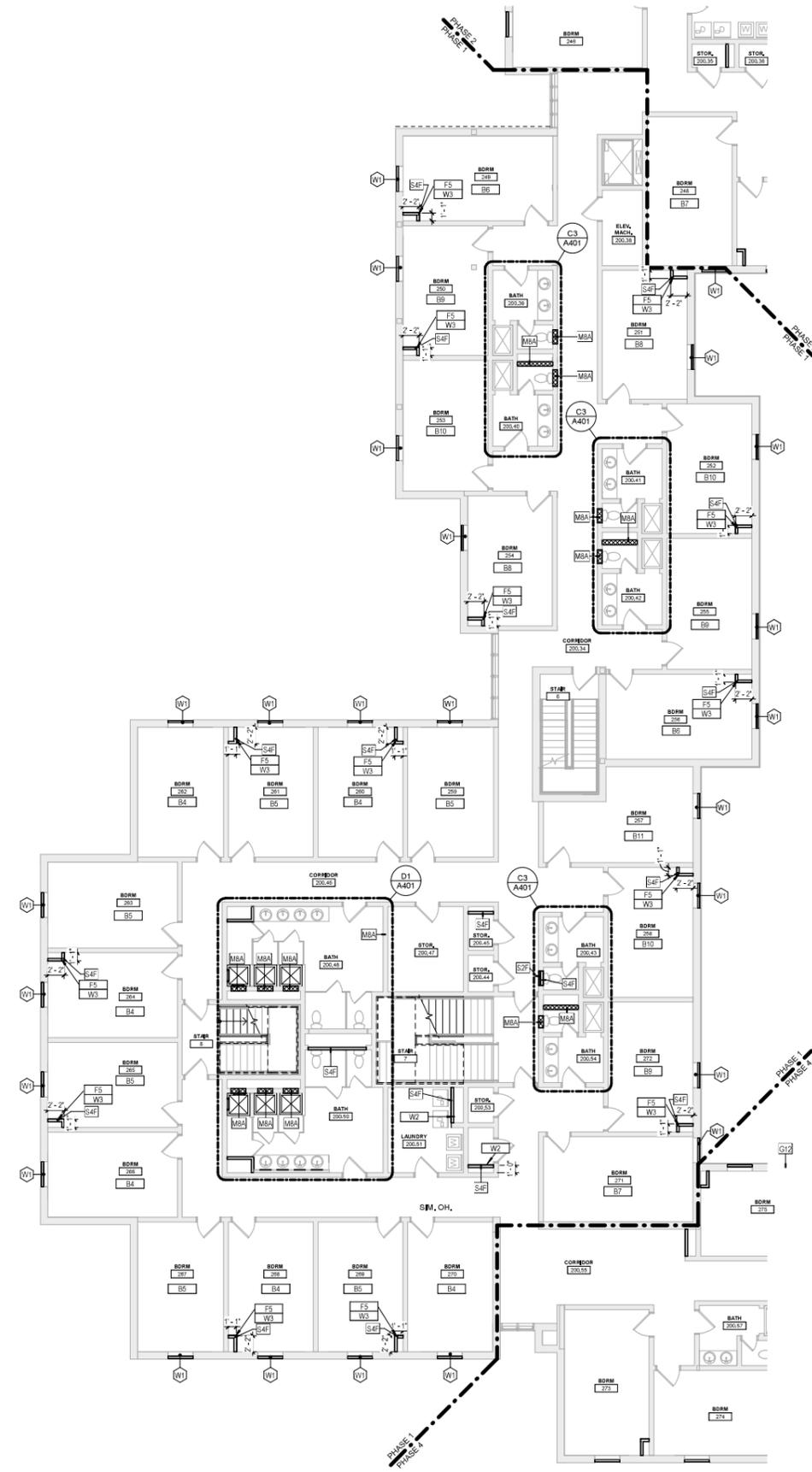
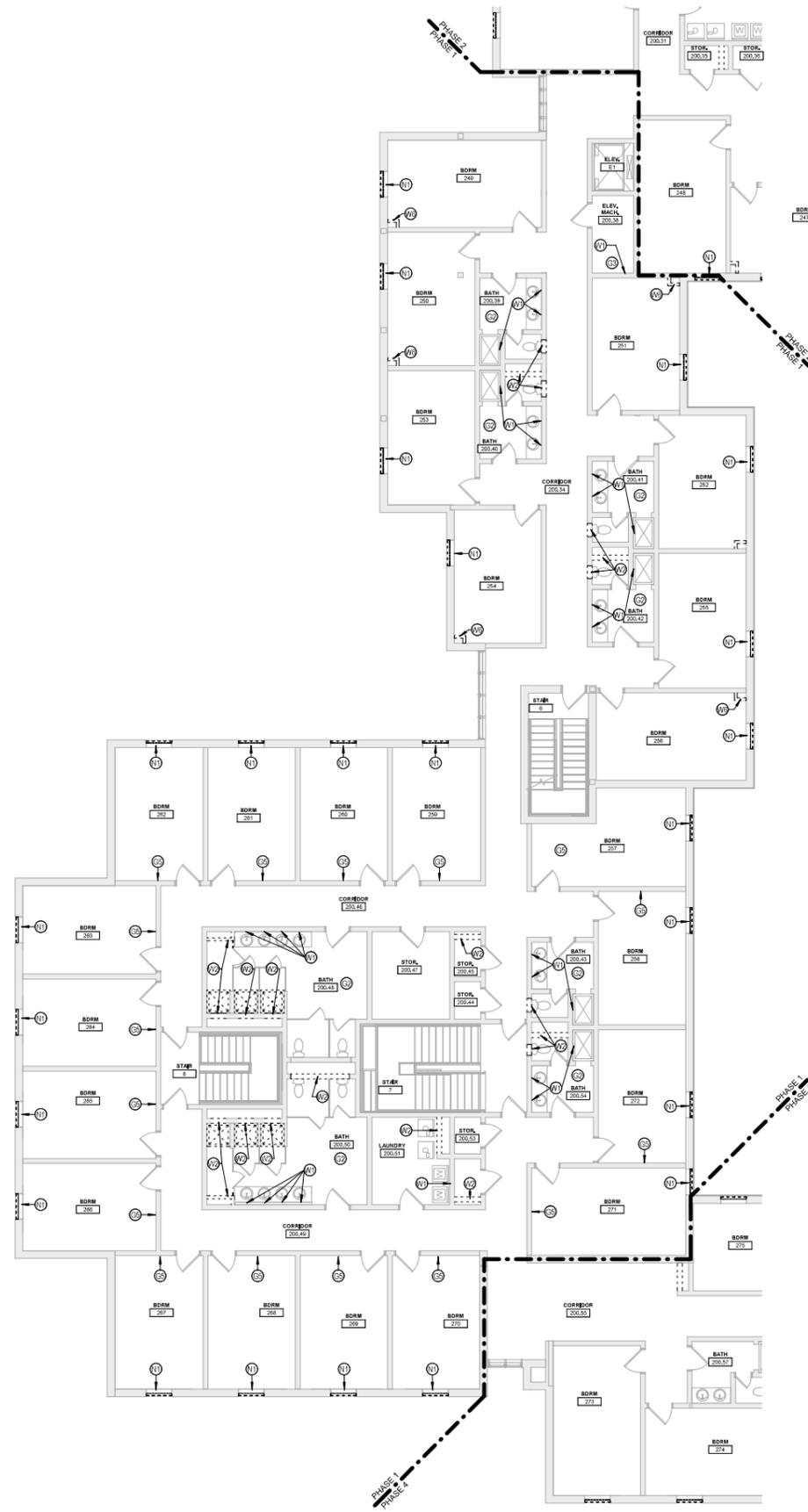
ROOM NUMBER NOTE:
BEDROOMS ARE IDENTIFIED WITH THREE DIGITS
OTHER ROOMS ARE IDENTIFIED WITH 4 DIGITS

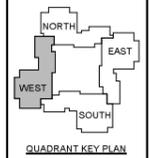
1ST DIGIT = FLOOR
2ND DIGIT = PHASE
3RD AND 4TH DIGIT = ROOM IDENTIFIER

GENERAL PLAN AND DEMO NOTES
1. REFERENCE SHEET A000.1 FOR FURTHER INFORMATION RELATING TO PLAN AND DEMOLITION NOTES
2. REFER TO SHEET A000.1 FOR DEMO KEYNOTES LEGEND AND CONSTRUCTION KEYNOTES LEGEND.

PLAN GRAPHIC LEGEND

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED
- NEW CMU WALL
- NEW WALL
- EXISTING DOOR AND FRAME TO REMAIN
- EXISTING DOOR AND FRAME TO BE REMOVED
- NEW DOOR AND FRAME
- EXISTING FLOOR TO BE REMOVED
- NEW CONCRETE SLAB INFILL
- NEW WALKING PADS





No.	Date	Description
Revision Schedule		

NOT FOR
 CONSTRUCTION

JOB NO.
 076982

ISSUE
 100%
 CONSTRUCTION
 DOCUMENTS -
 ISSUED FOR
 BIDDING
 11/22/2023

TITLE
 THIRD FLOOR PLAN
 AND DEMO PLAN -
 PHASE 1

SHEET
A101.3

PLAN GENERAL NOTES

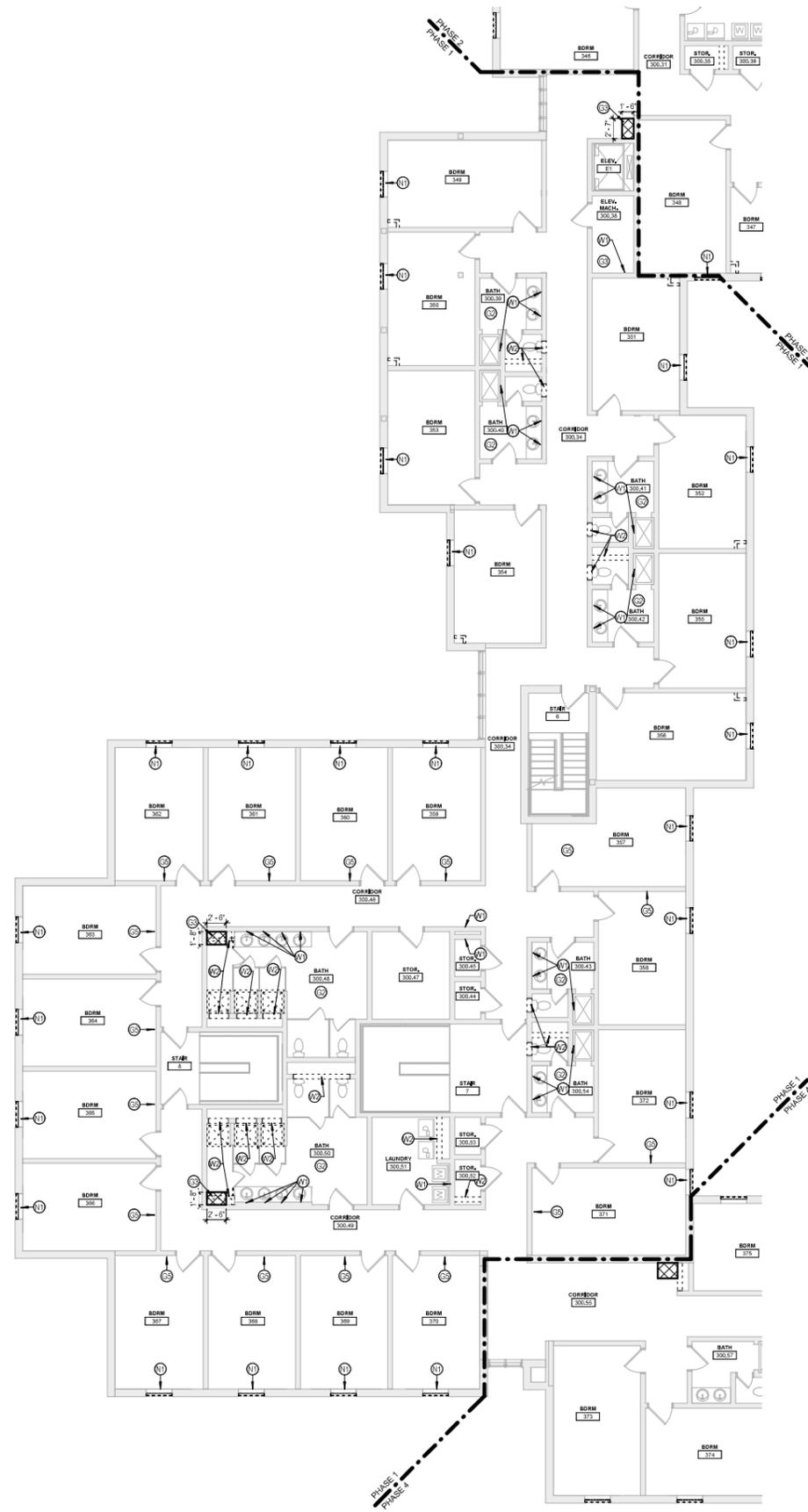
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- DO NOT SCALE THE DRAWINGS.
- DIMENSIONS INDICATED AS "CLEAR" SHALL BE MAINTAINED IN CASES OF DISCREPANCY.
- UNLESS NOTED OTHERWISE, THE LOCATION OF DOOR FRAMES SHALL BE:
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 • METAL STUD PARTITIONS: 4" FROM THE ADJACENT WALL STUDS TO THE HINGE SIDE OF THE ROUGH OPENING.
- MASONRY OPENING OR ROUGH OPENING DIMENSIONS INDICATED ARE NOMINAL DIMENSIONS AND MAY NOT MATCH THE ACTUAL DIMENSIONS OF THE PRODUCT. COORDINATE ALL MASONRY OPENINGS AND ROUGH OPENINGS WITH THE ACTUAL WINDOW UNIT, DOORFRAME, CURTAIN WALL/STOREFRONT, OR LOUVER SIZES AND REQUIREMENTS.
- DIMENSIONAL CONTROL:**
EXTERIOR DIMENSIONS ARE TO:
 • CENTERLINE OF COLUMN
 • FACE OF MASONRY
 • FACE OF STUD
 • FACE OF CONCRETE
 • CENTERLINE OF WINDOW OPENING
 • ROUGH OPENING
 • MASONRY OPENING
INTERIOR DIMENSIONS ARE TO:
 • CENTERLINE OF COLUMN
 • FACE OF MASONRY
 • FACE OF STUD
 • FACE OF EXISTING FINISH MATERIAL
EXISTING DIMENSIONS SHALL BE VERIFIED, REPORT ANY DISCREPANCIES TO THE ARCHITECT.
- TYPICAL DETAIL NOTES:**
 • THE FOLLOWING NOTES ARE TYPICAL THROUGHOUT THE PROJECT AND APPLY IN ALL CASES UNLESS SPECIFICALLY NOTED OTHERWISE. THESE NOTES AND ASSOCIATED DETAILS MAY NOT BE DIRECTLY REFERENCED ON THE DRAWINGS:
 • ALL GWB PARTITIONS INTERSECTING MASONRY PARTITIONS, EITHER NEW OR EXISTING, SHALL BE FINISHED WITH A 1/2" BEAD AND CONTINUOUS SEALANT.
 • ALL NEW OPENINGS FOR WINDOWS AND DOORS IN EXISTING MASONRY WALLS SHALL BE TOOTHED IN AT THE JAMBS.
 • ALL ROOF LEADERS, HEAT PIPING, SPRINKLER RISERS, PLUMBING VENTS, SANITARY PLUMBING OR MISCELLANEOUS PIPING SHALL BE ENCLOSED WITHIN THE WALL CONSTRUCTION.
 • ALL DUCT PENETRATIONS THROUGH FLOORS SHALL BE ENCLOSED IN A CHASE.

ROOM NUMBER NOTE:
 BEDROOMS ARE IDENTIFIED WITH THREE DIGITS
 OTHER ROOMS ARE IDENTIFIED WITH 4 DIGITS
 1ST DIGIT = FLOOR
 2ND DIGIT = PHASE
 3RD AND 4TH DIGIT = ROOM IDENTIFIER

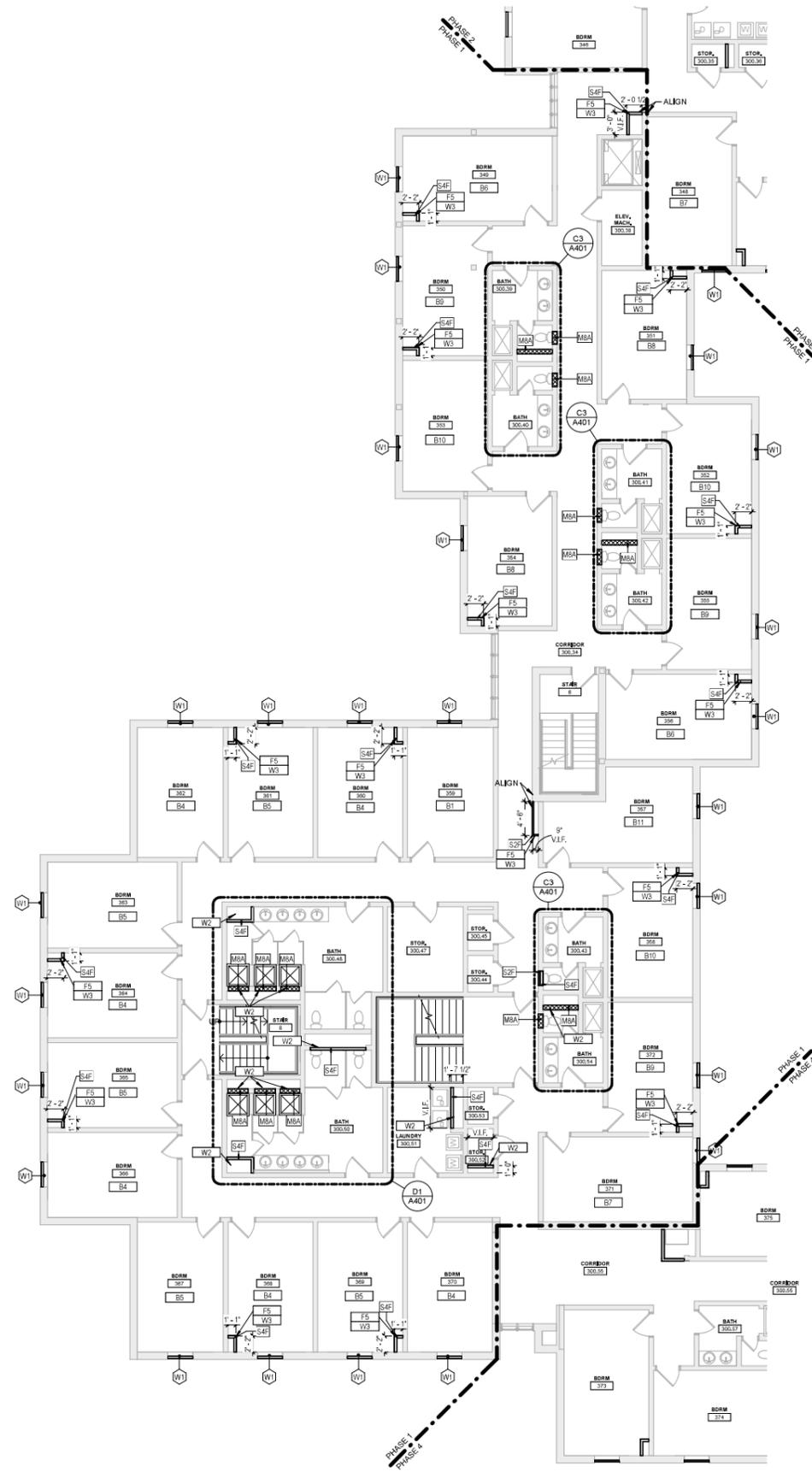
GENERAL PLAN AND DEMO NOTES
 1. REFERENCE SHEET A000.1 FOR FURTHER INFORMATION RELATING TO PLAN AND DEMOLITION NOTES
 2. REFER TO SHEET A000.1 FOR DEMO KEYNOTES LEGEND AND CONSTRUCTION KEYNOTES LEGEND.

PLAN GRAPHIC LEGEND

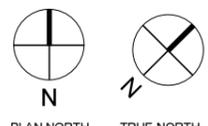
- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED
- NEW CMU WALL
- NEW WALL
- EXISTING DOOR AND FRAME TO REMAIN
- EXISTING DOOR AND FRAME TO BE REMOVED
- NEW DOOR AND FRAME
- EXISTING FLOOR TO BE REMOVED
- NEW CONCRETE SLAB INFILL
- NEW WALKING PADS

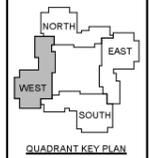


A2 THIRD FLOOR DEMO PLAN - PHASE 1
 1/8" = 1'-0"



A1 THIRD FLOOR PLAN - PHASE 1
 1/8" = 1'-0"





No.	Date	Description
Revision Schedule		

NOT FOR CONSTRUCTION

JOB NO.
076982

ISSUE
 100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING
 11/22/2023

TITLE
 FOURTH FLOOR PLAN AND DEMO PLAN - PHASE 1

SHEET
A101.4

PLAN GENERAL NOTES

- WORK FROM GIVEN DIMENSIONS. IN GENERAL, LARGE-SCALE DETAILS TAKE PRECEDENCE OVER SMALLER SCALE PLANS, ELEVATIONS AND BUILDING SECTIONS. NOTIFY THE ARCHITECT OF ANY DIMENSIONAL DISCREPANCIES PRIOR TO COMMENCING THE WORK, AND DO NOT BEGIN WORK UNTIL SUCH DISCREPANCIES ARE RESOLVED BY THE ARCHITECT.
- DO NOT SCALE THE DRAWINGS.
- DIMENSIONS INDICATED AS "CLEAR" SHALL BE MAINTAINED IN CASES OF DISCREPANCY.
- UNLESS NOTED OTHERWISE, THE LOCATION OF DOOR FRAMES SHALL BE:
 • CMU PARTITIONS: 4" FROM THE ADJACENT WALL TO THE HINGE SIDE OF THE ROUGH OPENING.
 • METAL STUD PARTITIONS: 4" FROM THE ADJACENT WALL STUDS TO THE HINGE SIDE OF THE ROUGH OPENING.
- MASONRY OPENING OR ROUGH OPENING DIMENSIONS INDICATED ARE NOMINAL DIMENSIONS AND MAY NOT MATCH THE ACTUAL DIMENSIONS OF THE PRODUCT. COORDINATE ALL MASONRY OPENINGS AND ROUGH OPENINGS WITH THE ACTUAL WINDOW UNIT, DOORFRAME, CURTAIN WALL/STOREFRONT, OR LOUVER SIZES AND REQUIREMENTS.
- DIMENSIONAL CONTROL:**
EXTERIOR DIMENSIONS ARE TO:
 • CENTERLINE OF COLUMN
 • FACE OF MASONRY
 • FACE OF STUD
 • FACE OF CONCRETE
 • CENTERLINE OF WINDOW OPENING
 • ROUGH OPENING
 • MASONRY OPENING
INTERIOR DIMENSIONS ARE TO:
 • CENTERLINE OF COLUMN
 • FACE OF MASONRY
 • FACE OF STUD
 • FACE OF EXISTING FINISH MATERIAL
 • EXISTING DIMENSIONS SHALL BE VERIFIED, REPORT ANY DISCREPANCIES TO THE ARCHITECT.
- TYPICAL DETAIL NOTES:**
 THE FOLLOWING NOTES ARE TYPICAL THROUGHOUT THIS PROJECT AND APPLY IN ALL CASES UNLESS SPECIFICALLY NOTED OTHERWISE. THESE NOTES AND ASSOCIATED DETAILS MAY NOT BE DIRECTLY REFERENCED ON THE DRAWINGS.
 • ALL GWS PARTITIONS INTERSECTING MASONRY PARTITIONS, EITHER NEW OR EXISTING, SHALL BE FINISHED WITH A "J" BEAD AND CONTINUOUS SEALANT.
 • ALL NEW OPENINGS FOR WINDOWS AND DOORS IN EXISTING MASONRY WALLS SHALL BE TOOTHED IN AT THE JAMBS.
 • ALL ROOF LEADERS, HEAT PIPING, SPRINKLER RISERS, PLUMBING VENTS, SANITARY PLUMBING OR MISCELLANEOUS PIPING SHALL BE ENCLOSED WITHIN THE WALL CONSTRUCTION.
 • ALL DUCT PENETRATIONS THROUGH FLOORS SHALL BE ENCLOSED IN A CHASE.

ROOM NUMBER NOTE:
 BEDROOMS ARE IDENTIFIED WITH THREE DIGITS
 OTHER ROOMS ARE IDENTIFIED WITH 4 DIGITS

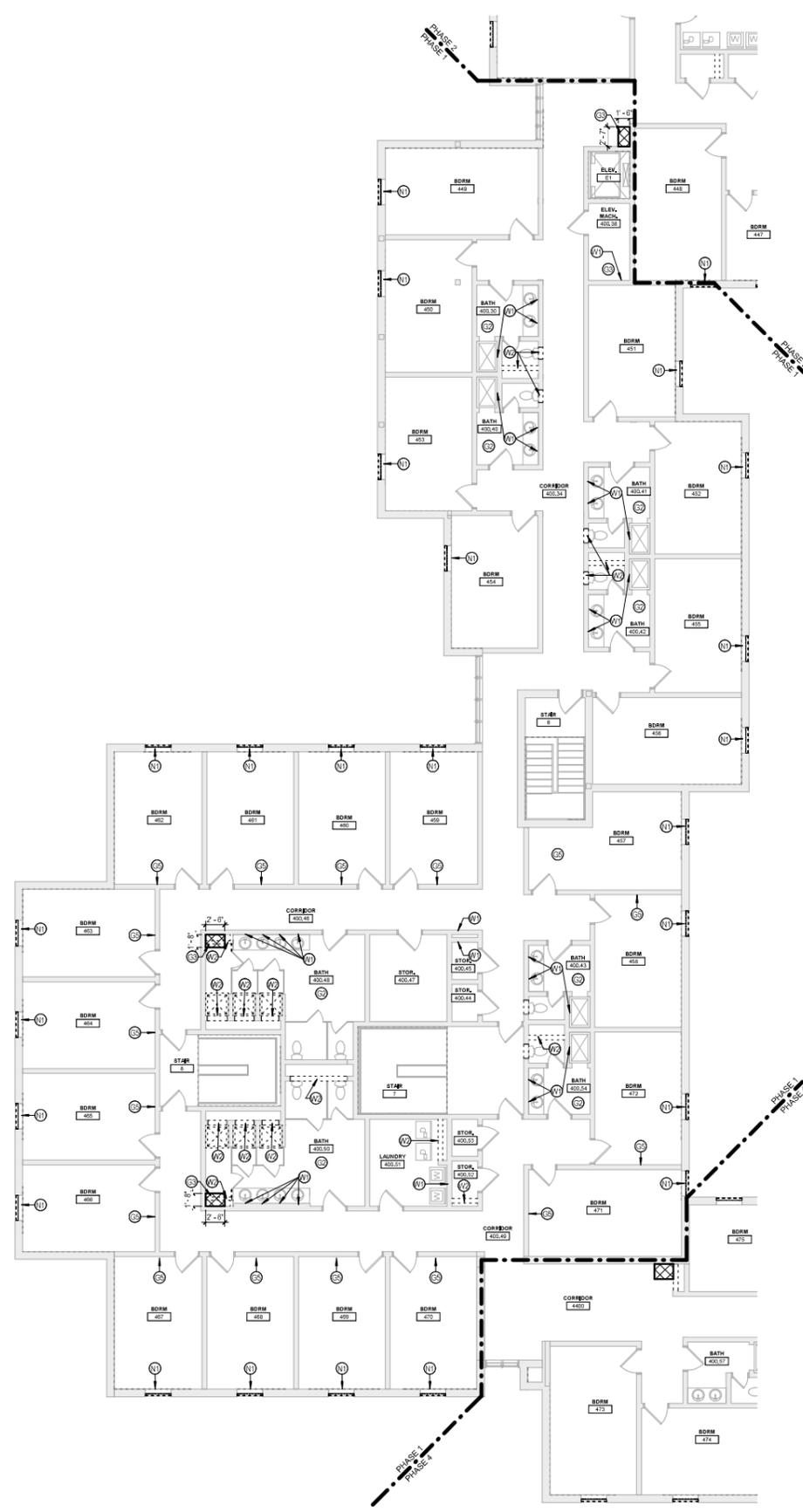
1ST DIGIT = FLOOR
 2ND DIGIT = PHASE
 3RD AND 4TH DIGIT = ROOM IDENTIFIER

GENERAL PLAN AND DEMO NOTES

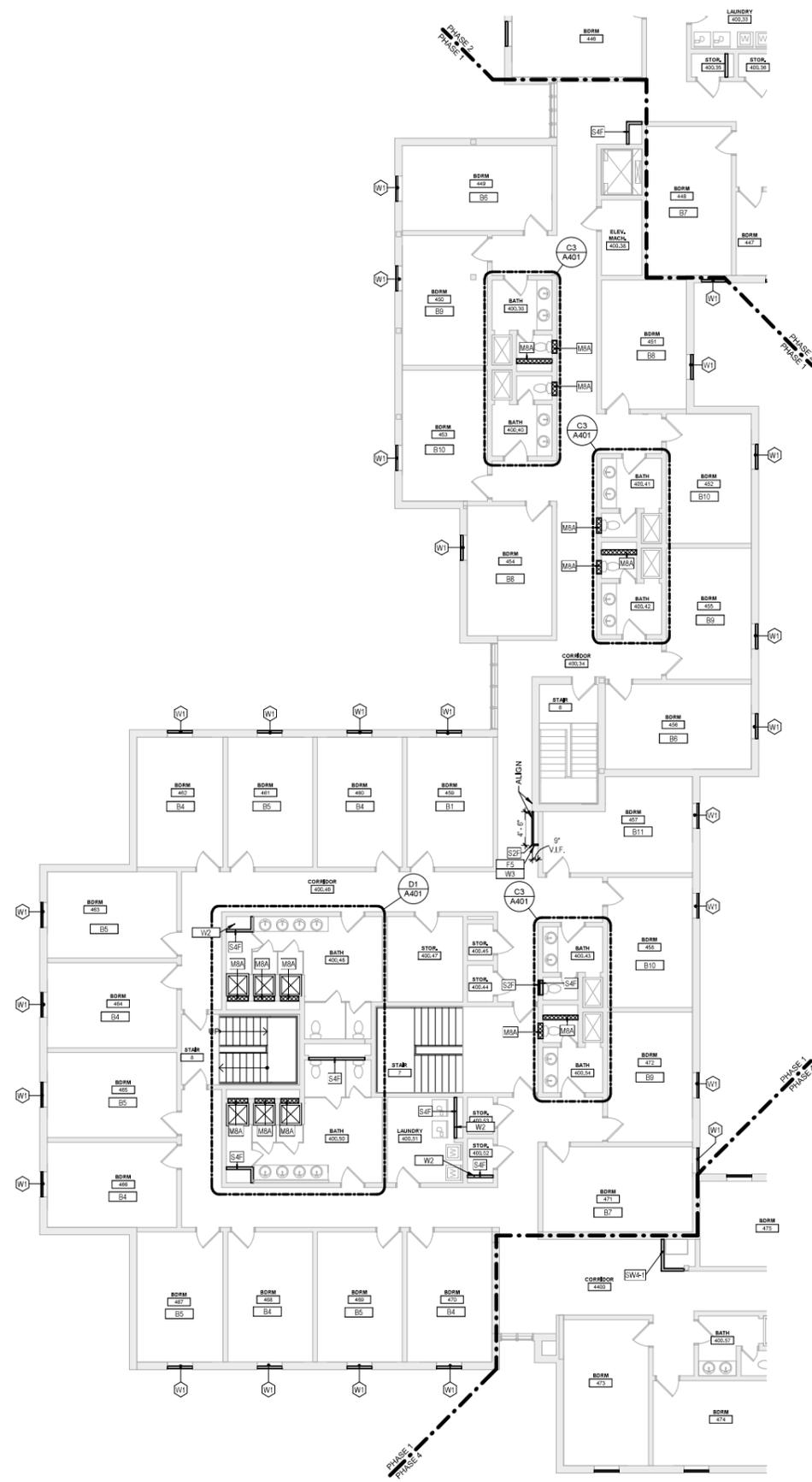
- REFERENCE SHEET A000.1 FOR FURTHER INFORMATION RELATING TO PLAN AND DEMOLITION NOTES
- REFER TO SHEET A000.1 FOR DEMO KEYNOTES LEGEND AND CONSTRUCTION KEYNOTES LEGEND.

PLAN GRAPHIC LEGEND

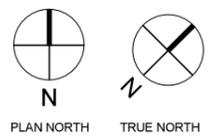
- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED
- NEW CMU WALL
- NEW WALL
- EXISTING DOOR AND FRAME TO REMAIN
- EXISTING DOOR AND FRAME TO BE REMOVED
- NEW DOOR AND FRAME
- EXISTING FLOOR TO BE REMOVED
- NEW CONCRETE SLAB INFILL
- NEW WALKING PADS



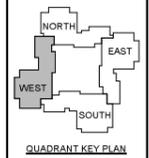
A2 FOURTH FLOOR DEMO PLAN - PHASE 1
 1/8" = 1'-0"



A1 FOURTH FLOOR PLAN - PHASE 1
 1/8" = 1'-0"



PLAN NORTH TRUE NORTH



No.	Date	Description
Revision Schedule		

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JOB NO.
078982

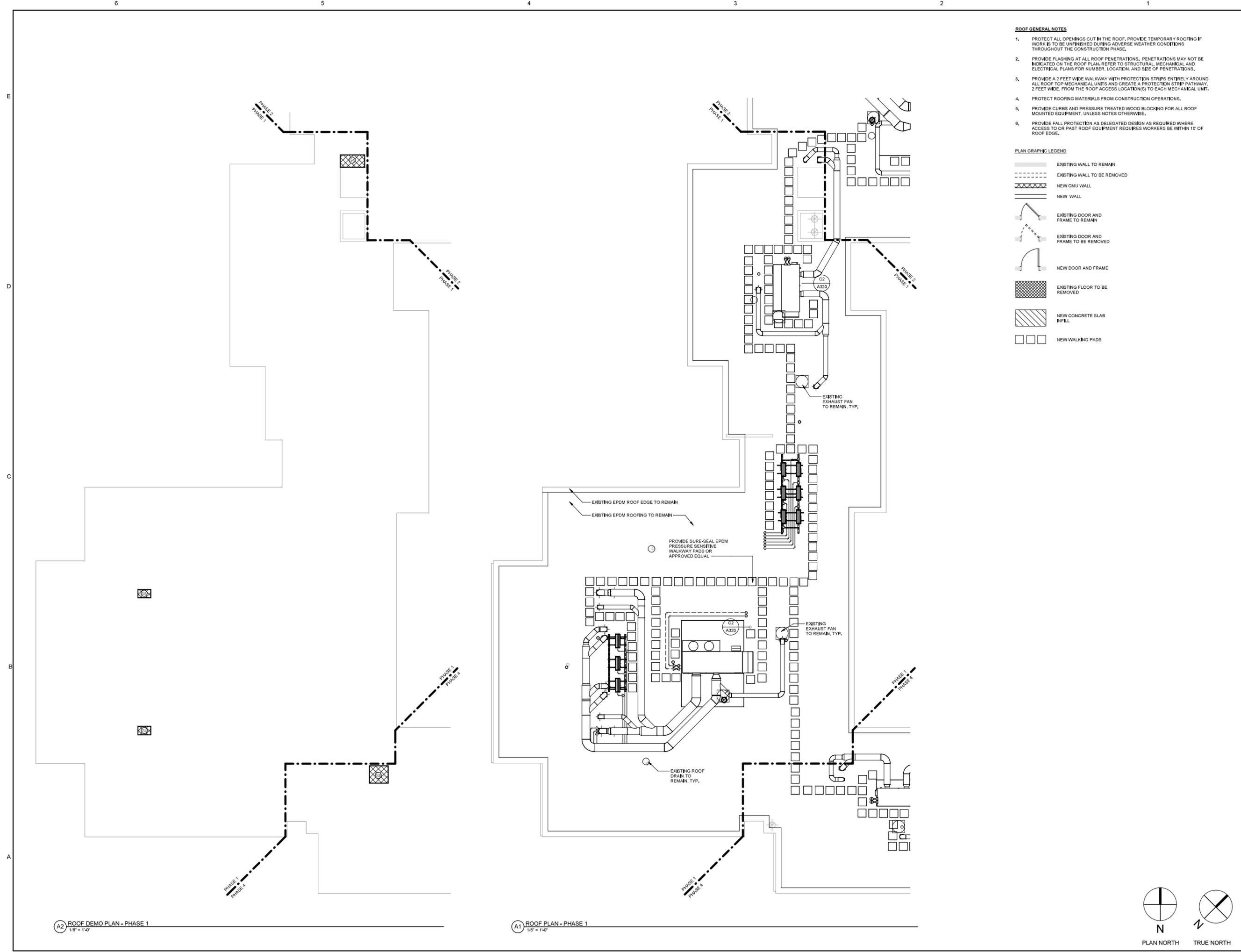
ISSUE
 100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING
 11/22/2023

TITLE
 ROOF PLAN AND DEMO PLAN-PHASE 1

SHEET
A101.5

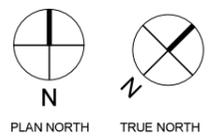
- ROOF GENERAL NOTES**
1. PROTECT ALL OPENINGS CUT IN THE ROOF. PROVIDE TEMPORARY ROOFING IF WORK IS TO BE UNFINISHED DURING ADVERSE WEATHER CONDITIONS THROUGHOUT THE CONSTRUCTION PHASE.
 2. PROVIDE FLASHING AT ALL ROOF PENETRATIONS. PENETRATIONS MAY NOT BE INDICATED ON THE ROOF PLAN. REFER TO STRUCTURAL, MECHANICAL AND ELECTRICAL PLANS FOR NUMBER, LOCATION, AND SIZE OF PENETRATIONS.
 3. PROVIDE A 2 FEET WIDE WALKWAY WITH PROTECTION STRIPS ENTIRELY AROUND ALL ROOF TOP MECHANICAL UNITS AND CREATE A PROTECTION STRIP PATHWAY, 2 FEET WIDE, FROM THE ROOF ACCESS LOCATION(S) TO EACH MECHANICAL UNIT.
 4. PROTECT ROOFING MATERIALS FROM CONSTRUCTION OPERATIONS.
 5. PROVIDE CURBS AND PRESSURE TREATED WOOD BLOCKING FOR ALL ROOF MOUNTED EQUIPMENT, UNLESS NOTES OTHERWISE.
 6. PROVIDE FALL PROTECTION AS DELEGATED DESIGN AS REQUIRED WHERE ACCESS TO OR PAST ROOF EQUIPMENT REQUIRES WORKERS BE WITHIN 10' OF ROOF EDGE.

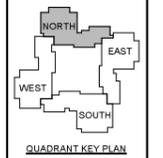
- PLAN GRAPHIC LEGEND**
- EXISTING WALL TO REMAIN
 - EXISTING WALL TO BE REMOVED
 - NEW CMU WALL
 - NEW WALL
 - EXISTING DOOR AND FRAME TO REMAIN
 - EXISTING DOOR AND FRAME TO BE REMOVED
 - NEW DOOR AND FRAME
 - EXISTING FLOOR TO BE REMOVED
 - NEW CONCRETE SLAB INFILL
 - NEW WALKING PADS



A2 ROOF DEMO PLAN - PHASE 1
 1/8" = 1'-0"

A1 ROOF PLAN - PHASE 1
 1/8" = 1'-0"





No.	Date	Description
Revision Schedule		

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 BIDDING
 11/22/2023

TITLE
 FIRST FLOOR PLAN
 AND DEMO PLAN -
 PHASE 2

SHEET
A102.1

PLAN GENERAL NOTES

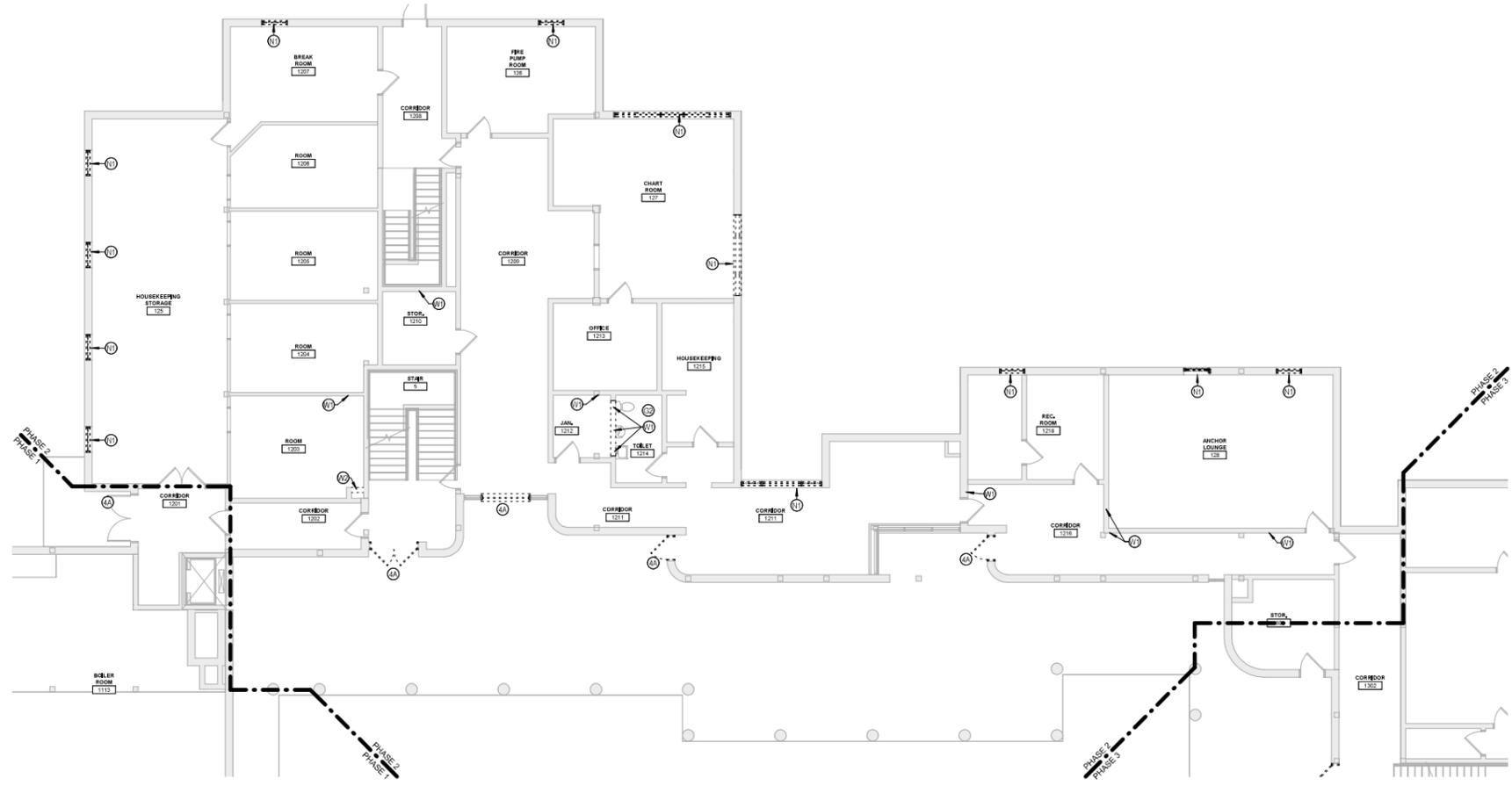
- WORK FROM GIVEN DIMENSIONS. IN GENERAL, LARGE-SCALE DETAILS TAKE PRECEDENCE OVER SMALLER SCALE PLANS, ELEVATIONS AND BUILDING SECTIONS. NOTIFY THE ARCHITECT OF ANY DIMENSIONAL DISCREPANCIES PRIOR TO COMMENCING THE WORK, AND DO NOT BEGIN WORK UNTIL SUCH DISCREPANCIES ARE RESOLVED BY THE ARCHITECT.
- DO NOT SCALE THE DRAWINGS.
- DIMENSIONS INDICATED AS "CLEAR" SHALL BE MAINTAINED IN CASES OF DISCREPANCY.
- UNLESS NOTED OTHERWISE, THE LOCATION OF DOOR FRAMES SHALL BE:
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 • METAL STUD PARTITIONS: 4" FROM THE ADJACENT WALL STUDS TO THE HINGE SIDE OF THE ROUGH OPENING.
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- DIMENSIONAL CONTROL:**
EXTERIOR DIMENSIONS ARE TO:
 • CENTERLINE OF COLUMN
 • FACE OF MASONRY
 • FACE OF STUD
 • FACE OF CONCRETE
 • CENTERLINE OF WINDOW OPENING
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INTERIOR DIMENSIONS ARE TO:
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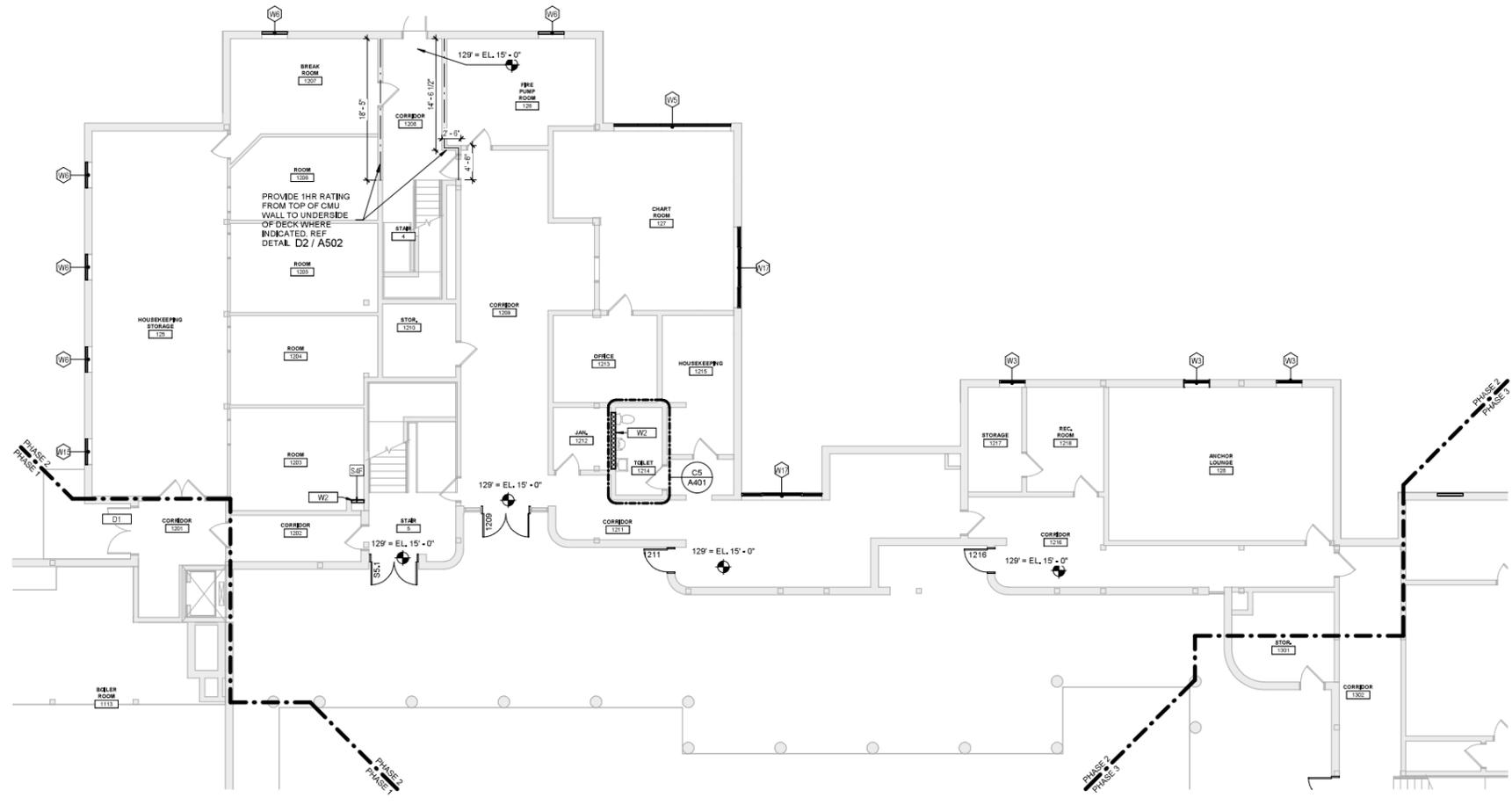
GENERAL PLAN AND DEMO NOTES
 1. REFERENCE SHEET A000.1 FOR FURTHER INFORMATION RELATING TO PLAN AND DEMOLITION NOTES
 2. REFER TO SHEET A000.1 FOR DEMO KEYNOTES LEGEND AND CONSTRUCTION KEYNOTES LEGEND.

PLAN GRAPHIC LEGEND

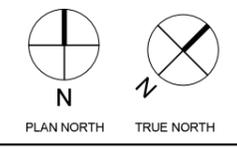
- EXISTING WALL TO REMAIN
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- NEW CMU WALL
- NEW WALL
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- NEW DOOR AND FRAME
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- NEW WALKING PADS

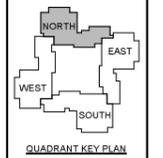


B1 FIRST FLOOR DEMO PLAN - PHASE 2
 1/8" = 1'-0"



A1 FIRST FLOOR PLAN - PHASE 2
 1/8" = 1'-0"





No.	Date	Description
Revision Schedule		

NOT FOR CONSTRUCTION

JOB NO.
076982

ISSUE
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11/22/2023

TITLE
SECOND FLOOR PLAN AND DEMO PLAN - PHASE 2

SHEET
A102.2

PLAN GENERAL NOTES

- WORK FROM GIVEN DIMENSIONS. IN GENERAL, LARGE-SCALE DETAILS TAKE PRECEDENCE OVER SMALLER SCALE PLANS, ELEVATIONS AND BUILDING SECTIONS. NOTIFY THE ARCHITECT OF ANY DIMENSIONAL DISCREPANCIES PRIOR TO COMMENCING THE WORK, AND DO NOT BEGIN WORK UNTIL SUCH DISCREPANCIES ARE RESOLVED BY THE ARCHITECT.
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- DIMENSIONAL CONTROL:**
 - EXTERIOR DIMENSIONS ARE TO:**
 - CENTERLINE OF COLUMN
 - FACE OF MASONRY
 - FACE OF STUD
 - FACE OF CONCRETE
 - CENTERLINE OF WINDOW OPENING
 - ROUGH OPENING
 - MASONRY OPENING
 - INTERIOR DIMENSIONS ARE TO:**
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 - ALL DUCT PENETRATIONS THROUGH FLOORS SHALL BE ENCLOSED IN A CHASE.

ROOM NUMBER NOTE:

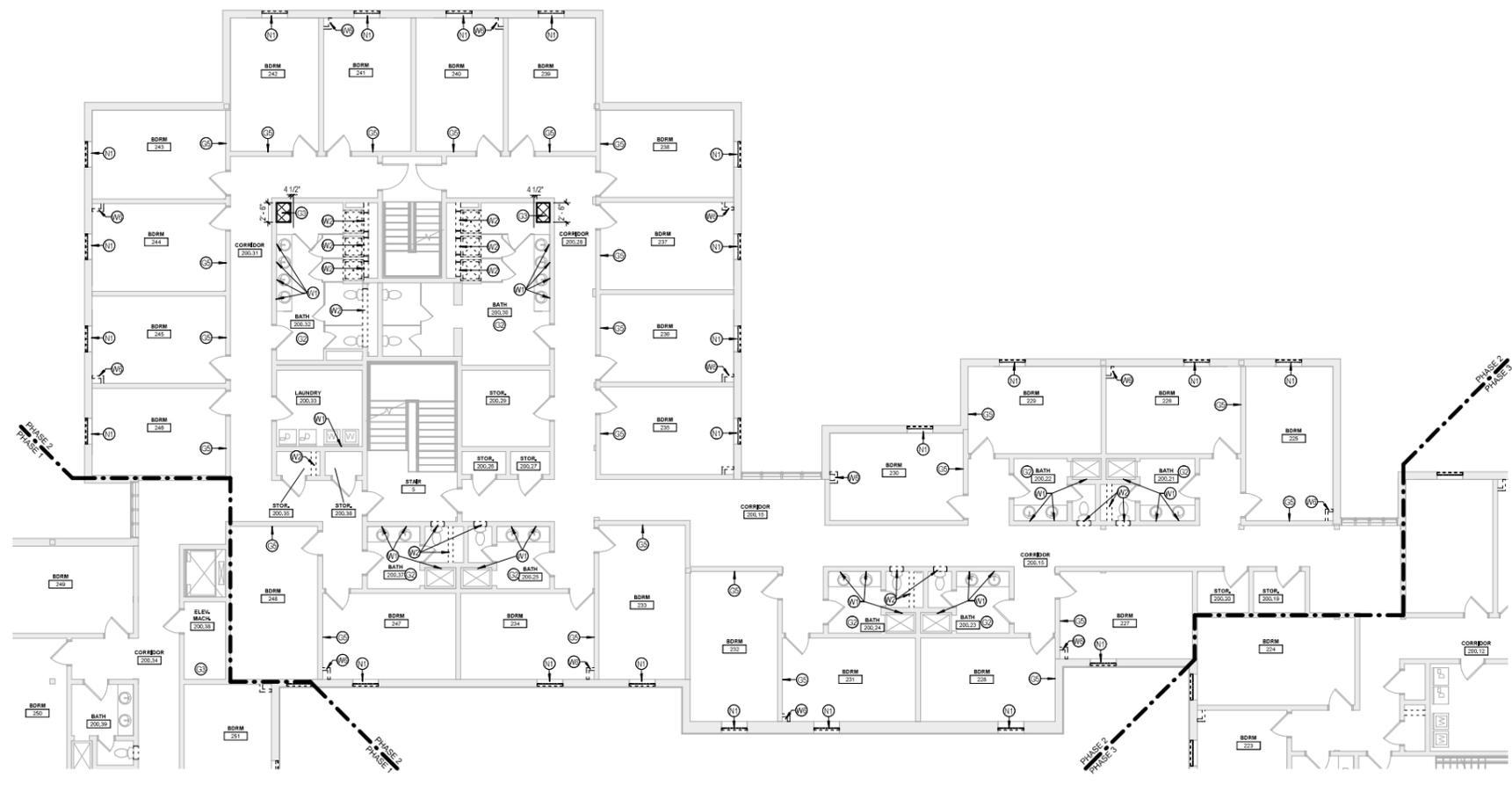
- BEDROOMS ARE IDENTIFIED WITH THREE DIGITS
- OTHER ROOMS ARE IDENTIFIED WITH 4 DIGITS
- 1ST DIGIT = FLOOR
- 2ND DIGIT = PHASE
- 3RD AND 4TH DIGIT = ROOM IDENTIFIER

GENERAL PLAN AND DEMO NOTES

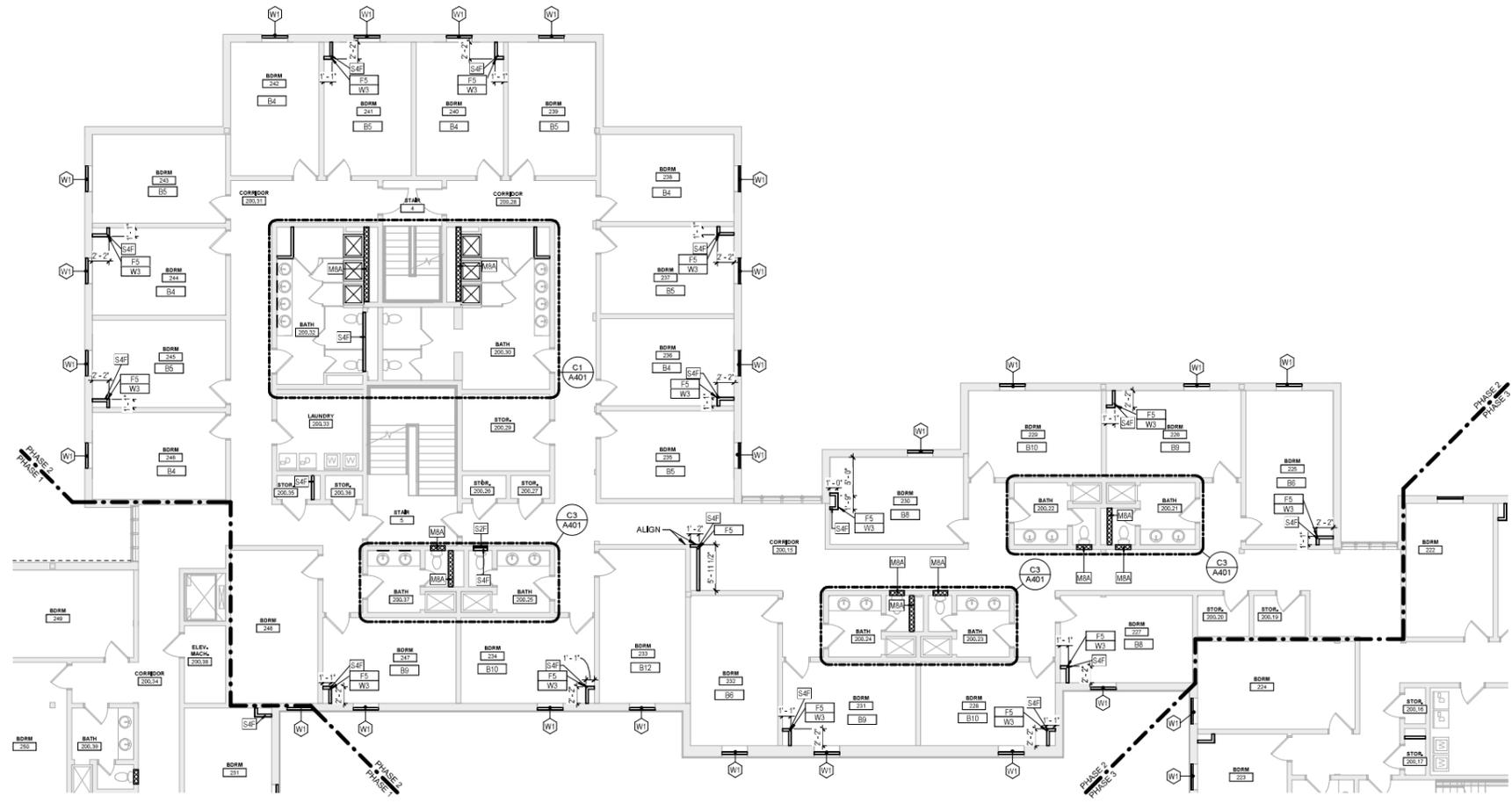
- REFERENCE SHEET A000.1 FOR FURTHER INFORMATION RELATING TO PLAN AND DEMOLITION NOTES
- REFER TO SHEET A000.1 FOR DEMO KEYNOTES LEGEND AND CONSTRUCTION KEYNOTES LEGEND.

PLAN GRAPHIC LEGEND

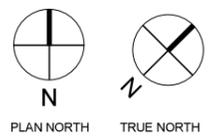
- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED
- NEW CMU WALL
- NEW WALL
- EXISTING DOOR AND FRAME TO REMAIN
- EXISTING DOOR AND FRAME TO BE REMOVED
- NEW DOOR AND FRAME
- EXISTING FLOOR TO BE REMOVED
- NEW CONCRETE SLAB INFILL
- NEW WALKING PADS

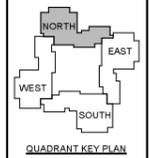


B1 SECOND FLOOR DEMO PLAN - PHASE 2
1/8" = 1'-0"



A1 SECOND FLOOR PLAN - PHASE 2
1/8" = 1'-0"





No.	Date	Description
Revision Schedule		

NOT FOR
CONSTRUCTION

JOB NO.
076982

ISSUE
100%
CONSTRUCTION
DOCUMENTS -
ISSUED FOR
BIDDING
11/22/2023

TITLE
THIRD FLOOR PLAN
AND DEMO PLAN -
PHASE 2

SHEET
A102.3

PLAN GENERAL NOTES

- WORK FROM GIVEN DIMENSIONS. IN GENERAL, LARGE-SCALE DETAILS TAKE PRECEDENCE OVER SMALLER SCALE PLANS, ELEVATIONS AND BUILDING SECTIONS. NOTIFY THE ARCHITECT OF ANY DIMENSIONAL DISCREPANCIES PRIOR TO COMMENCING THE WORK, AND DO NOT BEGIN WORK UNTIL SUCH DISCREPANCIES ARE RESOLVED BY THE ARCHITECT.
- DO NOT SCALE THE DRAWINGS.
- DIMENSIONS INDICATED AS "CLEAR" SHALL BE MAINTAINED IN CASES OF DISCREPANCY.
- UNLESS NOTED OTHERWISE, THE LOCATION OF DOOR FRAMES SHALL BE:
CMU PARTITIONS: 4" FROM THE ADJACENT WALL TO THE HINGE SIDE OF THE ROUGH OPENING.
METAL STUD PARTITIONS: 4" FROM THE ADJACENT WALL STUDS TO THE HINGE SIDE OF THE ROUGH OPENING.
- MASONRY OPENING OR ROUGH OPENING DIMENSIONS INDICATED ARE NOMINAL DIMENSIONS AND MAY NOT MATCH THE ACTUAL DIMENSIONS OF THE PRODUCT. COORDINATE ALL MASONRY OPENINGS AND ROUGH OPENINGS WITH THE ACTUAL WINDOW UNIT, DOORFRAME, CURTAIN WALL/STOREFRONT, OR LOUVER SIZES AND REQUIREMENTS.
- DIMENSIONAL CONTROL:**
 - EXTERIOR DIMENSIONS ARE TO:**
 - CENTERLINE OF COLUMN
 - FACE OF MASONRY
 - FACE OF STUD
 - FACE OF CONCRETE
 - CENTERLINE OF WINDOW OPENING
 - ROUGH OPENING
 - MASONRY OPENING
 - INTERIOR DIMENSIONS ARE TO:**
 - CENTERLINE OF COLUMN
 - FACE OF MASONRY
 - FACE OF STUD
 - FACE OF EXISTING FINISH MATERIAL
 - EXISTING DIMENSIONS SHALL BE VERIFIED. REPORT ANY DISCREPANCIES TO THE ARCHITECT.**
- TYPICAL DETAIL NOTES:**
THE FOLLOWING NOTES ARE TYPICAL THROUGHOUT THIS PROJECT AND APPLY IN ALL CASES UNLESS SPECIFICALLY NOTED OTHERWISE. THESE NOTES AND ASSOCIATED DETAILS MAY NOT BE DIRECTLY REFERENCED ON THE DRAWINGS:
 - ALL GWB PARTITIONS INTERSECTING MASONRY PARTITIONS, EITHER NEW OR EXISTING, SHALL BE FINISHED WITH A "J" BEAD AND CONTINUOUS SEALANT.
 - ALL NEW OPENINGS FOR WINDOWS AND DOORS IN EXISTING MASONRY WALLS SHALL BE TOOTHED IN AT THE JAMBS. ALL ROOF LEADERS, HEAT PIPING, SPRINKLER RISERS, PLUMBING VENTS, SANITARY PLUMBING OR MISCELLANEOUS PIPING SHALL BE ENCLOSED WITHIN THE WALL CONSTRUCTION.
 - ALL DUCT PENETRATIONS THROUGH FLOORS SHALL BE ENCLOSED IN A CHASE.

ROOM NUMBER NOTE:
BEDROOMS ARE IDENTIFIED WITH THREE DIGITS
OTHER ROOMS ARE IDENTIFIED WITH 4 DIGITS

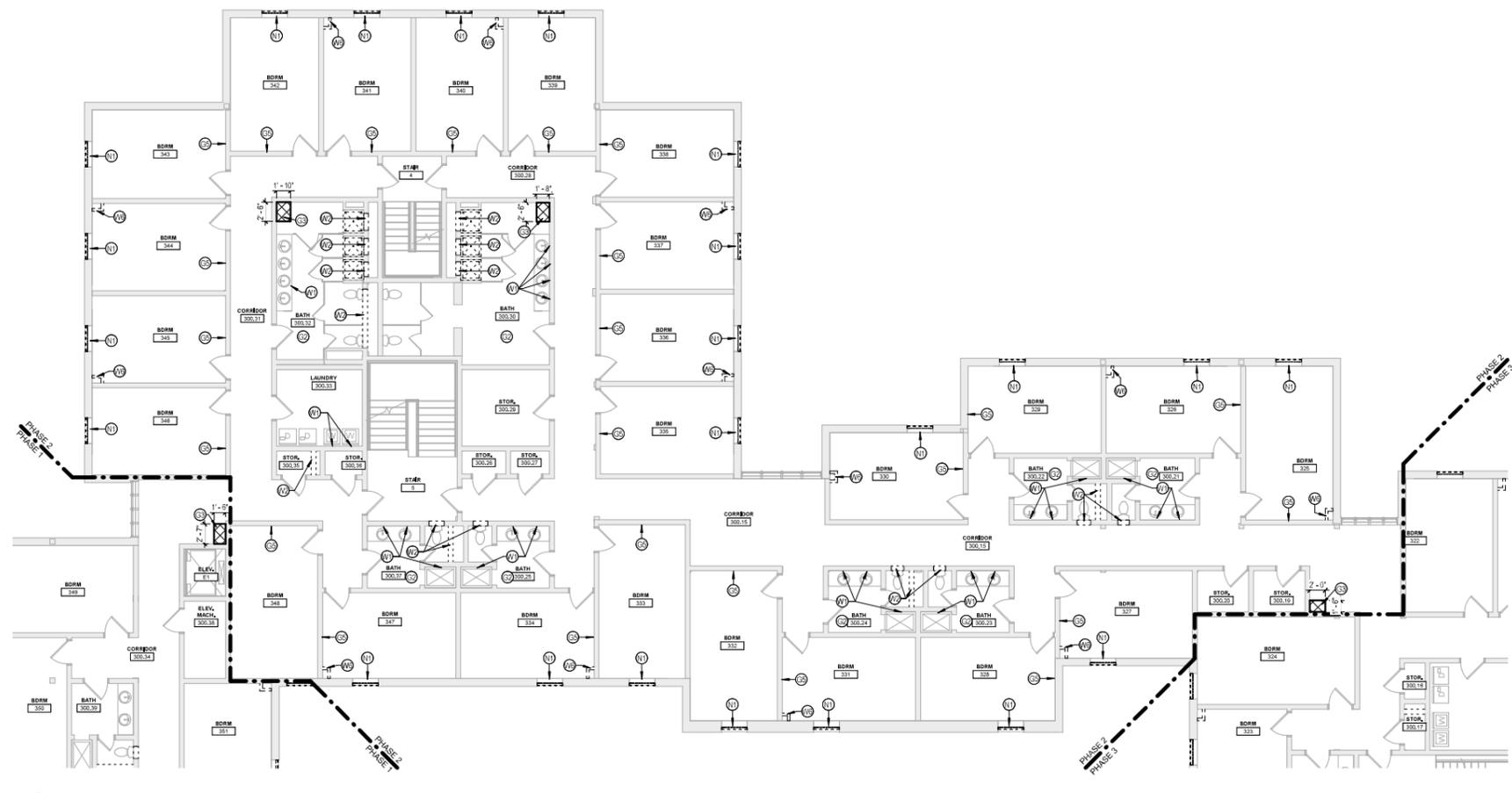
1ST DIGIT = FLOOR
2ND DIGIT = PHASE
3RD AND 4TH DIGIT = ROOM IDENTIFIER

GENERAL PLAN AND DEMO NOTES

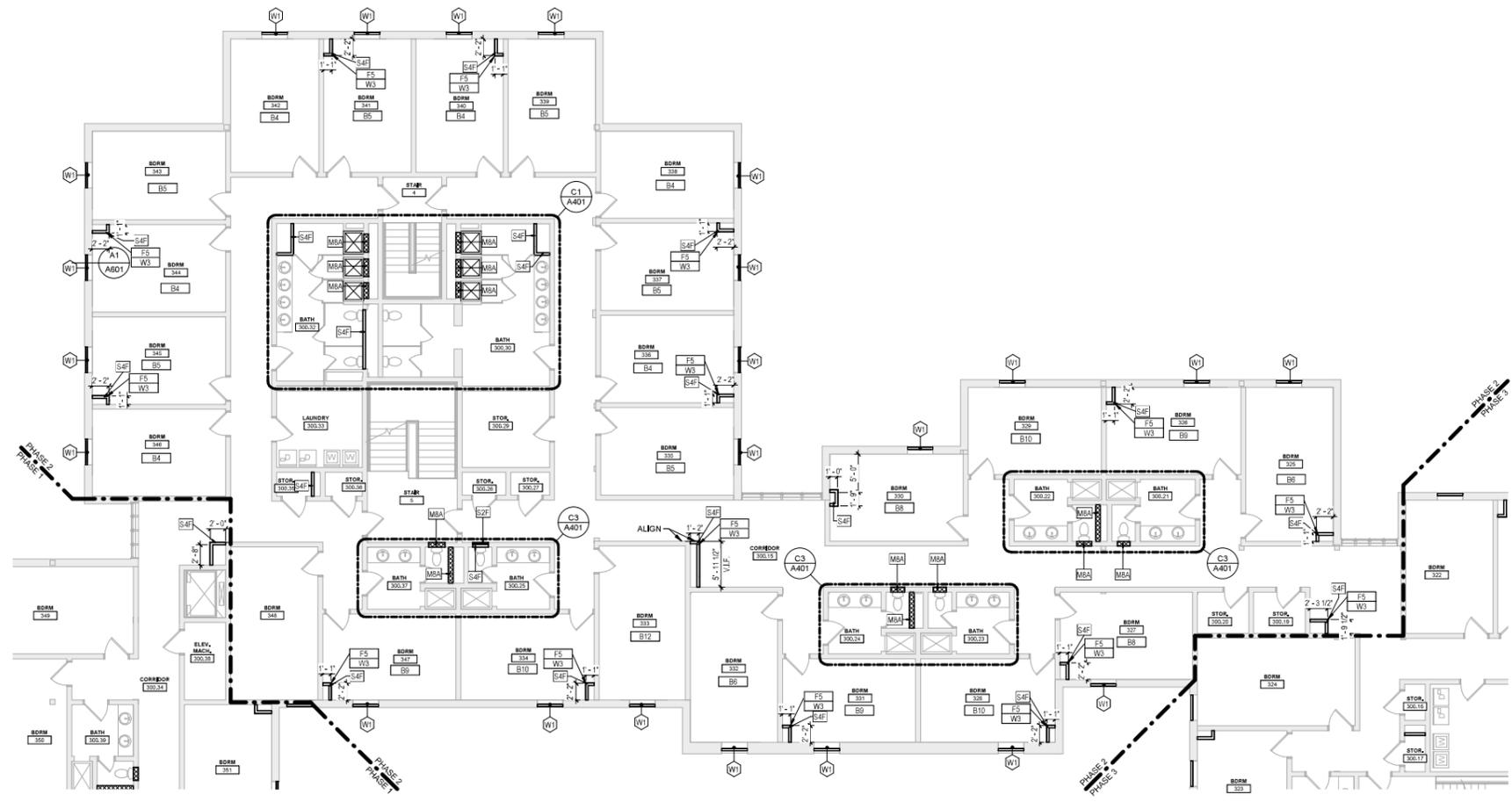
- REFERENCE SHEET A401 FOR FURTHER INFORMATION RELATING TO PLAN AND DEMOLITION NOTES
- REFER TO SHEET A400, FOR DEMO KEYNOTES LEGEND AND CONSTRUCTION KEYNOTES LEGEND.

PLAN GRAPHIC LEGEND

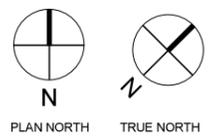
- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED
- NEW CMU WALL
- NEW WALL
- EXISTING DOOR AND FRAME TO REMAIN
- EXISTING DOOR AND FRAME TO BE REMOVED
- NEW DOOR AND FRAME
- EXISTING FLOOR TO BE REMOVED
- NEW CONCRETE SLAB INFILL
- NEW WALKING PADS

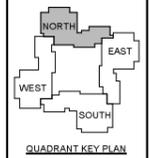


B1 THIRD FLOOR DEMO PLAN - PHASE 2
1/8" = 1'-0"



A1 THIRD FLOOR PLAN - PHASE 2
1/8" = 1'-0"





No.	Date	Description
Revision Schedule		

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076982

ISSUE
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11/22/2023

TITLE
FOURTH FLOOR PLAN AND DEMO PLAN - PHASE 2

SHEET
A102.4

PLAN GENERAL NOTES

- WORK FROM GIVEN DIMENSIONS. IN GENERAL, LARGE-SCALE DETAILS TAKE PRECEDENCE OVER SMALLER SCALE PLANS, ELEVATIONS AND BUILDING SECTIONS. NOTIFY THE ARCHITECT OF ANY DIMENSIONAL DISCREPANCIES PRIOR TO COMMENCING THE WORK, AND DO NOT BEGIN WORK UNTIL SUCH DISCREPANCIES ARE RESOLVED BY THE ARCHITECT.
- DO NOT SCALE THE DRAWINGS.
- DIMENSIONS INDICATED AS "CLEAR" SHALL BE MAINTAINED IN CASES OF DISCREPANCY.
- UNLESS NOTED OTHERWISE, THE LOCATION OF DOOR FRAMES SHALL BE:
 - CMU PARTITIONS: 4" FROM THE ADJACENT WALL TO THE HINGE SIDE OF THE ROUGH OPENING.
 - METAL STUD PARTITIONS: 4" FROM THE ADJACENT WALL STUDS TO THE HINGE SIDE OF THE ROUGH OPENING.
- MASONRY OPENING OR ROUGH OPENING DIMENSIONS INDICATED ARE NOMINAL DIMENSIONS AND MAY NOT MATCH THE ACTUAL DIMENSIONS OF THE PRODUCT. COORDINATE ALL MASONRY OPENINGS AND ROUGH OPENINGS WITH THE ACTUAL WINDOW UNIT, DOORFRAME, CURTAIN WALLSTOREFRONT, OR LOUVER SIZES AND REQUIREMENTS.
- DIMENSIONAL CONTROL:**
 - EXTERIOR DIMENSIONS ARE TO:**
 - CENTERLINE OF COLUMN
 - FACE OF MASONRY
 - FACE OF STUD
 - FACE OF CONCRETE
 - CENTERLINE OF WINDOW OPENING
 - ROUGH OPENING
 - MASONRY OPENING
 - INTERIOR DIMENSIONS ARE TO:**
 - CENTERLINE OF COLUMN
 - FACE OF MASONRY
 - FACE OF STUD
 - FACE OF EXISTING FINISH MATERIAL
 - EXISTING DIMENSIONS SHALL BE VERIFIED. REPORT ANY DISCREPANCIES TO THE ARCHITECT.**
- TYPICAL DETAIL NOTES:**
 THE FOLLOWING NOTES ARE TYPICAL THROUGHOUT THIS PROJECT AND APPLY IN ALL CASES UNLESS SPECIFICALLY NOTED OTHERWISE. THESE NOTES AND ASSOCIATED DETAILS MAY NOT BE DIRECTLY REFERENCED ON THE DRAWINGS.
 - ALL GWS PARTITIONS INTERSECTING MASONRY PARTITIONS, EITHER NEW OR EXISTING, SHALL BE FINISHED WITH A "J" BEAD AND CONTINUOUS SEALANT.
 - ALL NEW OPENINGS FOR WINDOWS AND DOORS IN EXISTING MASONRY WALLS SHALL BE TOOTHED IN AT THE JAMBS.
 - ALL ROOF LEADERS, HEAT PIPING, SPRINKLER RISERS, PLUMBING VENTS, SANITARY PLUMBING OR MISCELLANEOUS PIPING SHALL BE ENCLOSED WITHIN THE WALL CONSTRUCTION.
 - ALL DUCT PENETRATIONS THROUGH FLOORS SHALL BE ENCLOSED IN A CHASE.

ROOM NUMBER NOTE:
BEDROOMS ARE IDENTIFIED WITH THREE DIGITS
OTHER ROOMS ARE IDENTIFIED WITH 4 DIGITS

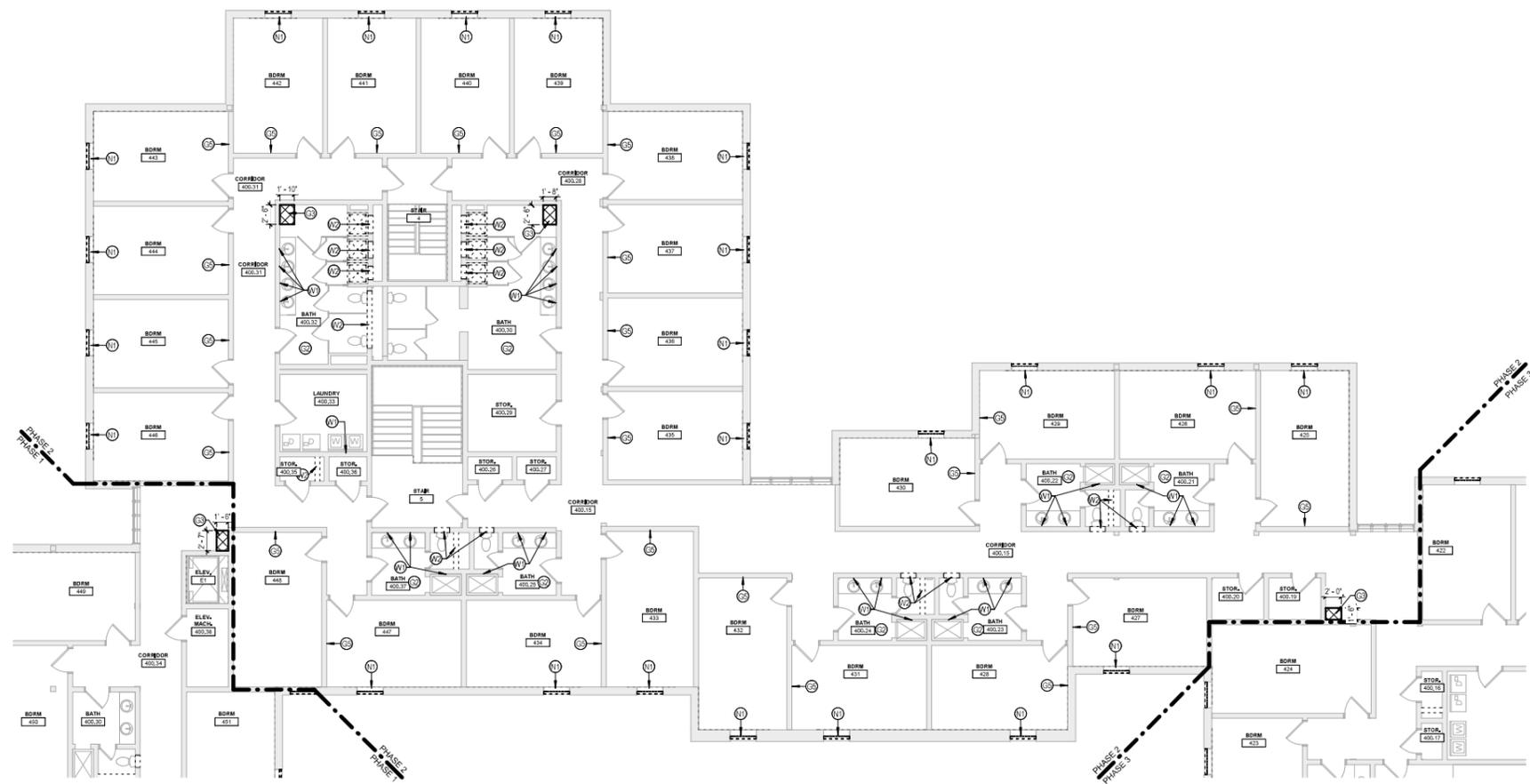
1ST DIGIT = FLOOR
2ND DIGIT = PHASE
3RD AND 4TH DIGIT = ROOM IDENTIFIER

GENERAL PLAN AND DEMO NOTES

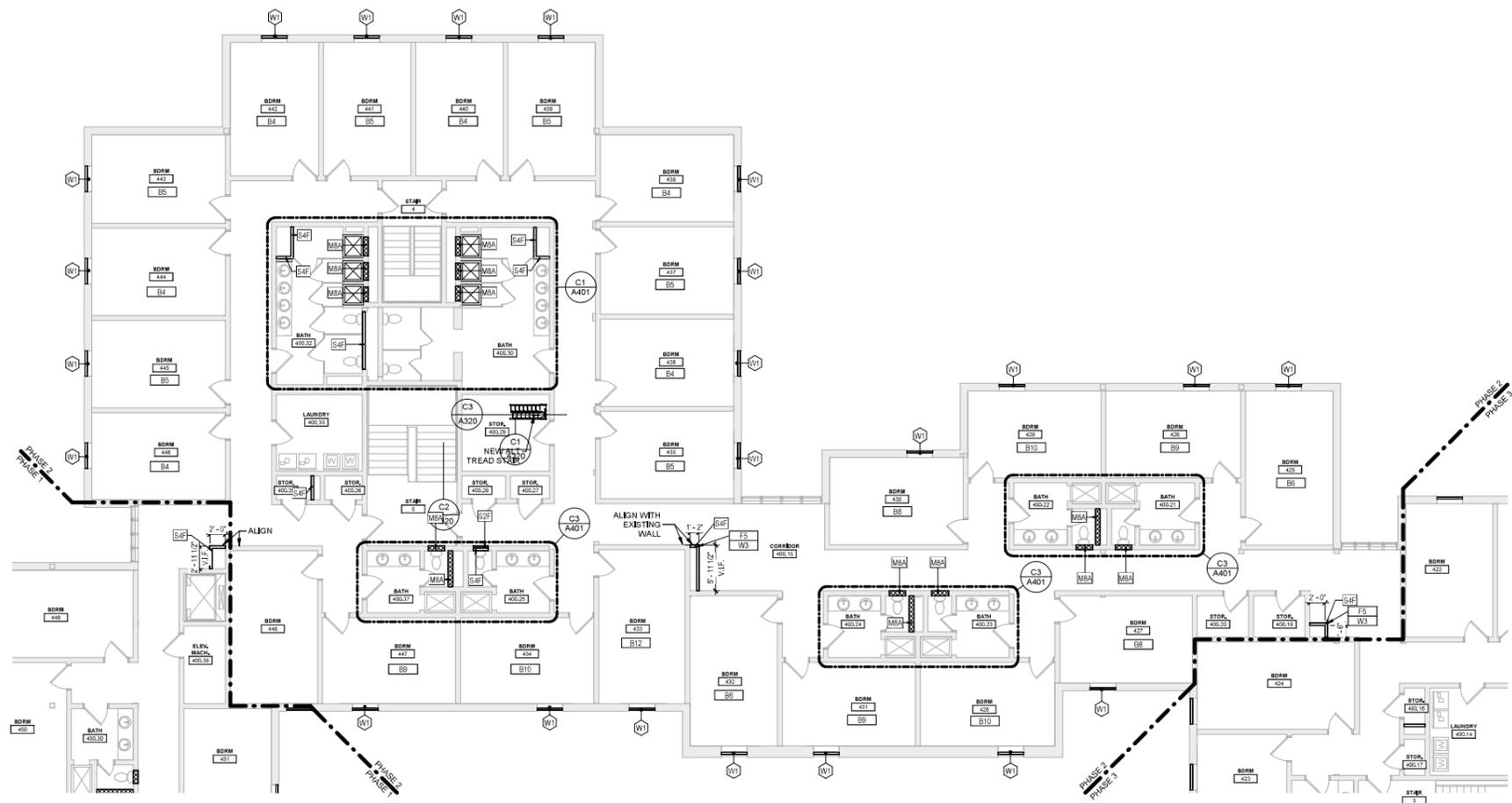
- REFERENCE SHEET A00.1 FOR FURTHER INFORMATION RELATING TO PLAN AND DEMOLITION NOTES
- REFER TO SHEET A00.1 FOR DEMO KEYNOTES LEGEND AND CONSTRUCTION KEYNOTES LEGEND.

PLAN GRAPHIC LEGEND

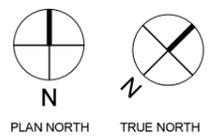
- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED
- NEW CMU WALL
- NEW WALL
- EXISTING DOOR AND FRAME TO REMAIN
- EXISTING DOOR AND FRAME TO BE REMOVED
- NEW DOOR AND FRAME
- EXISTING FLOOR TO BE REMOVED
- NEW CONCRETE SLAB INFILL
- NEW WALKING PADS

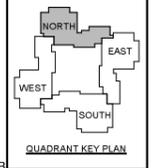


B1 FOURTH FLOOR DEMO PLAN - PHASE 2
1/8" = 1'-0"



A1 FOURTH FLOOR PLAN - PHASE 2
1/8" = 1'-0"





No.	Date	Description
Revision Schedule		

NOT FOR
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JOB NO.
 078982

ISSUE
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 DOCUMENTS -
 ISSUED FOR
 BIDDING
 11/22/2023

TITLE
 ROOF PLAN AND
 DEMO PLAN - PHASE
 2

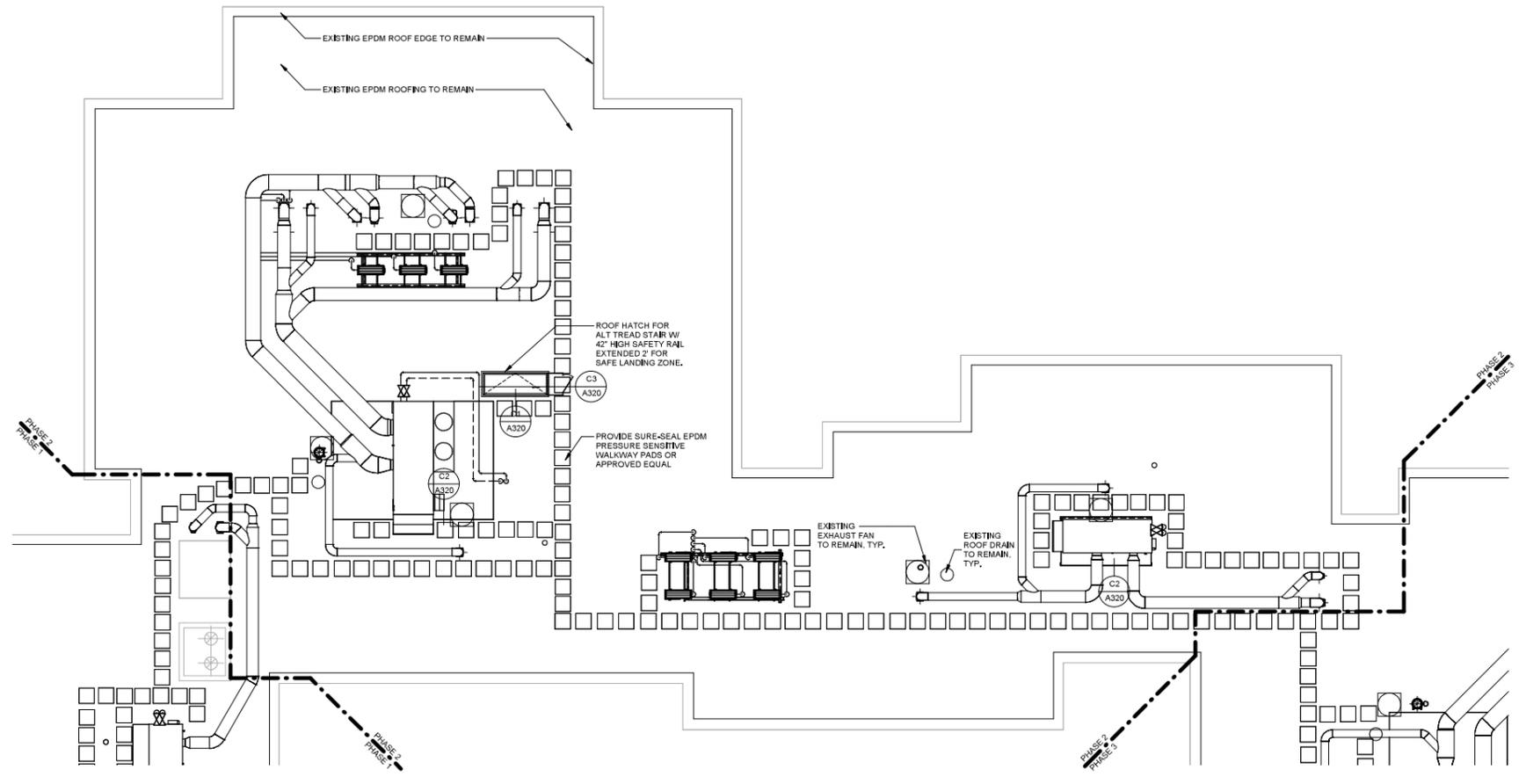
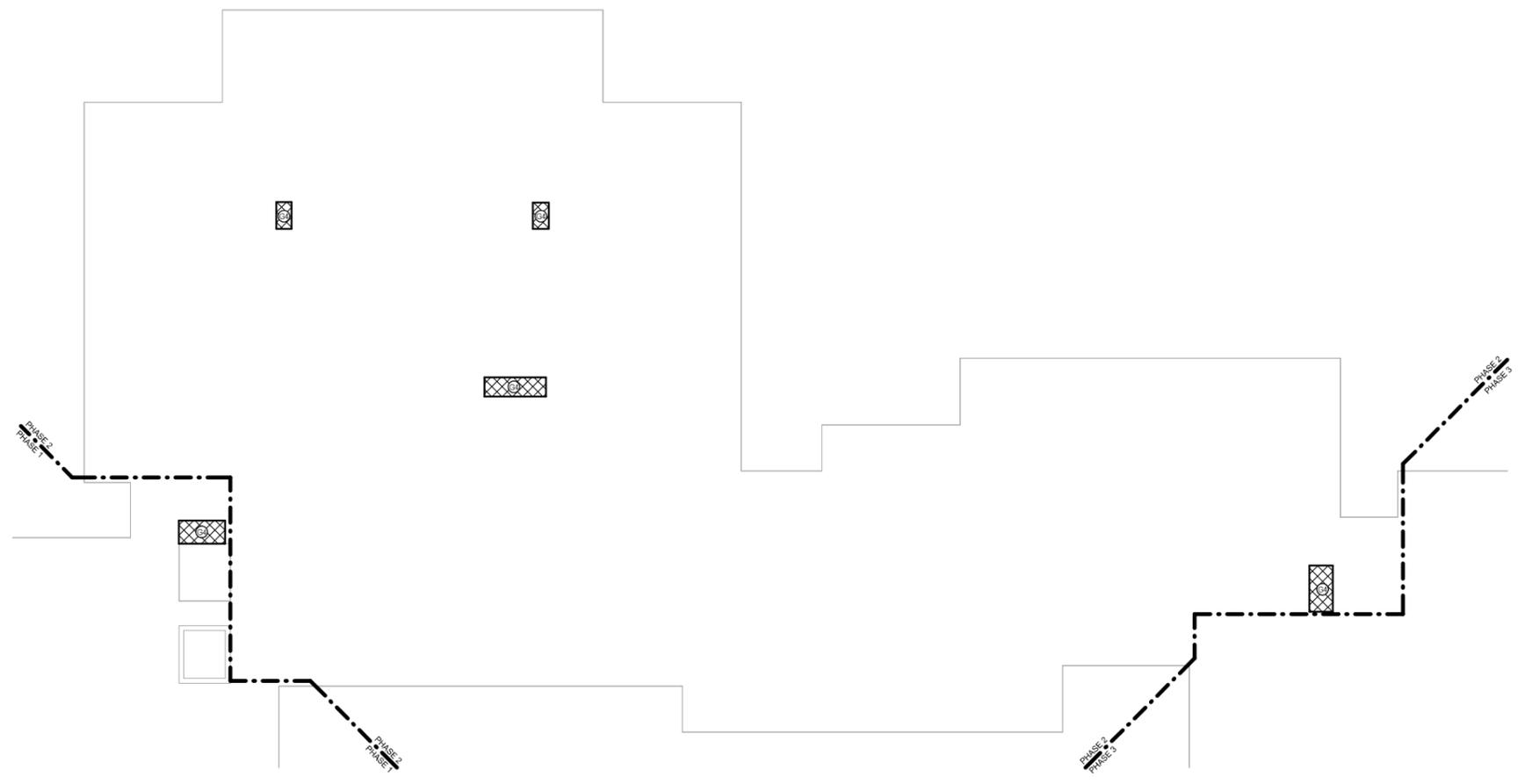
SHEET
A102.5

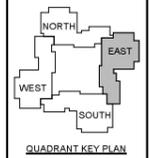
ROOF GENERAL NOTES

1. PROTECT ALL OPENINGS CUT IN THE ROOF. PROVIDE TEMPORARY ROOFING IF WORK IS TO BE UNFINISHED DURING ADVERSE WEATHER CONDITIONS THROUGHOUT THE CONSTRUCTION PHASE.
2. PROVIDE FLASHING AT ALL ROOF PENETRATIONS. PENETRATIONS MAY NOT BE INDICATED ON THE ROOF PLAN. REFER TO STRUCTURAL, MECHANICAL AND ELECTRICAL PLANS FOR NUMBER, LOCATION, AND SIZE OF PENETRATIONS.
3. PROVIDE A 2 FEET WIDE WALKWAY WITH PROTECTION STRIPS ENTIRELY AROUND ALL ROOF TOP MECHANICAL UNITS AND CREATE A PROTECTION STRIP PATHWAY, 2 FEET WIDE, FROM THE ROOF ACCESS LOCATION(S) TO EACH MECHANICAL UNIT.
4. PROTECT ROOFING MATERIALS FROM CONSTRUCTION OPERATIONS.
5. PROVIDE CURBS AND PRESSURE TREATED WOOD BLOCKING FOR ALL ROOF MOUNTED EQUIPMENT, UNLESS NOTED OTHERWISE.
6. PROVIDE FALL PROTECTION AS DELEGATED DESIGN AS REQUIRED WHERE ACCESS TO OR PAST ROOF EQUIPMENT REQUIRES WORKERS BE WITHIN 10' OF ROOF EDGE.

PLAN GRAPHIC LEGEND

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED
- NEW CMU WALL
- NEW WALL
- EXISTING DOOR AND FRAME TO REMAIN
- EXISTING DOOR AND FRAME TO BE REMOVED
- NEW DOOR AND FRAME
- EXISTING FLOOR TO BE REMOVED
- NEW CONCRETE SLAB INFILL
- NEW WALKING PADS





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JOB NO.
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DOCUMENTS -
ISSUED FOR
BIDDING
11/22/2023

TITLE
FIRST FLOOR PLAN
AND DEMO PLAN -
PHASE 3

SHEET
A103.1

PLAN GENERAL NOTES

- WORK FROM GIVEN DIMENSIONS. IN GENERAL, LARGE-SCALE DETAILS TAKE PRECEDENCE OVER SMALLER SCALE PLANS, ELEVATIONS AND BUILDING SECTIONS. NOTIFY THE ARCHITECT OF ANY DIMENSIONAL DISCREPANCIES PRIOR TO COMMENCING THE WORK, AND DO NOT BEGIN WORK UNTIL SUCH DISCREPANCIES ARE RESOLVED BY THE ARCHITECT.
- DO NOT SCALE THE DRAWINGS.
- DIMENSIONS INDICATED AS "CLEAR" SHALL BE MAINTAINED IN CASES OF DISCREPANCY.
- UNLESS NOTED OTHERWISE, THE LOCATION OF DOOR FRAMES SHALL BE:
 - CMU PARTITIONS: 4" FROM THE ADJACENT WALL TO THE HINGE SIDE OF THE ROUGH OPENING.
 - METAL STUD PARTITIONS: 4" FROM THE ADJACENT WALL STUDS TO THE HINGE SIDE OF THE ROUGH OPENING.
- MASONRY OPENING OR ROUGH OPENING DIMENSIONS INDICATED ARE NOMINAL DIMENSIONS AND MAY NOT MATCH THE ACTUAL DIMENSIONS OF THE PRODUCT. COORDINATE ALL MASONRY OPENINGS AND ROUGH OPENINGS WITH THE ACTUAL WINDOW UNIT, DOORFRAME, CURTAIN WALL/STOREFRONT, OR LOUVER SIZES AND REQUIREMENTS.
- DIMENSIONAL CONTROL:**
 - EXTERIOR DIMENSIONS ARE TO:
 - CENTERLINE OF COLUMN
 - FACE OF MASONRY
 - FACE OF STUD
 - FACE OF CONCRETE
 - CENTERLINE OF WINDOW OPENING
 - ROUGH OPENING
 - MASONRY OPENING
 - INTERIOR DIMENSIONS ARE TO:
 - CENTERLINE OF COLUMN
 - FACE OF MASONRY
 - FACE OF STUD
 - FACE OF EXISTING FINISH MATERIAL
 - EXISTING DIMENSIONS SHALL BE VERIFIED, REPORT ANY DISCREPANCIES TO THE ARCHITECT.
- TYPICAL DETAIL NOTES:**
 THE FOLLOWING NOTES ARE TYPICAL THROUGHOUT THIS PROJECT AND APPLY IN ALL CASES UNLESS SPECIFICALLY NOTED OTHERWISE. THESE NOTES AND ASSOCIATED DETAILS MAY NOT BE DIRECTLY REFERENCED ON THE DRAWINGS:
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 - ALL NEW OPENINGS FOR WINDOWS AND DOORS IN EXISTING MASONRY WALLS SHALL BE TOOTHED IN AT THE JAMBS.
 - ALL ROOF LEADERS, HEAT PIPING, SPRINKLER RISERS, PLUMBING VENTS, SANITARY PLUMBING OR MISCELLANEOUS PIPING SHALL BE ENCLOSED WITHIN THE WALL CONSTRUCTION.
 - ALL DUCT PENETRATIONS THROUGH FLOORS SHALL BE ENCLOSED IN A CHASE.

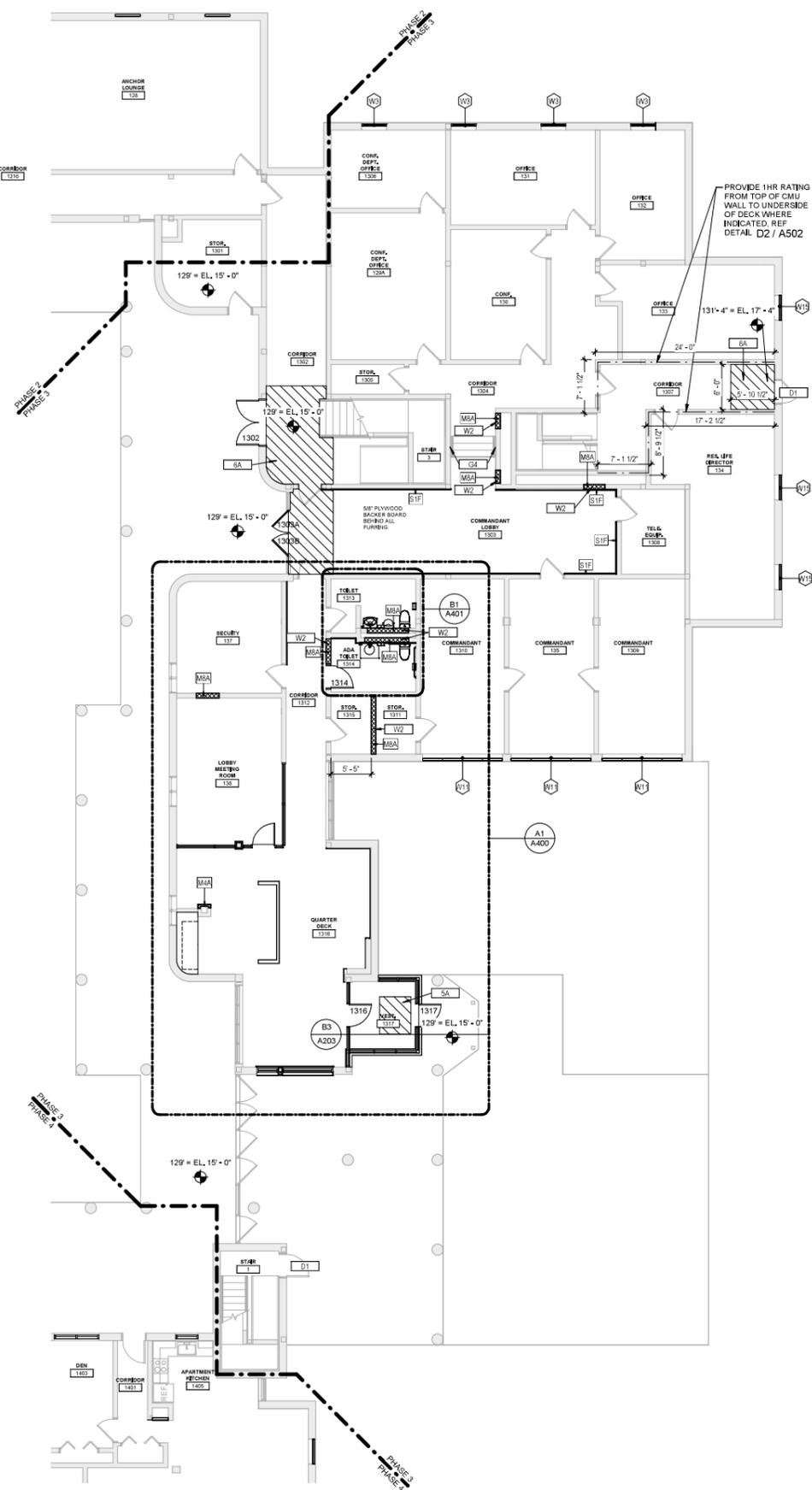
ROOM NUMBER NOTE:
BEDROOMS ARE IDENTIFIED WITH THREE DIGITS
OTHER ROOMS ARE IDENTIFIED WITH 4 DIGITS
1ST DIGIT = FLOOR
2ND DIGIT = PHASE
3RD AND 4TH DIGIT = ROOM IDENTIFIER

GENERAL PLAN AND DEMO NOTES
1. REFERENCE SHEET A001 FOR FURTHER INFORMATION RELATING TO PLAN AND DEMOLITION NOTES
2. REFER TO SHEET A001 FOR DEMO KEYNOTES LEGEND AND CONSTRUCTION KEYNOTES LEGEND.

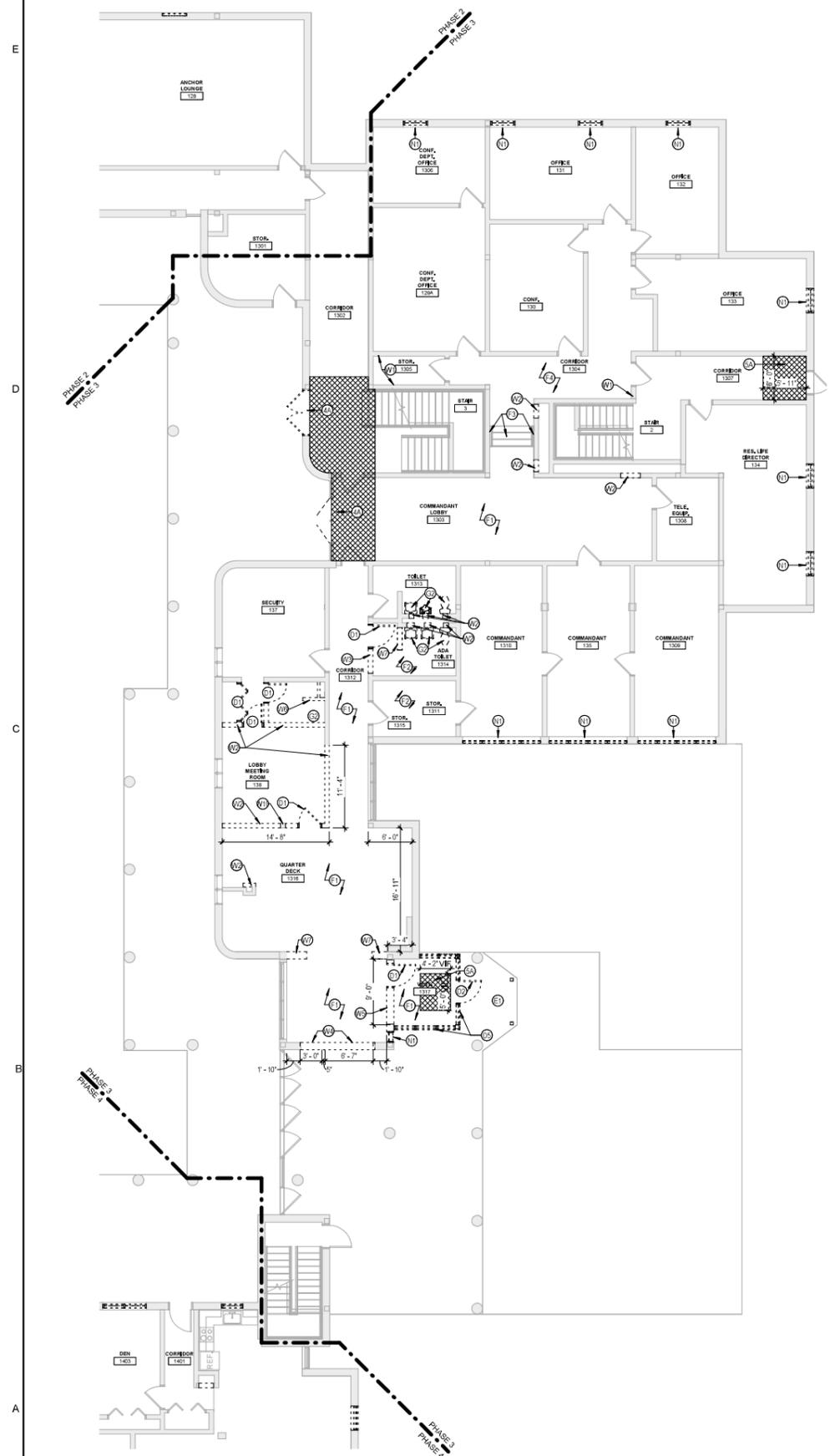
PLAN GRAPHIC LEGEND

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED
- NEW CMU WALL
- NEW WALL
- EXISTING DOOR AND FRAME TO REMAIN
- EXISTING DOOR AND FRAME TO BE REMOVED
- NEW DOOR AND FRAME
- EXISTING FLOOR TO BE REMOVED
- NEW CONCRETE SLAB INFILL
- NEW WALKING PADS

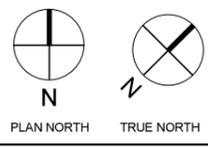
PROVIDE 1HR RATING FROM TOP OF CMU WALL TO UNDERSIDE OF DECK WHERE INDICATED, REF DETAIL D2 / A502

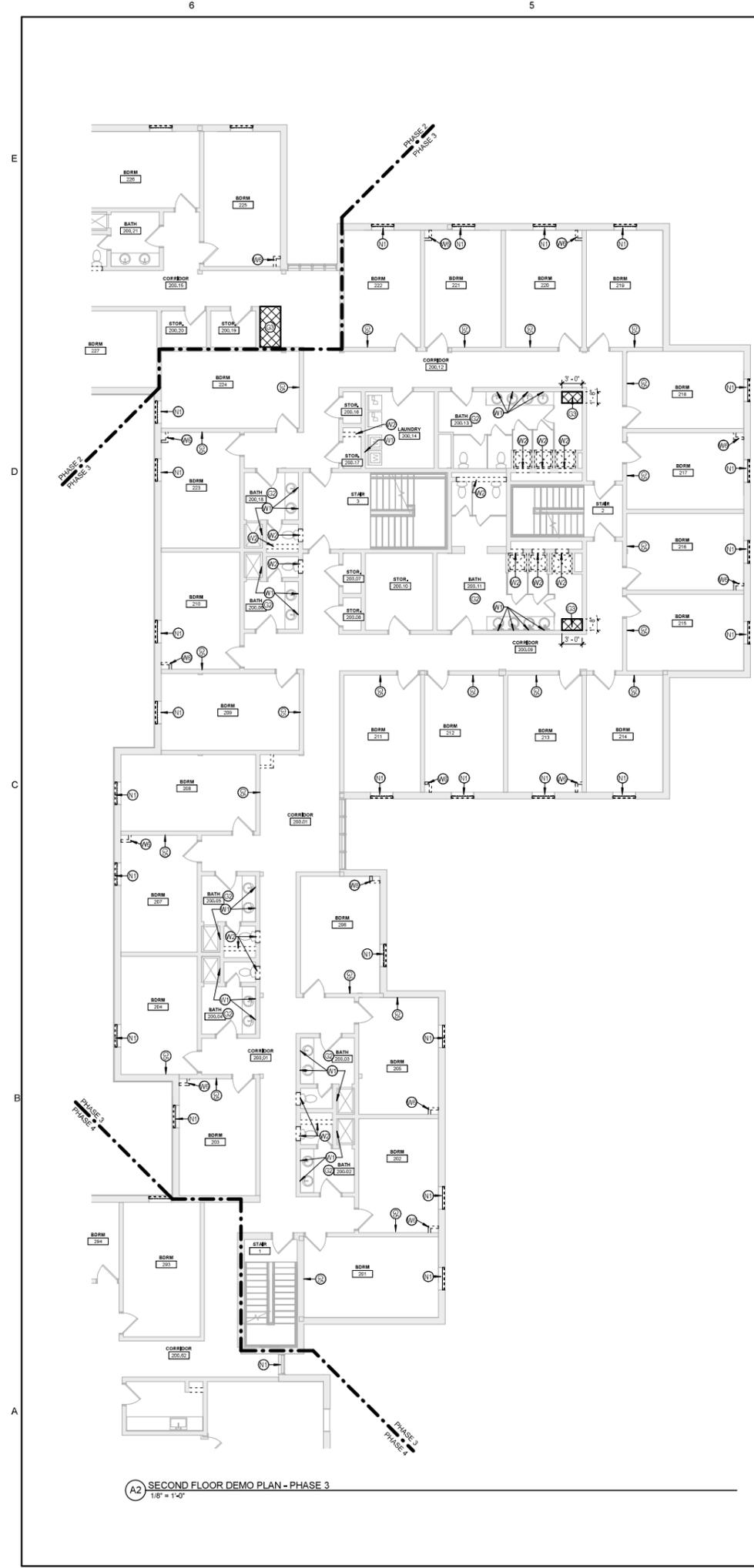


A1 FIRST FLOOR PLAN - PHASE 3
1/8" = 1'-0"

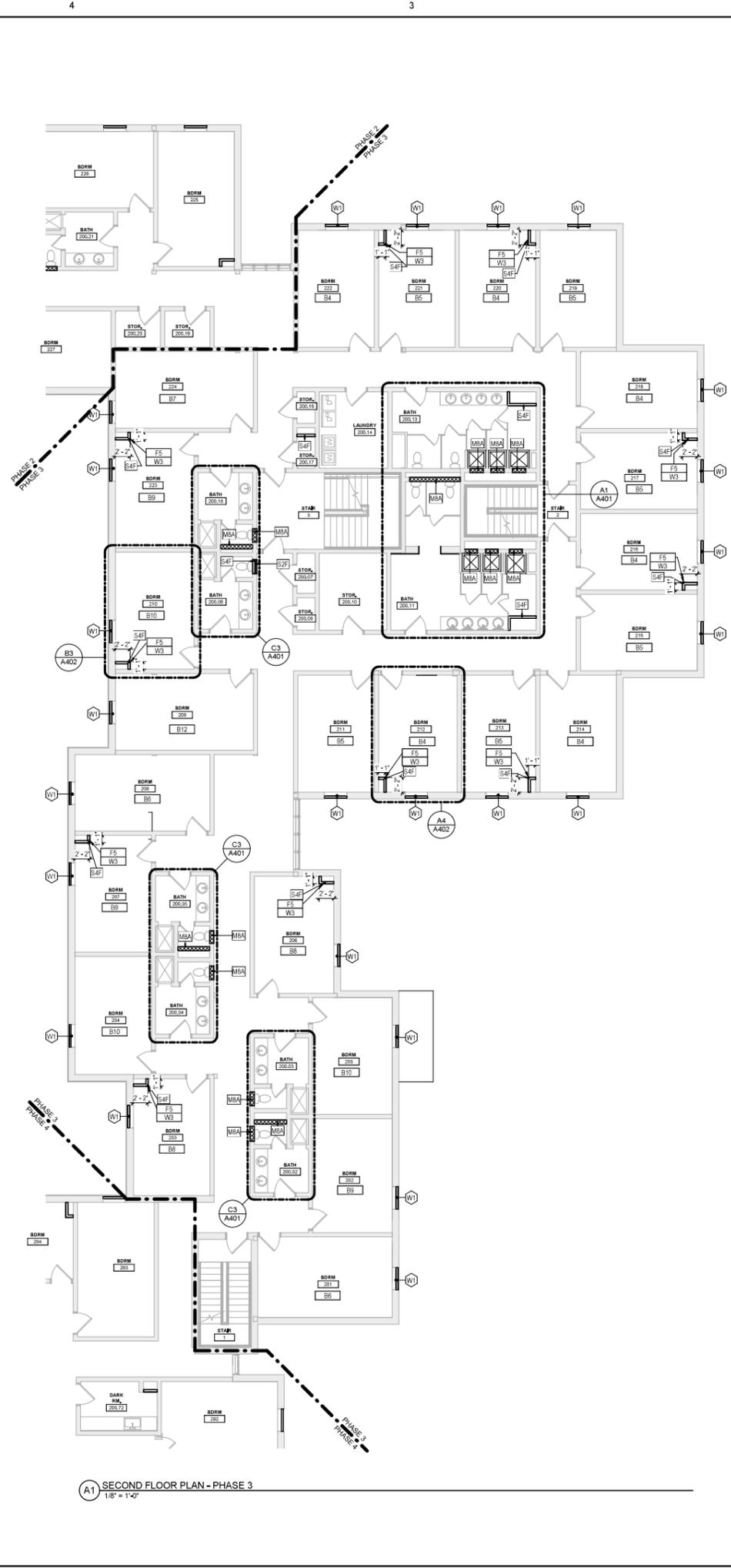


A2 FIRST FLOOR DEMO PLAN - PHASE 3
1/8" = 1'-0"





A2 SECOND FLOOR DEMO PLAN - PHASE 3
1/8" = 1'-0"



A1 SECOND FLOOR PLAN - PHASE 3
1/8" = 1'-0"

PLAN GENERAL NOTES

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- DO NOT SCALE THE DRAWINGS.
- DIMENSIONS INDICATED AS "CLEAR" SHALL BE MAINTAINED IN CASES OF DISCREPANCY.
- UNLESS NOTED OTHERWISE, THE LOCATION OF DOOR FRAMES SHALL BE: CMU PARTITIONS: 4" FROM THE ADJACENT WALL TO THE HINGE SIDE OF THE ROUGH OPENING, METAL STUD PARTITIONS: 4" FROM THE ADJACENT WALL STUDS TO THE HINGE SIDE OF THE ROUGH OPENING.
- MASONRY OPENING OR ROUGH OPENING DIMENSIONS INDICATED ARE NOMINAL DIMENSIONS AND MAY NOT MATCH THE ACTUAL DIMENSIONS OF THE PRODUCT. COORDINATE ALL MASONRY OPENINGS AND ROUGH OPENINGS WITH THE ACTUAL WINDOW UNIT, DOORFRAME, CURTAIN WALLSTOREFRONT, OR LOUVER SIZES AND REQUIREMENTS.
- DIMENSIONAL CONTROL:**
 - EXTERIOR DIMENSIONS ARE TO:**
 - CENTERLINE OF COLUMN
 - FACE OF MASONRY
 - FACE OF STUD
 - FACE OF CONCRETE
 - CENTERLINE OF WINDOW OPENING
 - ROUGH OPENING
 - MASONRY OPENING
 - INTERIOR DIMENSIONS ARE TO:**
 - CENTERLINE OF COLUMN
 - FACE OF MASONRY
 - FACE OF STUD
 - FACE OF EXISTING FINISH MATERIAL
 - EXISTING DIMENSIONS SHALL BE VERIFIED, REPORT ANY DISCREPANCIES TO THE ARCHITECT.
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ROOM NUMBER NOTE:
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OTHER ROOMS ARE IDENTIFIED WITH 4 DIGITS

1ST DIGIT = FLOOR
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GENERAL PLAN AND DEMO NOTES
1. REFERENCE SHEET A000.1 FOR FURTHER INFORMATION RELATING TO PLAN AND DEMOLITION NOTES
2. REFER TO SHEET A000.1 FOR DEMO KEYNOTES LEGEND AND CONSTRUCTION KEYNOTES LEGEND.

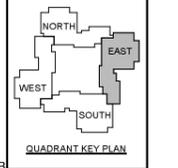
PLAN GRAPHIC LEGEND

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED
- NEW CMU WALL
- NEW WALL
- EXISTING DOOR AND FRAME TO REMAIN
- EXISTING DOOR AND FRAME TO BE REMOVED
- NEW DOOR AND FRAME
- EXISTING FLOOR TO BE REMOVED
- NEW CONCRETE SLAB INFILL
- NEW WALKING PADS



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Maine Maritime Academy,
1 Pleasant Street, Castine, Maine 04421



No.	Date	Description
Revision Schedule		

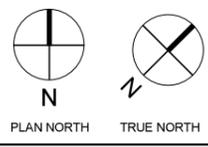
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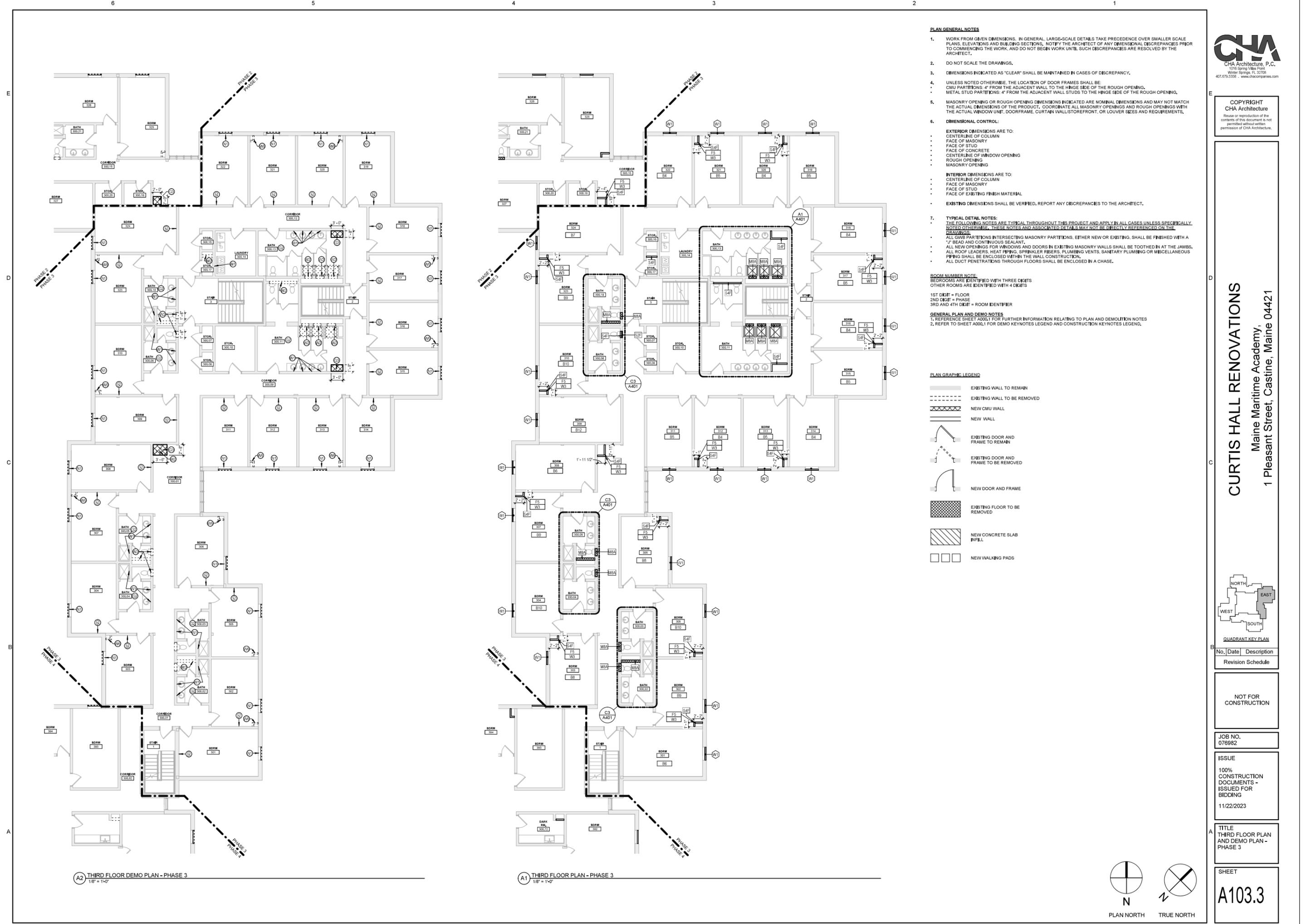
JOB NO.
076982

ISSUE
100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING
11/22/2023

TITLE
SECOND FLOOR PLAN AND DEMO PLAN - PHASE 3

SHEET
A103.2



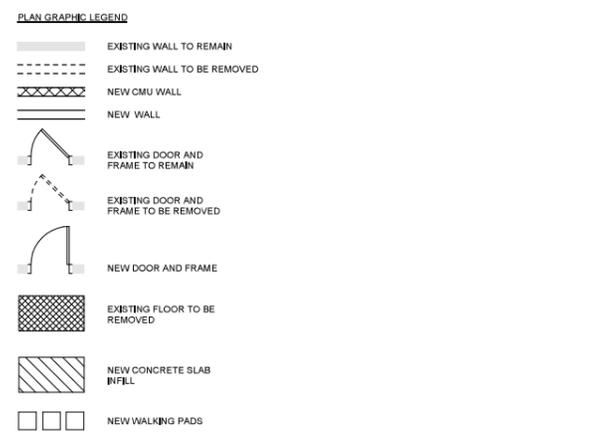


- PLAN GENERAL NOTES**
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 • CMU PARTITIONS: 4" FROM THE ADJACENT WALL TO THE HINGE SIDE OF THE ROUGH OPENING.
 • METAL STUD PARTITIONS: 4" FROM THE ADJACENT WALL STUDS TO THE HINGE SIDE OF THE ROUGH OPENING.
 - MASONRY OPENING OR ROUGH OPENING DIMENSIONS INDICATED ARE NOMINAL DIMENSIONS AND MAY NOT MATCH THE ACTUAL DIMENSIONS OF THE PRODUCT. COORDINATE ALL MASONRY OPENINGS AND ROUGH OPENINGS WITH THE ACTUAL WINDOW UNIT, DOORFRAME, CURTAIN WALL/STOREFRONT, OR LOUVER SIZES AND REQUIREMENTS.
 - DIMENSIONAL CONTROL:**
 • EXTERIOR DIMENSIONS ARE TO:
 - CENTERLINE OF COLUMN
 - FACE OF MASONRY
 - FACE OF STUD
 - FACE OF CONCRETE
 - CENTERLINE OF WINDOW OPENING
 - ROUGH OPENING
 - MASONRY OPENING
 • INTERIOR DIMENSIONS ARE TO:
 - CENTERLINE OF COLUMN
 - FACE OF MASONRY
 - FACE OF STUD
 - FACE OF EXISTING FINISH MATERIAL
 • EXISTING DIMENSIONS SHALL BE VERIFIED, REPORT ANY DISCREPANCIES TO THE ARCHITECT.
 - TYPICAL DETAIL NOTES:**
 • THE FOLLOWING NOTES ARE TYPICAL THROUGHOUT THIS PROJECT AND APPLY IN ALL CASES UNLESS SPECIFICALLY NOTED OTHERWISE. THESE NOTES AND ASSOCIATED DETAILS MAY NOT BE DIRECTLY REFERENCED ON THE DRAWINGS:
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 • ALL NEW OPENINGS FOR WINDOWS AND DOORS IN EXISTING MASONRY WALLS SHALL BE TOOTHED IN AT THE JAMBS.
 • ALL ROOF LEADERS, HEAT PIPING, SPRINKLER RISERS, PLUMBING VENTS, SANITARY PLUMBING OR MISCELLANEOUS PIPING SHALL BE ENCLOSED WITHIN THE WALL CONSTRUCTION.
 • ALL DUCT PENETRATIONS THROUGH FLOORS SHALL BE ENCLOSED IN A CHASE.

ROOM NUMBER NOTE:
 BEDROOMS ARE IDENTIFIED WITH THREE DIGITS
 OTHER ROOMS ARE IDENTIFIED WITH 4 DIGITS

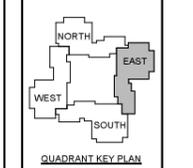
1ST DIGIT = FLOOR
2ND DIGIT = PHASE
3RD AND 4TH DIGIT = ROOM IDENTIFIER

GENERAL PLAN AND DEMO NOTES
 1. REFERENCE SHEET A00.1 FOR FURTHER INFORMATION RELATING TO PLAN AND DEMOLITION NOTES
 2. REFER TO SHEET A00.1 FOR DEMO KEYNOTES LEGEND AND CONSTRUCTION KEYNOTES LEGEND.



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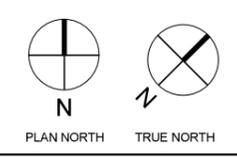
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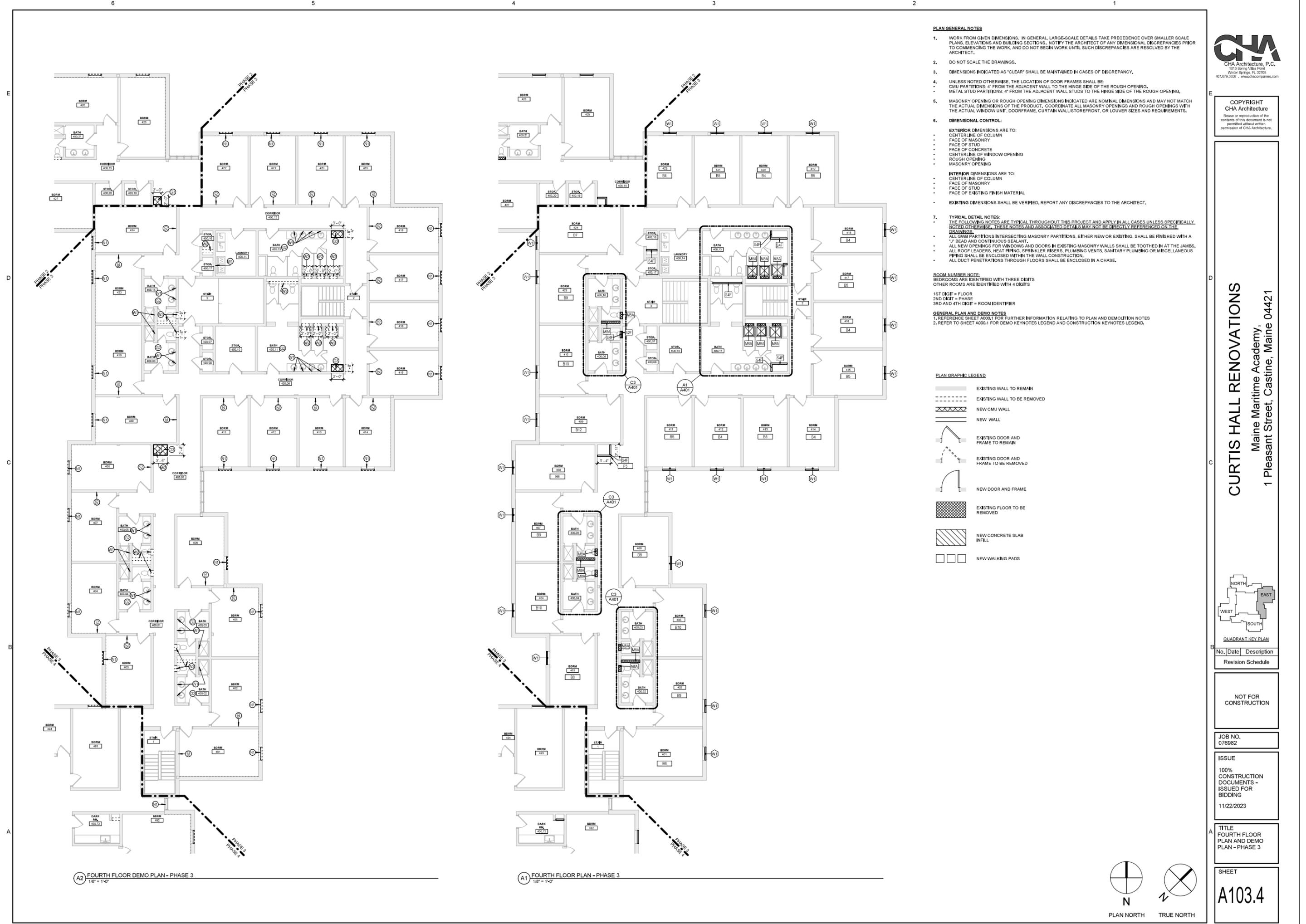
TITLE
 THIRD FLOOR PLAN AND DEMO PLAN - PHASE 3

SHEET
A103.3



A2 THIRD FLOOR DEMO PLAN - PHASE 3
 1/8" = 1'-0"

A1 THIRD FLOOR PLAN - PHASE 3
 1/8" = 1'-0"



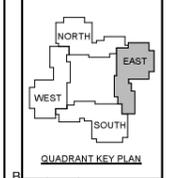
- PLAN GENERAL NOTES**
- WORK FROM GIVEN DIMENSIONS. IN GENERAL, LARGE-SCALE DETAILS TAKE PRECEDENCE OVER SMALLER SCALE PLANS, ELEVATIONS AND BUILDING SECTIONS. NOTIFY THE ARCHITECT OF ANY DIMENSIONAL DISCREPANCIES PRIOR TO COMMENCING THE WORK, AND DO NOT BEGIN WORK UNTIL SUCH DISCREPANCIES ARE RESOLVED BY THE ARCHITECT.
 - DO NOT SCALE THE DRAWINGS.
 - DIMENSIONS INDICATED AS "CLEAR" SHALL BE MAINTAINED IN CASES OF DISCREPANCY.
 - UNLESS NOTED OTHERWISE, THE LOCATION OF DOOR FRAMES SHALL BE:
 - CMU PARTITIONS: 4" FROM THE ADJACENT WALL TO THE HINGE SIDE OF THE ROUGH OPENING.
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 - DIMENSIONAL CONTROL:**
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 - CENTERLINE OF COLUMN
 - FACE OF MASONRY
 - FACE OF STUD
 - FACE OF CONCRETE
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 - MASONRY OPENING
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 - ALL DUCT PENETRATIONS THROUGH FLOORS SHALL BE ENCLOSED IN A CHASE.
- ROOM NUMBER NOTE:**
 BEDROOMS ARE IDENTIFIED WITH THREE DIGITS
 OTHER ROOMS ARE IDENTIFIED WITH 4 DIGITS
- 1ST DIGIT = FLOOR**
2ND DIGIT = PHASE
3RD AND 4TH DIGIT = ROOM IDENTIFIER
- GENERAL PLAN AND DEMO NOTES**
 1. REFERENCE SHEET A000.1 FOR FURTHER INFORMATION RELATING TO PLAN AND DEMOLITION NOTES
 2. REFER TO SHEET A000.1 FOR DEMO KEYNOTES LEGEND AND CONSTRUCTION KEYNOTES LEGEND.

- PLAN GRAPHIC LEGEND**
- EXISTING WALL TO REMAIN
 - EXISTING WALL TO BE REMOVED
 - NEW CMU WALL
 - NEW WALL
 - EXISTING DOOR AND FRAME TO REMAIN
 - EXISTING DOOR AND FRAME TO BE REMOVED
 - NEW DOOR AND FRAME
 - EXISTING FLOOR TO BE REMOVED
 - NEW CONCRETE SLAB INFILL
 - NEW WALKING PADS



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Revision Schedule		

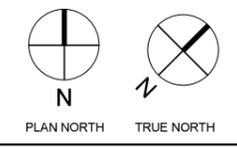
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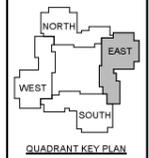
TITLE
 FOURTH FLOOR PLAN AND DEMO PLAN - PHASE 3

SHEET
A103.4



A2 FOURTH FLOOR DEMO PLAN - PHASE 3
 1/8" = 1'-0"

A1 FOURTH FLOOR PLAN - PHASE 3
 1/8" = 1'-0"



No.	Date	Description
Revision Schedule		

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TITLE
 ROOF PLAN AND
 DEMO PLAN - PHASE
 3

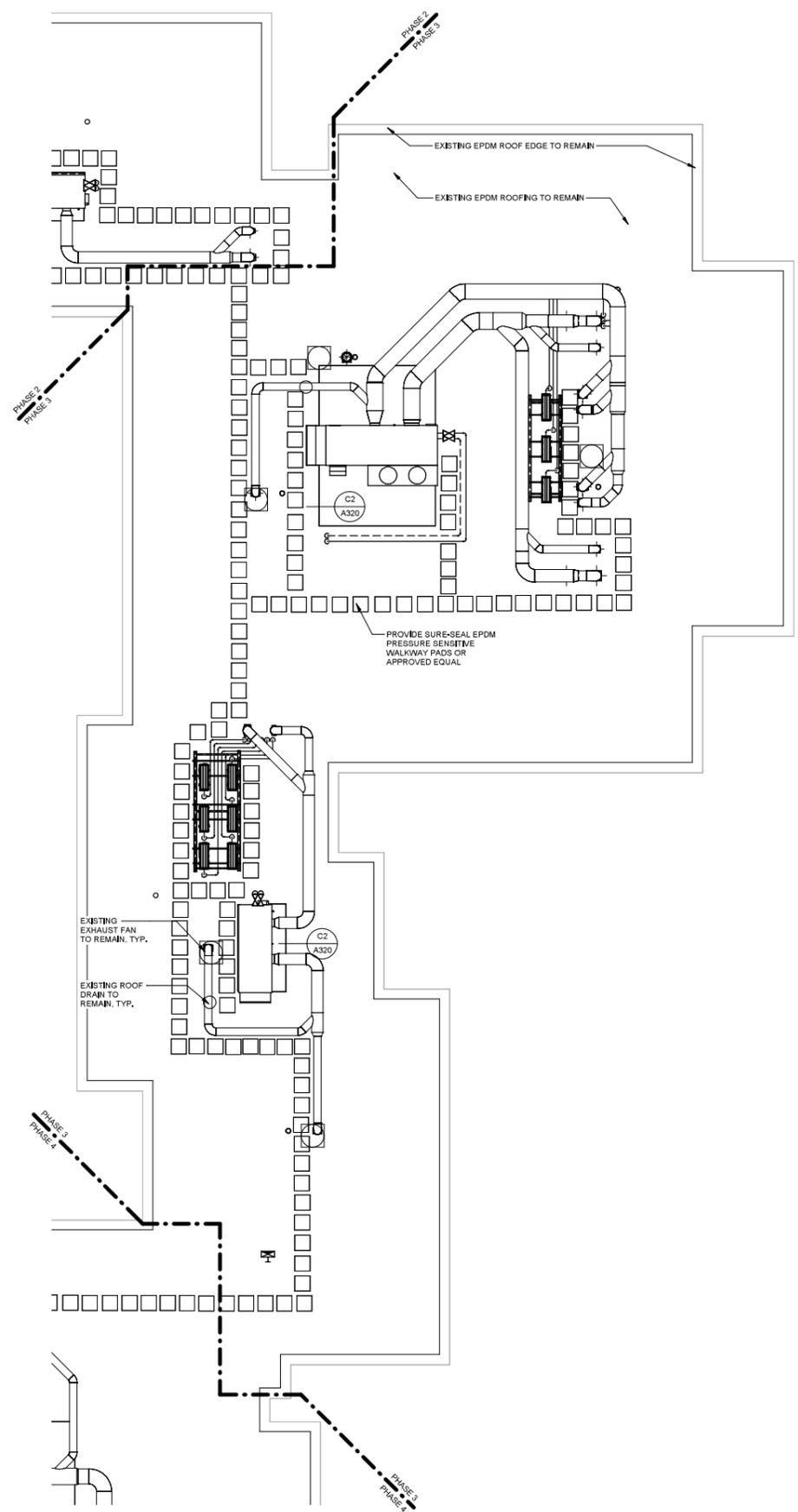
SHEET
A103.5

ROOF GENERAL NOTES

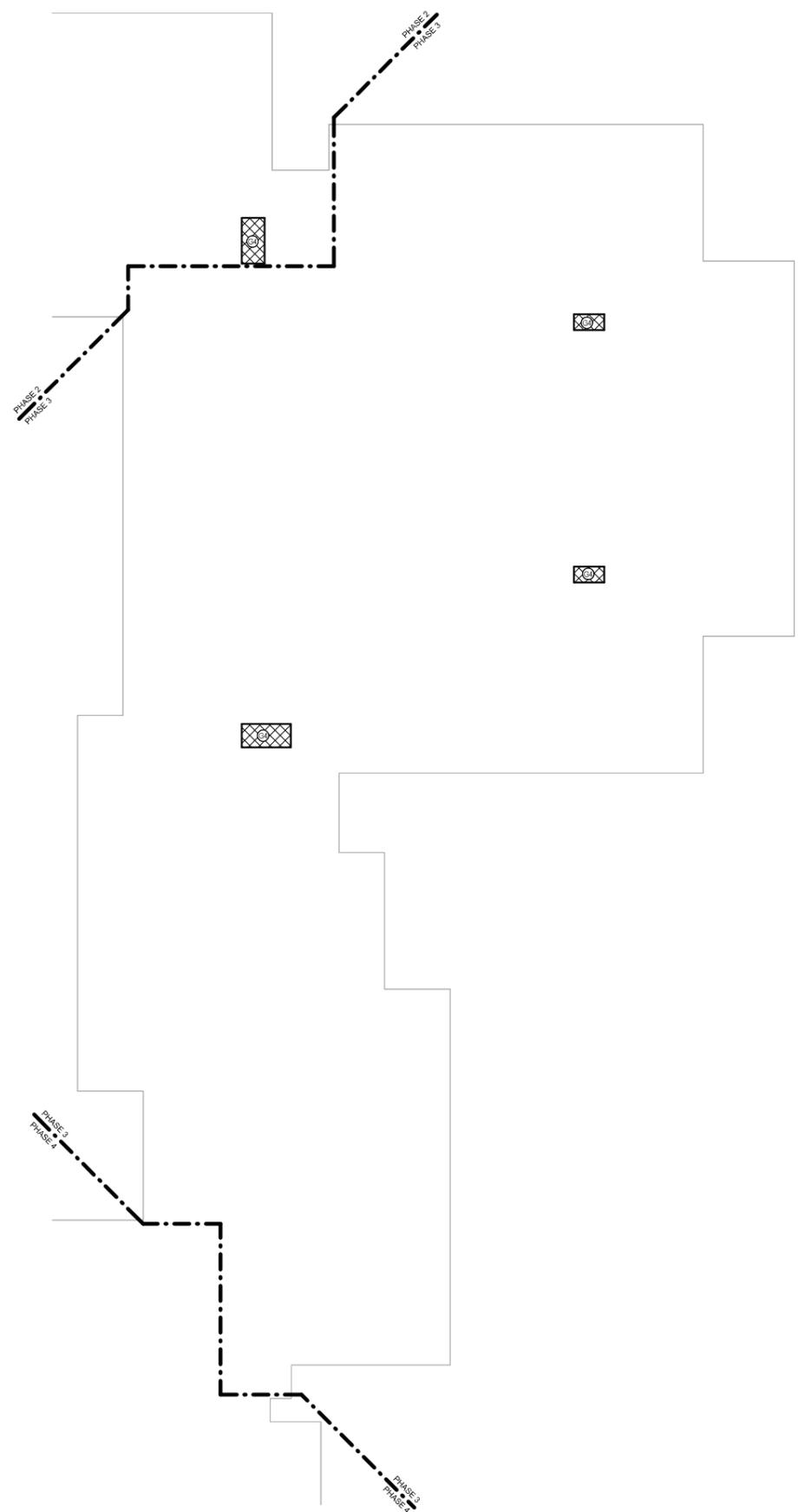
1. PROTECT ALL OPENINGS CUT IN THE ROOF. PROVIDE TEMPORARY ROOFING IF WORK IS TO BE UNFINISHED DURING ADVERSE WEATHER CONDITIONS THROUGHOUT THE CONSTRUCTION PHASE.
2. PROVIDE FLASHING AT ALL ROOF PENETRATIONS. PENETRATIONS MAY NOT BE INDICATED ON THE ROOF PLAN. REFER TO STRUCTURAL, MECHANICAL AND ELECTRICAL PLANS FOR NUMBER, LOCATION, AND SIZE OF PENETRATIONS.
3. PROVIDE A 2 FEET WIDE WALKWAY WITH PROTECTION STRIPS ENTIRELY AROUND ALL ROOF TOP MECHANICAL UNITS AND CREATE A PROTECTION STRIP PATHWAY, 2 FEET WIDE, FROM THE ROOF ACCESS LOCATION(S) TO EACH MECHANICAL UNIT.
4. PROTECT ROOFING MATERIALS FROM CONSTRUCTION OPERATIONS.
5. PROVIDE CURBS AND PRESSURE TREATED WOOD BLOCKING FOR ALL ROOF MOUNTED EQUIPMENT, UNLESS NOTES OTHERWISE.
6. PROVIDE FALL PROTECTION AS DELEGATED DESIGN AS REQUIRED WHERE ACCESS TO OR PAST ROOF EQUIPMENT REQUIRES WORKERS BE WITHIN 10' OF ROOF EDGE.

PLAN GRAPHIC LEGEND

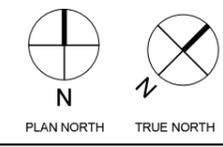
- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED
- NEW CMU WALL
- NEW WALL
- EXISTING DOOR AND FRAME TO REMAIN
- EXISTING DOOR AND FRAME TO BE REMOVED
- NEW DOOR AND FRAME
- EXISTING FLOOR TO BE REMOVED
- NEW CONCRETE SLAB INFILL
- NEW WALKING PADS



(A1) ROOF PLAN - PHASE 3
 1/8" = 1'-0"

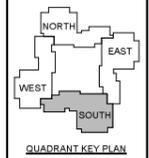


(A2) ROOF DEMO PLAN - PHASE 3
 1/8" = 1'-0"



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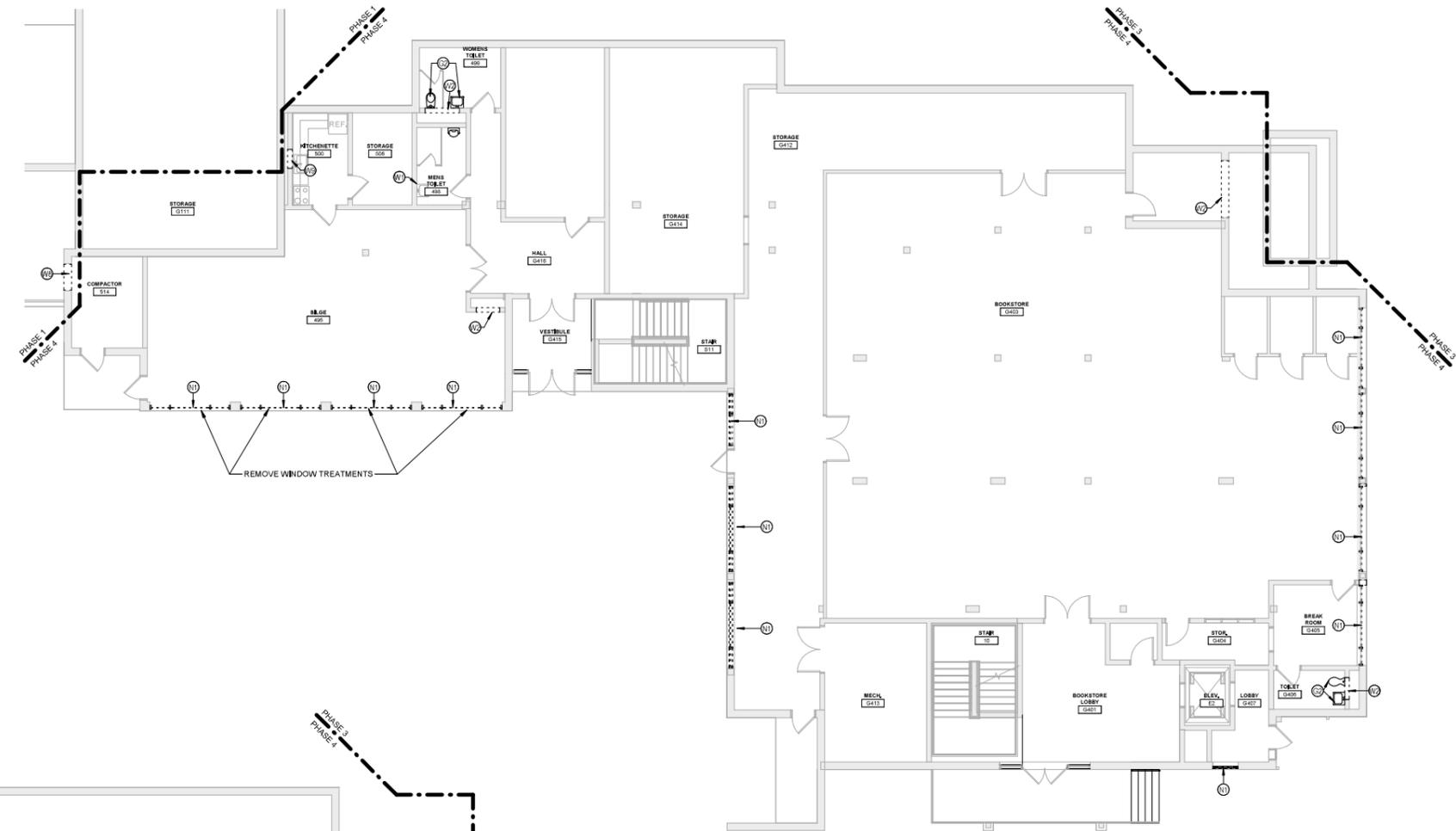
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TITLE
GROUND FLOOR PLAN AND DEMO PLAN - PHASE 4

SHEET
A104.G



B1 GROUND FLOOR DEMO PLAN - PHASE 4
1/8" = 1'-0"

PLAN GENERAL NOTES

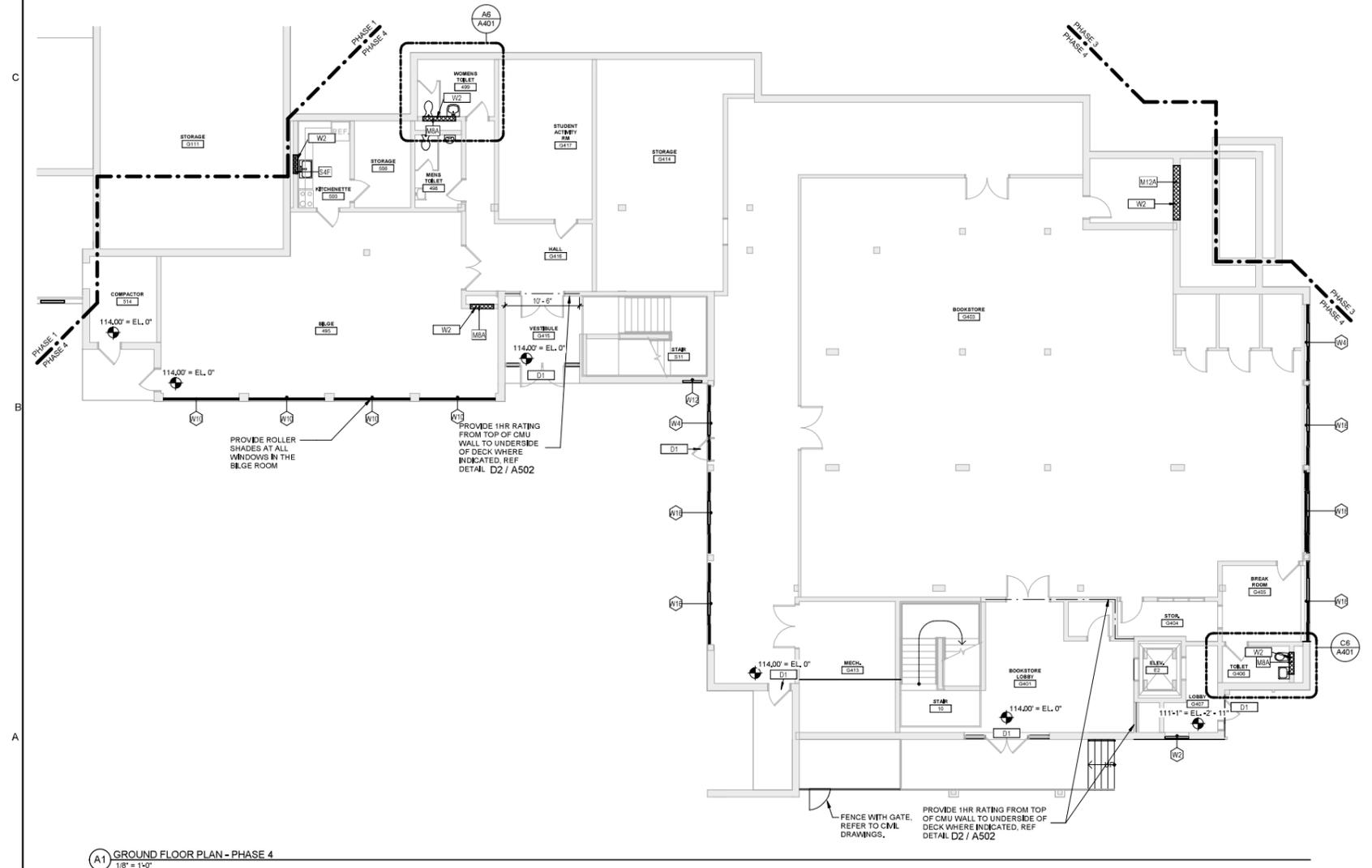
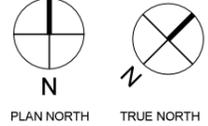
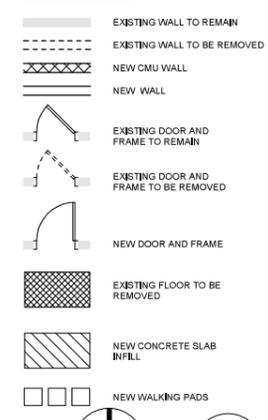
- WORK FROM GIVEN DIMENSIONS. IN GENERAL, LARGE-SCALE DETAILS TAKE PRECEDENCE OVER SMALLER SCALE PLANS, ELEVATIONS AND BUILDING SECTIONS. NOTIFY THE ARCHITECT OF ANY DIMENSIONAL DISCREPANCIES PRIOR TO COMMENCING THE WORK, AND DO NOT BEGIN WORK UNTIL SUCH DISCREPANCIES ARE RESOLVED BY THE ARCHITECT.
- DO NOT SCALE THE DRAWINGS.
- DIMENSIONS INDICATED AS "CLEAR" SHALL BE MAINTAINED IN CASES OF DISCREPANCY.
- UNLESS NOTED OTHERWISE, THE LOCATION OF DOOR FRAMES SHALL BE:
 • CMU PARTITIONS: 4" FROM THE ADJACENT WALL TO THE HINGE SIDE OF THE ROUGH OPENING.
 • METAL STUD PARTITIONS: 4" FROM THE ADJACENT WALL STUDS TO THE HINGE SIDE OF THE ROUGH OPENING.
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- DIMENSIONAL CONTROL:**
 • EXTERIOR DIMENSIONS ARE TO:
 • CENTERLINE OF COLUMN
 • FACE OF MASONRY
 • FACE OF STUD
 • FACE OF CONCRETE
 • CENTERLINE OF WINDOW OPENING
 • ROUGH OPENING
 • MASONRY OPENING
 • INTERIOR DIMENSIONS ARE TO:
 • CENTERLINE OF COLUMN
 • FACE OF MASONRY
 • FACE OF STUD
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 • ALL DUCT PENETRATIONS THROUGH FLOORS SHALL BE ENCLOSED IN A CHASE.

ROOM NUMBER NOTE:
 BEDROOMS ARE IDENTIFIED WITH THREE DIGITS
 OTHER ROOMS ARE IDENTIFIED WITH 4 DIGITS

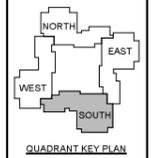
1ST DIGIT = FLOOR
 2ND DIGIT = PHASE
 3RD AND 4TH DIGIT = ROOM IDENTIFIER

GENERAL PLAN AND DEMO NOTES
 1. REFERENCE SHEET A001 FOR FURTHER INFORMATION RELATING TO PLAN AND DEMOLITION NOTES
 2. REFER TO SHEET A001 FOR DEMO KEYNOTES LEGEND AND CONSTRUCTION KEYNOTES LEGEND.

PLAN GRAPHIC LEGEND



A1 GROUND FLOOR PLAN - PHASE 4
1/8" = 1'-0"



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TITLE
FIRST FLOOR PLAN
AND DEMO PLAN -
PHASE 4

SHEET
A104.1

PLAN GENERAL NOTES

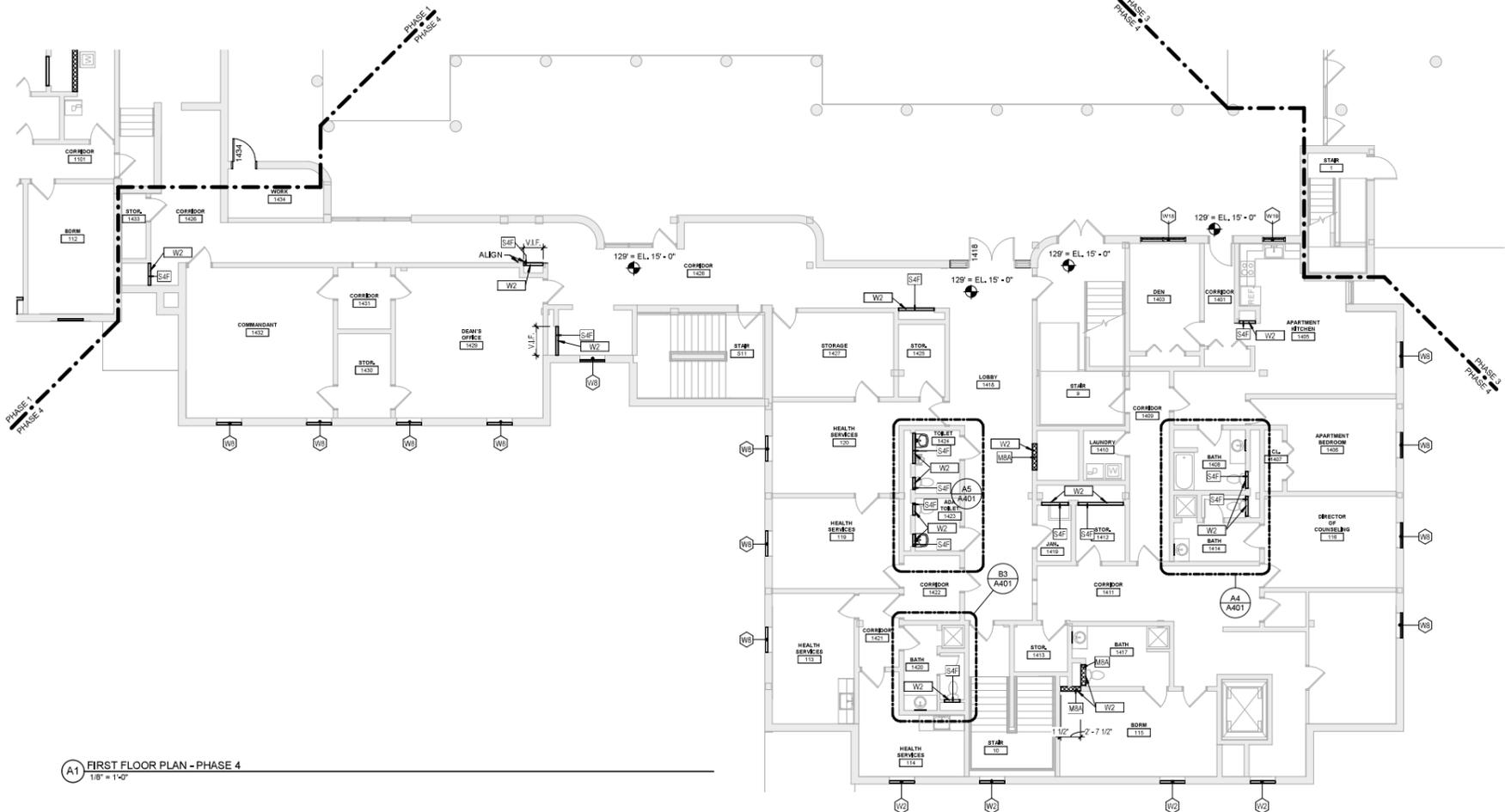
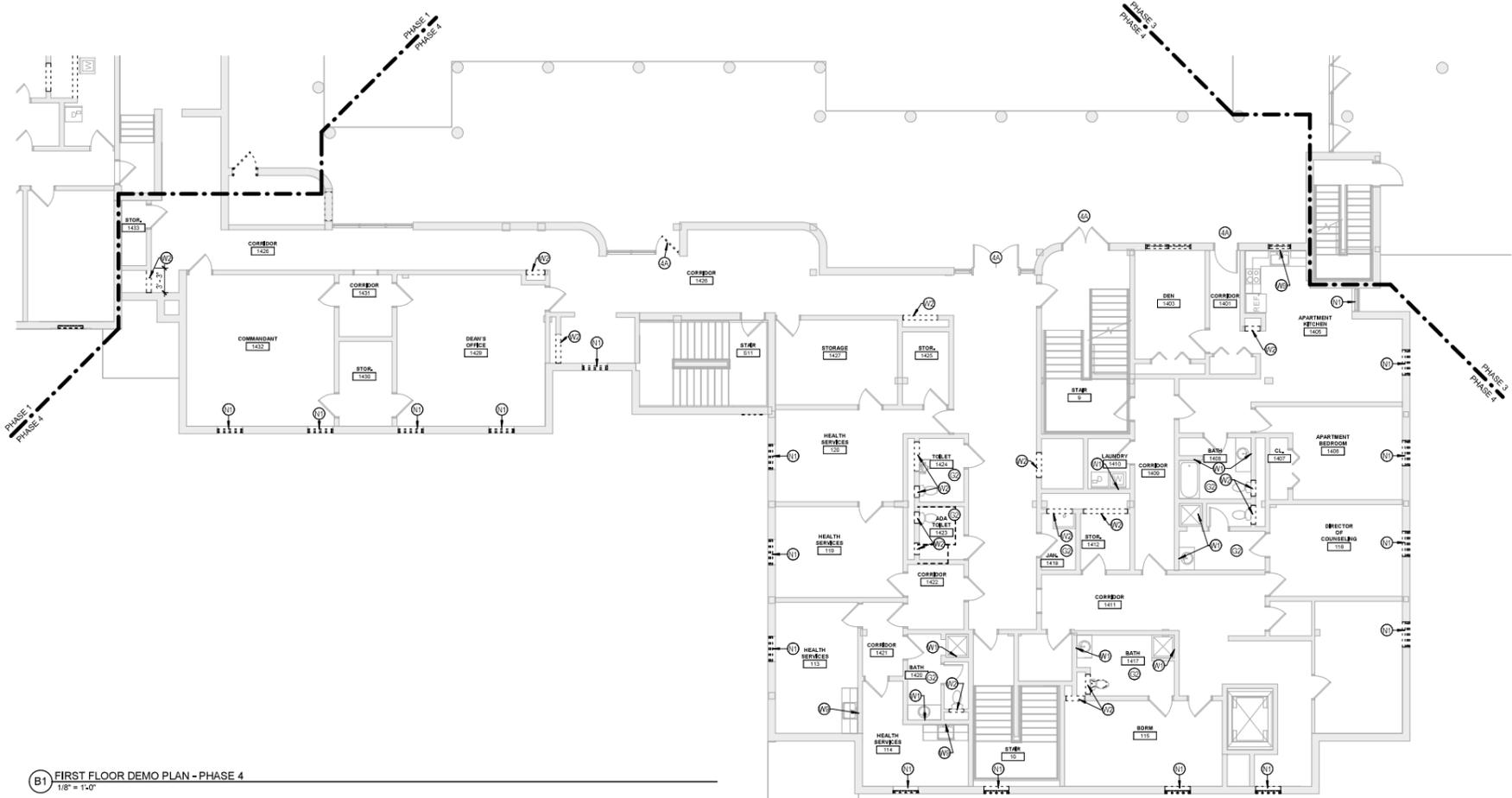
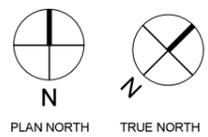
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 - CENTERLINE OF WINDOW OPENING
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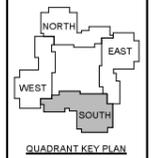
ROOM NUMBER NOTE:
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GENERAL PLAN AND DEMO NOTES
1. REFERENCE SHEET A401 FOR FURTHER INFORMATION RELATING TO PLAN AND DEMOLITION NOTES
2. REFER TO SHEET A401 FOR DEMO KEYNOTES LEGEND AND CONSTRUCTION KEYNOTES LEGEND.

PLAN GRAPHIC LEGEND

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED
- NEW CMU WALL
- NEW WALL
- EXISTING DOOR AND FRAME TO REMAIN
- EXISTING DOOR AND FRAME TO BE REMOVED
- NEW DOOR AND FRAME
- EXISTING FLOOR TO BE REMOVED
- NEW CONCRETE SLAB INFILL
- NEW WALKING PADS





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TITLE
SECOND FLOOR
PLAN AND DEMO
PLAN - PHASE 4

SHEET
A104.2

PLAN GENERAL NOTES

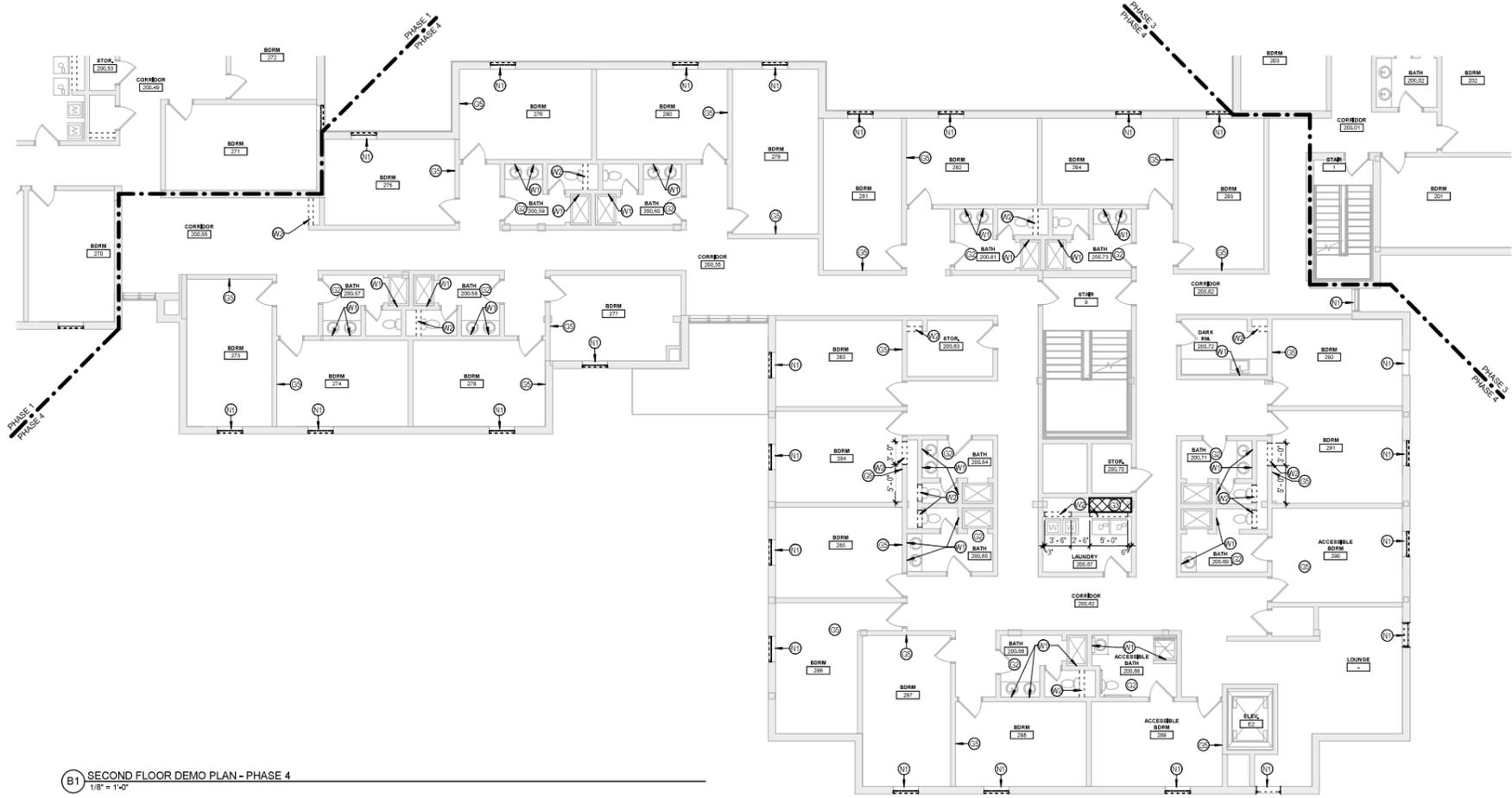
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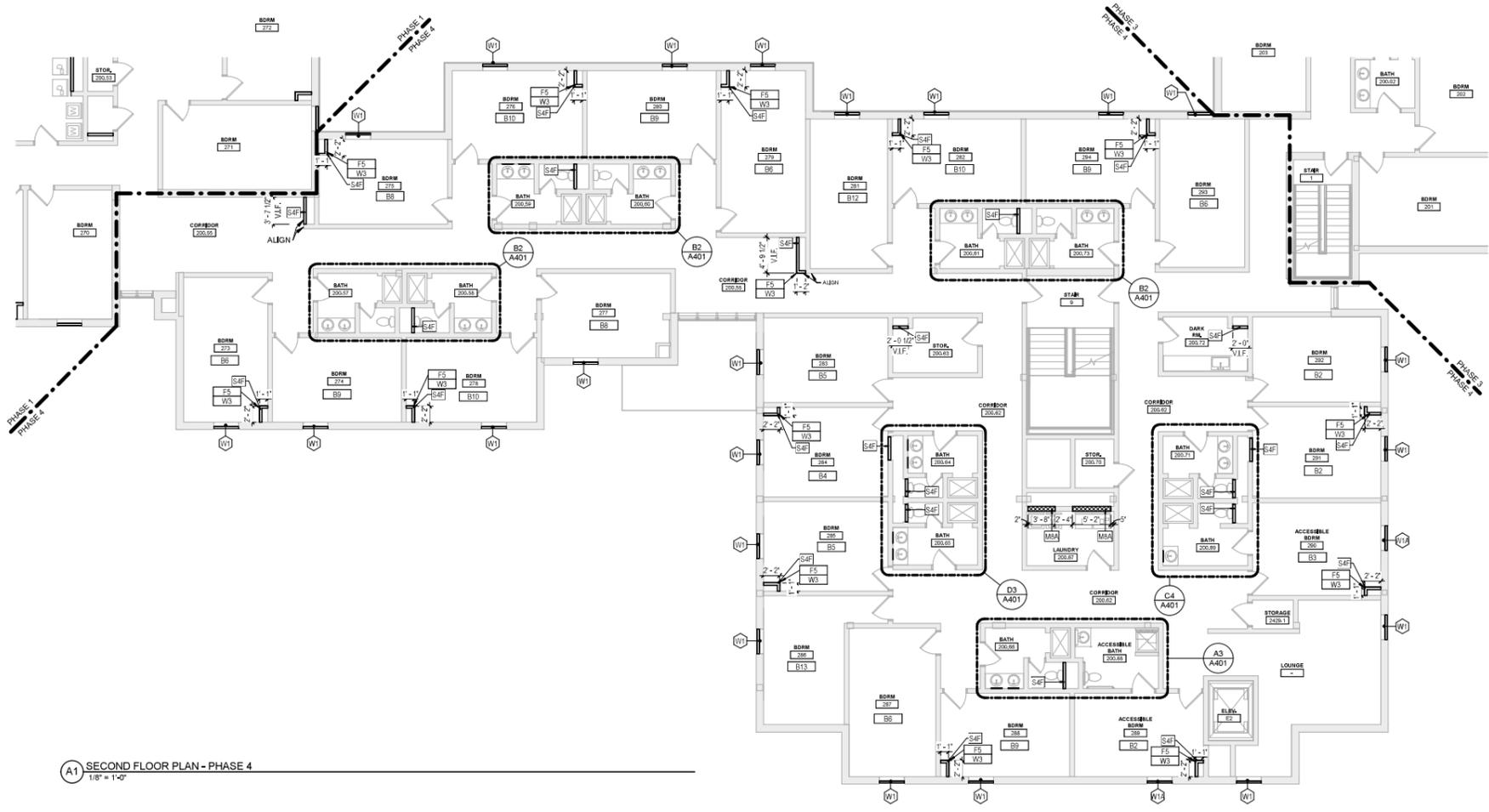
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1. REFERENCE SHEET A000.1 FOR FURTHER INFORMATION RELATING TO PLAN AND DEMOLITION NOTES
2. REFER TO SHEET A000.1 FOR DEMO KEYNOTES LEGEND AND CONSTRUCTION KEYNOTES LEGEND.

PLAN GRAPHIC LEGEND

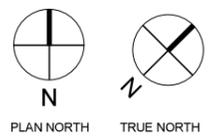
- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED
- NEW CMU WALL
- NEW WALL
- EXISTING DOOR AND FRAME TO REMAIN
- EXISTING DOOR AND FRAME TO BE REMOVED
- NEW DOOR AND FRAME
- EXISTING FLOOR TO BE REMOVED
- NEW CONCRETE SLAB INFILL
- NEW WALKING PADS

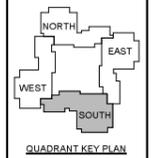


B1 SECOND FLOOR DEMO PLAN - PHASE 4
1/8" = 1'-0"



A1 SECOND FLOOR PLAN - PHASE 4
1/8" = 1'-0"





No.	Date	Description
Revision Schedule		

NOT FOR CONSTRUCTION

JOB NO.
076982

ISSUE
 100% CONSTRUCTION DOCUMENTS - ISSUED FOR BIDDING
 11/22/2023

TITLE
 THIRD FLOOR PLAN AND DEMO PLAN - PHASE 4

SHEET
A104.3

PLAN GENERAL NOTES

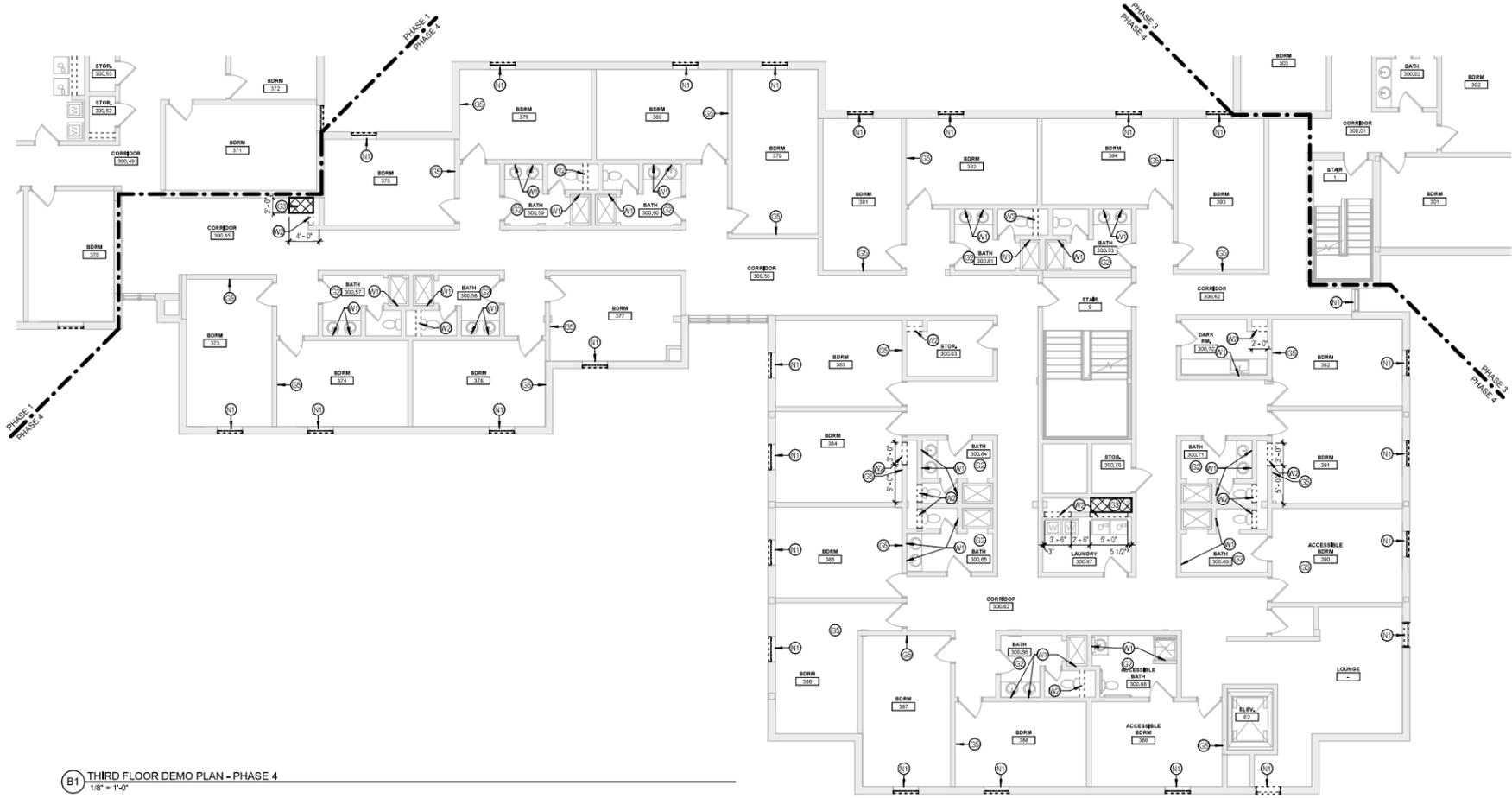
- WORK FROM GIVEN DIMENSIONS. IN GENERAL, LARGE-SCALE DETAILS TAKE PRECEDENCE OVER SMALLER SCALE PLANS, ELEVATIONS AND BUILDING SECTIONS. NOTIFY THE ARCHITECT OF ANY DIMENSIONAL DISCREPANCIES PRIOR TO COMMENCING THE WORK, AND DO NOT BEGIN WORK UNTIL SUCH DISCREPANCIES ARE RESOLVED BY THE ARCHITECT.
- DO NOT SCALE THE DRAWINGS.
- DIMENSIONS INDICATED AS "CLEAR" SHALL BE MAINTAINED IN CASES OF DISCREPANCY.
- UNLESS NOTED OTHERWISE, THE LOCATION OF DOOR FRAMES SHALL BE:
 • CMU PARTITIONS: 4" FROM THE ADJACENT WALL TO THE HINGE SIDE OF THE ROUGH OPENING.
 • METAL STUD PARTITIONS: 4" FROM THE ADJACENT WALL STUDS TO THE HINGE SIDE OF THE ROUGH OPENING.
- MASONRY OPENING OR ROUGH OPENING DIMENSIONS INDICATED ARE NOMINAL DIMENSIONS AND MAY NOT MATCH THE ACTUAL DIMENSIONS OF THE PRODUCT. COORDINATE ALL MASONRY OPENINGS AND ROUGH OPENINGS WITH THE ACTUAL WINDOW UNIT, DOORFRAME, CURTAIN WALLSTOREFRONT, OR LOUVER SIZES AND REQUIREMENTS.
- DIMENSIONAL CONTROL:**
EXTERIOR DIMENSIONS ARE TO:
 • CENTERLINE OF COLUMN
 • FACE OF MASONRY
 • FACE OF STUD
 • FACE OF CONCRETE
 • CENTERLINE OF WINDOW OPENING
 • ROUGH OPENING
 • MASONRY OPENING
INTERIOR DIMENSIONS ARE TO:
 • CENTERLINE OF COLUMN
 • FACE OF MASONRY
 • FACE OF STUD
 • FACE OF EXISTING FINISH MATERIAL
EXISTING DIMENSIONS SHALL BE VERIFIED. REPORT ANY DISCREPANCIES TO THE ARCHITECT.
- TYPICAL DETAIL NOTES:**
 THE FOLLOWING NOTES ARE TYPICAL THROUGHOUT THIS PROJECT AND APPLY IN ALL CASES UNLESS SPECIFICALLY NOTED OTHERWISE. THESE NOTES AND ASSOCIATED DETAILS MAY NOT BE DIRECTLY REFERENCED ON THE DRAWINGS.
 • ALL GWS PARTITIONS INTERSECTING MASONRY PARTITIONS, EITHER NEW OR EXISTING, SHALL BE FINISHED WITH A 1/2" BEAD AND CONTINUOUS SEALANT.
 • ALL NEW OPENINGS FOR WINDOWS AND DOORS IN EXISTING MASONRY WALLS SHALL BE TOOTHED IN AT THE JAMBS.
 • ALL ROOF LEADERS, HEAT PIPING, SPRINKLER RISERS, PLUMBING VENTS, SANITARY PLUMBING OR MISCELLANEOUS PIPING SHALL BE ENCLOSED WITHIN THE WALL CONSTRUCTION.
 • ALL DUCT PENETRATIONS THROUGH FLOORS SHALL BE ENCLOSED IN A CHASE.

ROOM NUMBER NOTE:
 BEDROOMS ARE IDENTIFIED WITH THREE DIGITS
 OTHER ROOMS ARE IDENTIFIED WITH 4 DIGITS
 1ST DIGIT = FLOOR
 2ND DIGIT = PHASE
 3RD AND 4TH DIGIT = ROOM IDENTIFIER

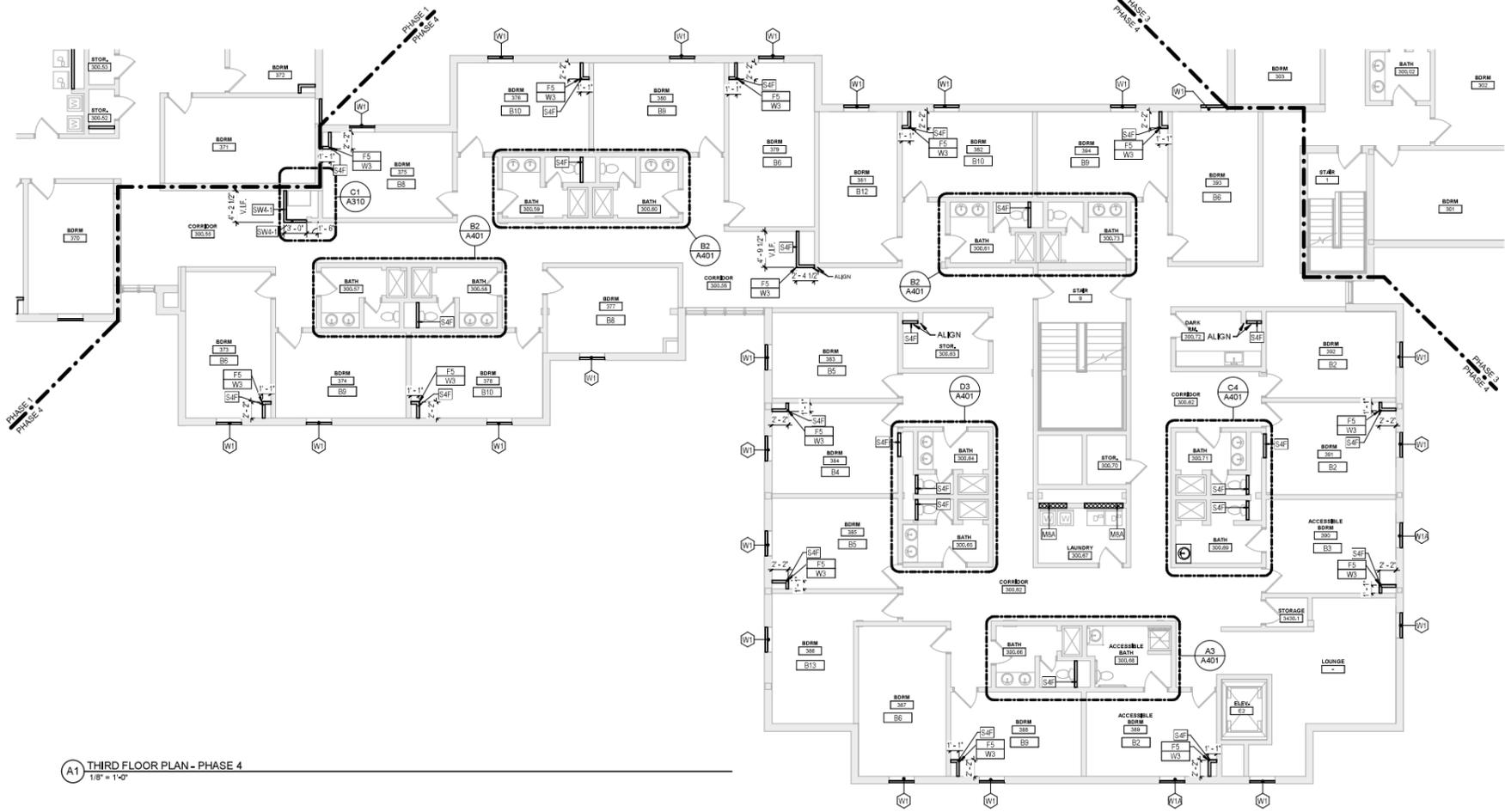
GENERAL PLAN AND DEMO NOTES
 1. REFERENCE SHEET A000.1 FOR FURTHER INFORMATION RELATING TO PLAN AND DEMOLITION NOTES
 2. REFER TO SHEET A000.1 FOR DEMO KEYNOTES LEGEND AND CONSTRUCTION KEYNOTES LEGEND.

PLAN GRAPHIC LEGEND

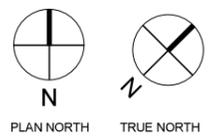
- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED
- NEW CMU WALL
- NEW WALL
- EXISTING DOOR AND FRAME TO REMAIN
- EXISTING DOOR AND FRAME TO BE REMOVED
- NEW DOOR AND FRAME
- EXISTING FLOOR TO BE REMOVED
- NEW CONCRETE SLAB INFILL
- NEW WALKING PADS

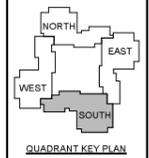


B1 THIRD FLOOR DEMO PLAN - PHASE 4
 1/8" = 1'-0"



A1 THIRD FLOOR PLAN - PHASE 4
 1/8" = 1'-0"





No.	Date	Description
Revision Schedule		

NOT FOR
CONSTRUCTION

JOB NO.
076982

ISSUE
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CONSTRUCTION
DOCUMENTS -
ISSUED FOR
BIDDING
11/22/2023

TITLE
FOURTH FLOOR
PLAN AND DEMO
PLAN - PHASE 4

SHEET
A104.4

PLAN GENERAL NOTES

- WORK FROM GIVEN DIMENSIONS. IN GENERAL, LARGE-SCALE DETAILS TAKE PRECEDENCE OVER SMALLER SCALE PLANS, ELEVATIONS AND BUILDING SECTIONS. NOTIFY THE ARCHITECT OF ANY DIMENSIONAL DISCREPANCIES PRIOR TO COMMENCING THE WORK, AND DO NOT BEGIN WORK UNTIL SUCH DISCREPANCIES ARE RESOLVED BY THE ARCHITECT.
- DO NOT SCALE THE DRAWINGS.
- DIMENSIONS INDICATED AS "CLEAR" SHALL BE MAINTAINED IN CASES OF DISCREPANCY.
- UNLESS NOTED OTHERWISE, THE LOCATION OF DOOR FRAMES SHALL BE:
• CMU PARTITIONS: 4" FROM THE ADJACENT WALL TO THE HINGE SIDE OF THE ROUGH OPENING.
• METAL STUD PARTITIONS: 4" FROM THE ADJACENT WALL STUDS TO THE HINGE SIDE OF THE ROUGH OPENING.
- MASONRY OPENING OR ROUGH OPENING DIMENSIONS INDICATED ARE NOMINAL DIMENSIONS AND MAY NOT MATCH THE ACTUAL DIMENSIONS OF THE PRODUCT. COORDINATE ALL MASONRY OPENINGS AND ROUGH OPENINGS WITH THE ACTUAL WINDOW UNIT, DOORFRAME, CURTAIN WALL, STOREFRONT, OR LOUVER SIZES AND REQUIREMENTS.
- DIMENSIONAL CONTROL:**
• EXTERIOR DIMENSIONS ARE TO:
• CENTERLINE OF COLUMN
• FACE OF MASONRY
• FACE OF STUD
• FACE OF CONCRETE
• CENTERLINE OF WINDOW OPENING
• ROUGH OPENING
• MASONRY OPENING
• INTERIOR DIMENSIONS ARE TO:
• CENTERLINE OF COLUMN
• FACE OF MASONRY
• FACE OF STUD
• FACE OF EXISTING FINISH MATERIAL
• EXISTING DIMENSIONS SHALL BE VERIFIED, REPORT ANY DISCREPANCIES TO THE ARCHITECT.
- TYPICAL DETAIL NOTES:**
• THE FOLLOWING NOTES ARE TYPICAL THROUGHOUT THIS PROJECT AND APPLY IN ALL CASES UNLESS SPECIFICALLY NOTED OTHERWISE. THESE NOTES AND ASSOCIATED DETAILS MAY NOT BE DIRECTLY REFERENCED ON THE DRAWINGS.
• ALL GWB PARTITIONS INTERSECTING MASONRY PARTITIONS, EITHER NEW OR EXISTING, SHALL BE FINISHED WITH A 1" BEAD AND CONTINUOUS SEALANT.
• ALL NEW OPENINGS FOR WINDOWS AND DOORS IN EXISTING MASONRY WALLS SHALL BE TOOTHED IN AT THE JAMBS.
• ALL ROOF LEADERS, HEAT PIPING, SPRINKLER RISERS, PLUMBING VENTS, SANITARY PLUMBING OR MISCELLANEOUS PIPING SHALL BE ENCLOSED WITHIN THE WALL CONSTRUCTION.
• ALL DUCT PENETRATIONS THROUGH FLOORS SHALL BE ENCLOSED IN A CHASE.

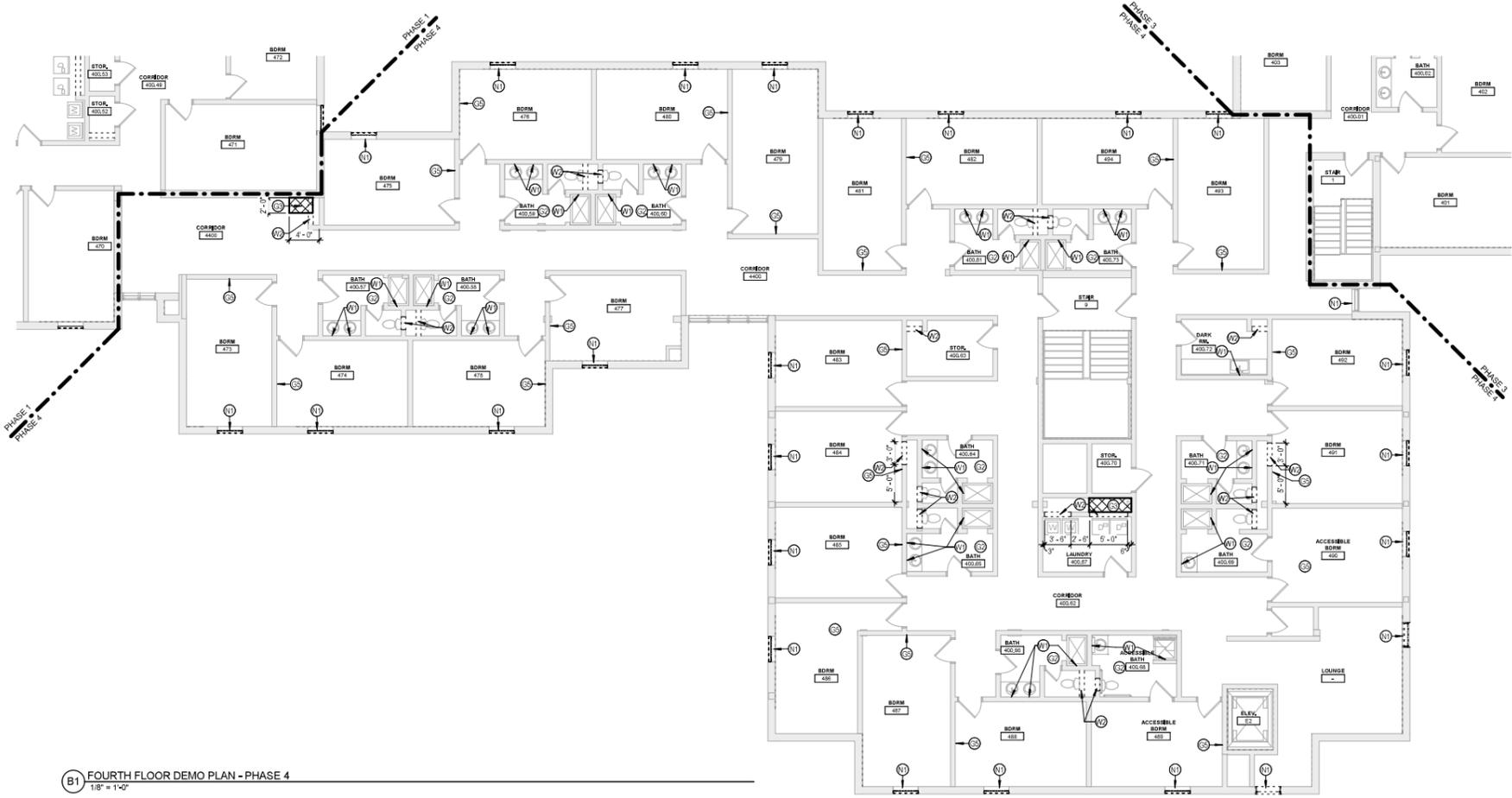
ROOM NUMBER NOTE:
BEDROOMS ARE IDENTIFIED WITH THREE DIGITS
OTHER ROOMS ARE IDENTIFIED WITH 4 DIGITS

1ST DIGIT = FLOOR
2ND DIGIT = PHASE
3RD AND 4TH DIGIT = ROOM IDENTIFIER

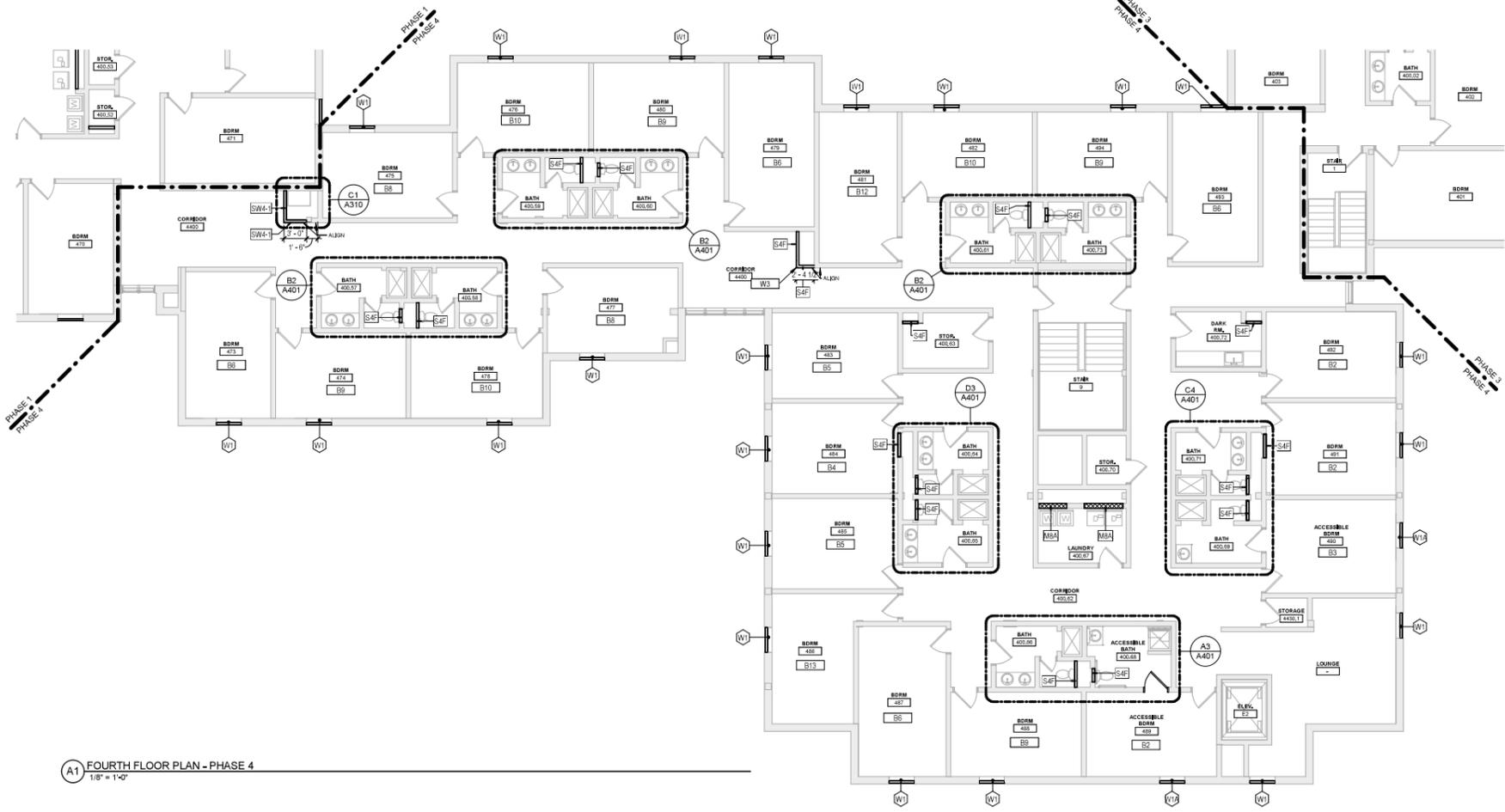
GENERAL PLAN AND DEMO NOTES
1. REFERENCE SHEET A000.1 FOR FURTHER INFORMATION RELATING TO PLAN AND DEMOLITION NOTES
2. REFER TO SHEET A000.1 FOR DEMO KEYNOTES LEGEND AND CONSTRUCTION KEYNOTES LEGEND.

PLAN GRAPHIC LEGEND

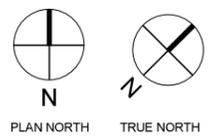
- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED
- NEW CMU WALL
- NEW WALL
- EXISTING DOOR AND FRAME TO REMAIN
- EXISTING DOOR AND FRAME TO BE REMOVED
- NEW DOOR AND FRAME
- EXISTING FLOOR TO BE REMOVED
- NEW CONCRETE SLAB IN FILL
- NEW WALKING PADS

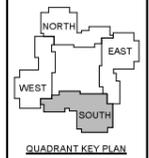


B1 FOURTH FLOOR DEMO PLAN - PHASE 4
1/8" = 1'-0"



A1 FOURTH FLOOR PLAN - PHASE 4
1/8" = 1'-0"





No.	Date	Description
Revision Schedule		

NOT FOR
 CONSTRUCTION

JOB NO.
 078982

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 CONSTRUCTION
 DOCUMENTS -
 ISSUED FOR
 BIDDING
 11/22/2023

TITLE
 ROOF PLAN AND
 DEMO PLAN - PHASE
 4

SHEET
A104.5

- ROOF GENERAL NOTES**
1. PROTECT ALL OPENINGS CUT IN THE ROOF. PROVIDE TEMPORARY ROOFING IF WORK IS TO BE UNFINISHED DURING ADVERSE WEATHER CONDITIONS THROUGHOUT THE CONSTRUCTION PHASE.
 2. PROVIDE FLASHING AT ALL ROOF PENETRATIONS. PENETRATIONS MAY NOT BE INDICATED ON THE ROOF PLAN, REFER TO STRUCTURAL, MECHANICAL AND ELECTRICAL PLANS FOR NUMBER, LOCATION, AND SIZE OF PENETRATIONS.
 3. PROVIDE A 2 FEET WIDE WALKWAY WITH PROTECTION STRIPS ENTIRELY AROUND ALL ROOF TOP MECHANICAL UNITS AND CREATE A PROTECTION STRIP PATHWAY, 2 FEET WIDE, FROM THE ROOF ACCESS LOCATION(S) TO EACH MECHANICAL UNIT.
 4. PROTECT ROOFING MATERIALS FROM CONSTRUCTION OPERATIONS.
 5. PROVIDE CURBS AND PRESSURE TREATED WOOD BLOCKING FOR ALL ROOF MOUNTED EQUIPMENT, UNLESS NOTES OTHERWISE.
 6. PROVIDE FALL PROTECTION AS DELEGATED DESIGN AS REQUIRED WHERE ACCESS TO OR PAST ROOF EQUIPMENT REQUIRES WORKERS BE WITHIN 10' OF ROOF EDGE.

- PLAN GRAPHIC LEGEND**
- EXISTING WALL TO REMAIN
 - EXISTING WALL TO BE REMOVED
 - NEW CMU WALL
 - NEW WALL
 - EXISTING DOOR AND FRAME TO REMAIN
 - EXISTING DOOR AND FRAME TO BE REMOVED
 - NEW DOOR AND FRAME
 - EXISTING FLOOR TO BE REMOVED
 - NEW CONCRETE SLAB INFILL
 - NEW WALKING PADS

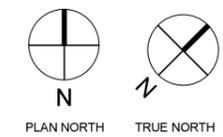
B1 ROOF DEMO PLAN - PHASE 4
 1/8" = 1'-0"

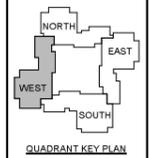
A1 ROOF PLAN - PHASE 4
 1/8" = 1'-0"

PROVIDE SURE-SEAL EPDM
 PRESSURE SENSITIVE
 WALKWAY PADS OR
 APPROVED EQUAL

EXISTING ROOF
 DRAIN TO
 REMAIN, TYP.

EXISTING
 EXHAUST FAN
 TO REMAIN, TYP.





No.	Date	Description
Revision Schedule		

NOT FOR CONSTRUCTION

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TITLE
REFLECTED CEILING PLAN AND DEMO PLAN - INTERMEDIATE FLOOR - PHASE 1

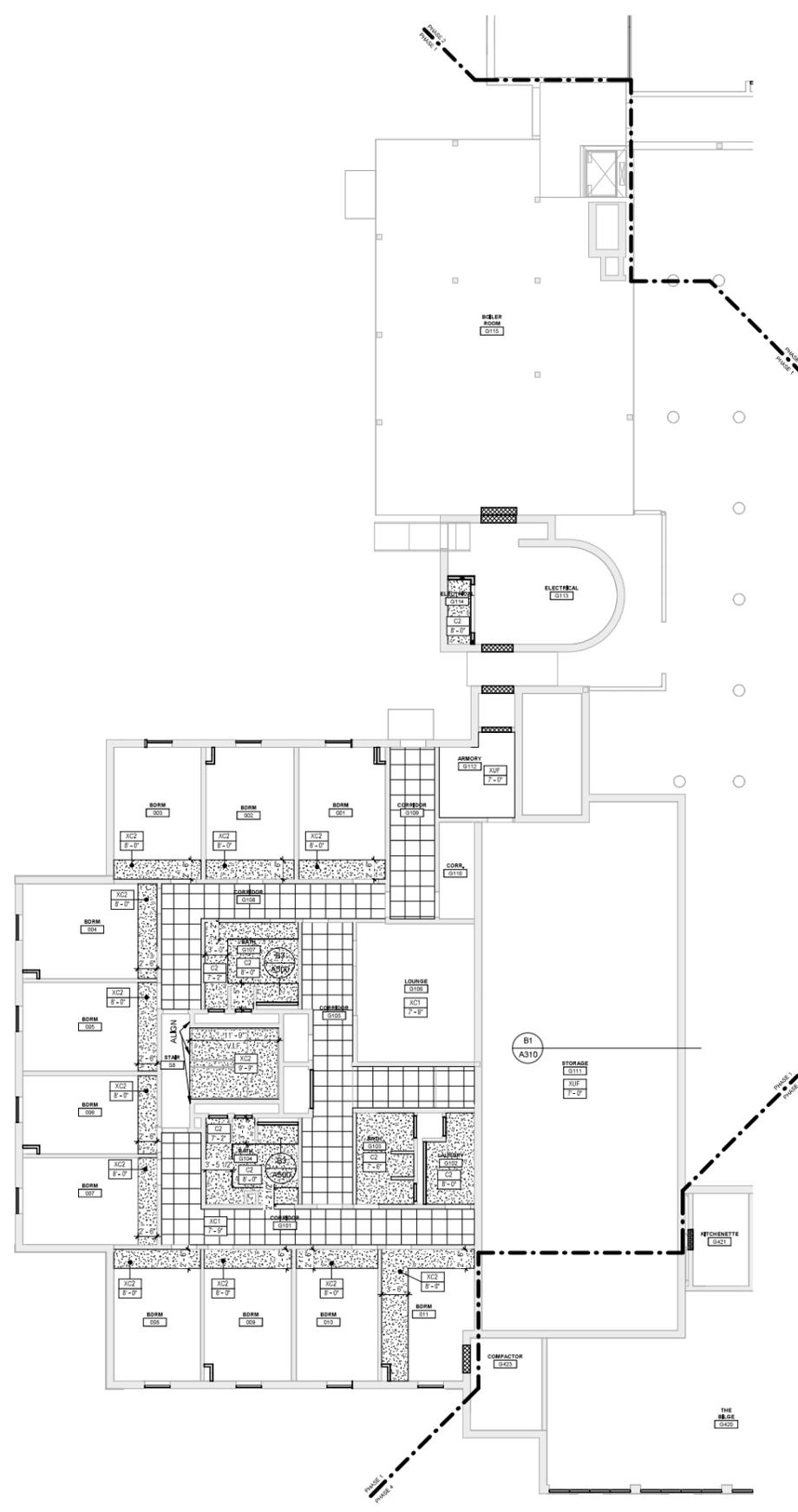
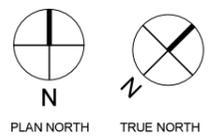
SHEET
A111.0

- CEILING NOTES**
1. CEILING PLANS DO NOT SHOW EVERY FEATURE OR COMPONENT. REFER TO ELECTRICAL, PLUMBING, MECHANICAL AND STRUCTURAL DRAWINGS FOR EXTENT OF ALL CEILING PENETRATIONS AND INSTALLATIONS AND COORDINATE PRIOR TO INSTALLATION.
 2. CENTER GRID LAYOUT IN ALL ROOMS UNLESS NOTED OTHERWISE.
 3. ALL COMPONENTS MOUNTED IN OR BELOW A SUSPENDED ACOUSTIC CEILING SHALL BE CENTERED IN THE CEILING TILE OR IN THE 2X2 PORTION OF REGULAR CEILING TILES. UNLESS NOTED OTHERWISE, THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, LIGHT FIXTURES, DIFFUSERS, SPEAKERS, SMOKE DETECTORS, AND SPRINKLER HEADS.
 4. PRIOR TO THE INSTALLATION OF CEILINGS, ALLOW FOR AN ABOVE-CEILING INSPECTION OF COMPONENTS THAT WILL NOT BE VISIBLE WHEN THE CEILINGS HAVE BEEN INSTALLED, INCLUDING INSPECTION OF FIRE, SMOKE, AND ACOUSTICAL SEPARATIONS.
 5. REFER TO ELECTRICAL DRAWINGS FOR LIGHTING FIXTURE INFORMATION.

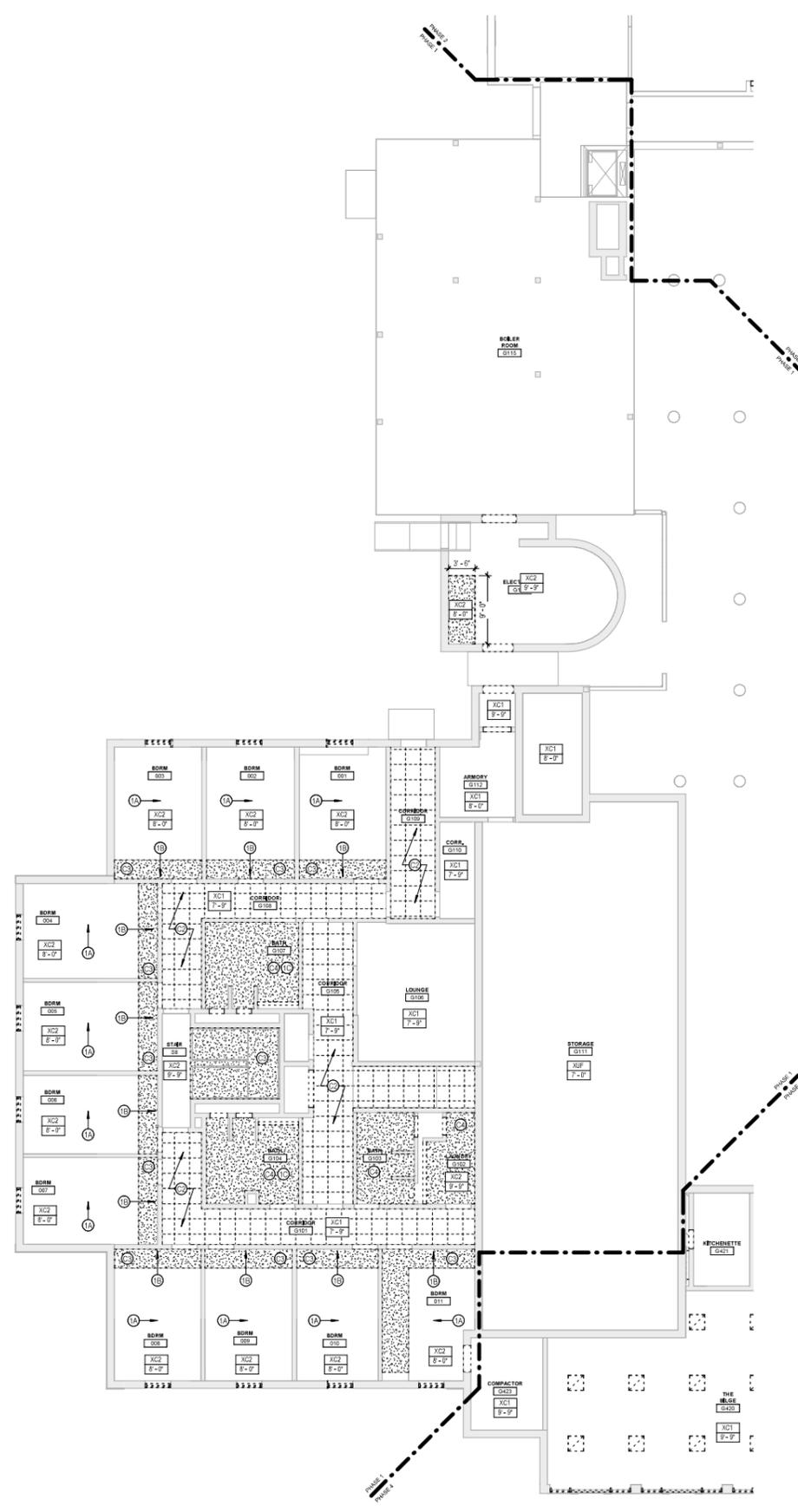
- CEILING DEMOLITION LEGEND**
- EXISTING 2' x 2' TO BE DEMOLISHED ACOUSTIC CEILING TILE
 - EXISTING GYPSUM BOARD TO BE DEMOLISHED ON METAL STUD CEILING
 - NEW WALL
 - DEMOLISHED WALL

- CEILING TYPES**
- C1 2' x 2' ACOUSTIC CEILING TILE
 - XC1 EXISTING TO DEMOLISH 2' x 2' ACOUSTIC CEILING TILE
 - C2 GYPSUM BOARD ON METAL STUD CEILING
 - XC2 EXISTING GYPSUM BOARD ON METAL STUD CEILING
 - C3 EXTERIOR MTL CLG PANEL
 - XUF EXISTING UNFINISHED

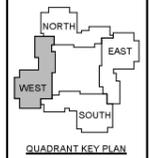
- CEILING LEGEND**
- CLG ACCESS HATCH. CONTRACTOR TO CONFIRM FINAL LOCATIONS
 - 24"x24" EXTERIOR LOCATIONS SHALL HAVE INSULATED PANEL (DETAIL A44A320)
 - 24"x24", 18"x18", 12"x12" INTERIOR LOCATIONS PER DETAIL B2/A500-COORD SEE W/MEP DWGS.
 - CLG ← CEILING TYPE
 - 8'-0" ← CEILING HEIGHT



A1 INTERMEDIATE FLOOR REFLECTED CEILING PLAN - PHASE 1
1/8" = 1'-0"



A2 INTERMEDIATE FLOOR DEMO REFLECTED CEILING PLAN - PHASE 1
1/8" = 1'-0"



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BIDDING
11/22/2023

TITLE
REFLECTED CEILING
PLAN AND DEMO
PLAN - FIRST FLOOR
- PHASE 1

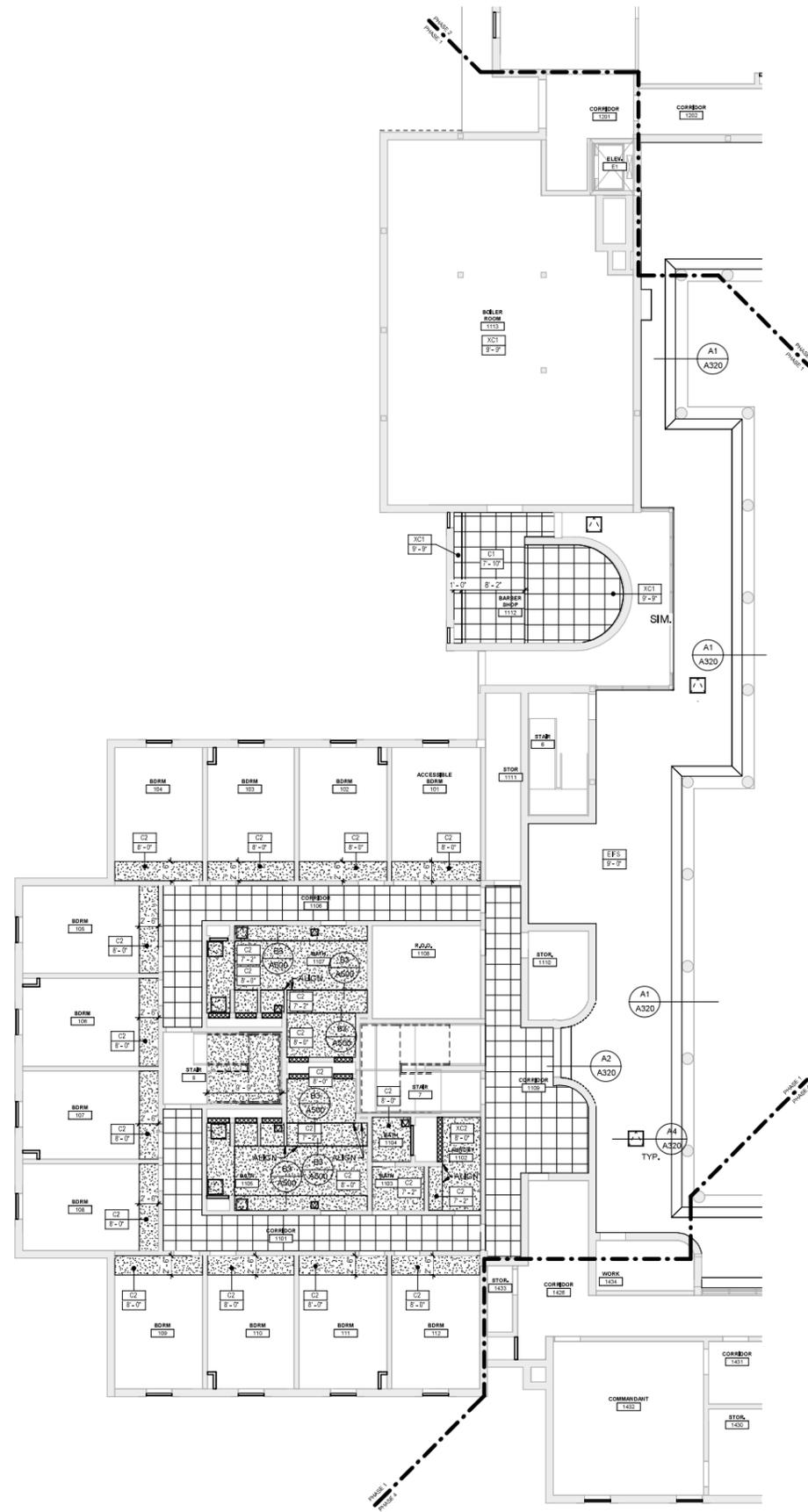
SHEET
A111.1

- CEILING NOTES**
1. CEILING PLANS DO NOT SHOW EVERY FIXTURE OR COMPONENT. REFER TO ELECTRICAL, PLUMBING, MECHANICAL AND STRUCTURAL DRAWINGS FOR EXTENT OF ALL CEILING PENETRATIONS AND INSTALLATIONS AND COORDINATE PRIOR TO INSTALLATION.
 2. CENTER GRID LAYOUT IN ALL ROOMS UNLESS NOTED OTHERWISE.
 3. ALL COMPONENTS MOUNTED IN OR BELOW A SUSPENDED ACOUSTIC CEILING SHALL BE CENTERED IN THE CEILING TILE OR IN THE 2X2 PORTION OF REGULAR CEILING TILES, UNLESS NOTED OTHERWISE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, LIGHT FIXTURES, DIFFUSERS, SPEAKERS, SMOKE DETECTORS, AND SPRINKLER HEADS.
 4. PRIOR TO THE INSTALLATION OF CEILINGS, ALLOW FOR AN ABOVE-CEILING INSPECTION OF COMPONENTS THAT WILL NOT BE VISIBLE WHEN THE CEILINGS HAVE BEEN INSTALLED, INCLUDING INSPECTION OF FIRE, SMOKE, AND ACOUSTICAL SEPARATIONS.
 5. REFER TO ELECTRICAL DRAWINGS FOR LIGHTING FIXTURE INFORMATION.

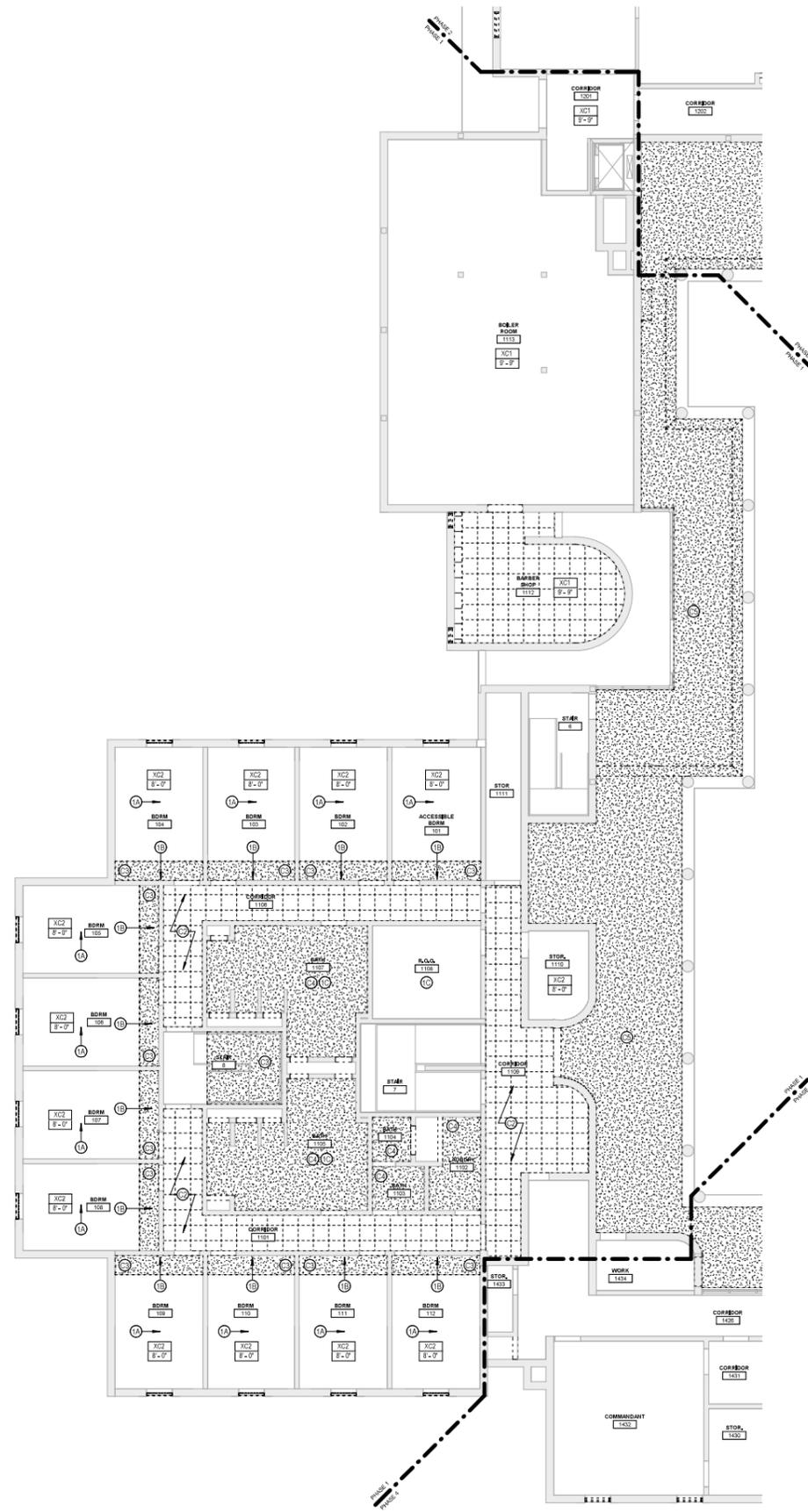
- CEILING DEMOLITION LEGEND**
- EXISTING 2' x 2' TO BE DEMOLISHED ACOUSTIC CEILING TILE
 - EXISTING GYPSUM BOARD TO BE DEMOLISHED ON METAL STUD CEILING
 - NEW WALL
 - DEMOLISHED WALL

- CEILING TYPES**
- C1 2' x 2' ACOUSTIC CEILING TILE
 - X01 EXISTING TO DEMOLISH 2' x 2' ACOUSTIC CEILING TILE
 - C2 GYPSUM BOARD ON METAL STUD CEILING
 - X02 EXISTING GYPSUM BOARD ON METAL STUD CEILING
 - C3 EXTERIOR MTL CLG PANEL
 - XUF EXISTING UNFINISHED

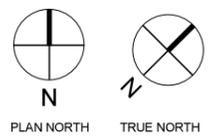
- CEILING LEGEND**
- CLG ACCESS HATCH. CONTRACTOR TO CONFIRM FINAL LOCATIONS
 - 24"x24" EXTERIOR LOCATIONS SHALL HAVE INSULATED PANEL (DETAIL A4/A320)
 - 24"x24", 18"x18", 12"x12" INTERIOR LOCATIONS PER DETAIL B2/A500-COORD SIZE W/ MEP DWGS.
 - C# ← CEILING TYPE
 - 8'-0" ← CEILING HEIGHT



A2 FIRST FLOOR REFLECTED CEILING PLAN - PHASE 1
 1/8" = 1'-0"



A1 FIRST FLOOR DEMO REFLECTED CEILING PLAN - PHASE 1
 1/8" = 1'-0"





- CEILING NOTES**
1. CEILING PLANS DO NOT SHOW EVERY FIXTURE OR COMPONENT. REFER TO ELECTRICAL, PLUMBING, MECHANICAL AND STRUCTURAL DRAWINGS FOR EXTENT OF ALL CEILING PENETRATIONS AND INSTALLATIONS AND COORDINATE PRIOR TO INSTALLATION.
 2. CENTER GRID LAYOUT IN ALL ROOMS UNLESS NOTED OTHERWISE.
 3. ALL COMPONENTS MOUNTED IN OR BELOW A SUSPENDED ACoustic CEILING SHALL BE CENTERED IN THE CEILING TILE OR IN THE 2X2 PORTION OF REGULAR CEILING TILES, UNLESS NOTED OTHERWISE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, LIGHT FIXTURES, DIFFUSERS, SPEAKERS, SMOKE DETECTORS, AND SPRINKLER HEADS.
 4. PRIOR TO THE INSTALLATION OF CEILINGS, ALLOW FOR AN ABOVE-CEILING INSPECTION OF COMPONENTS THAT WILL NOT BE VISIBLE WHEN THE CEILINGS HAVE BEEN INSTALLED, INCLUDING INSPECTION OF FIRE, SMOKE, AND ACOUSTICAL SEPARATIONS.
 5. REFER TO ELECTRICAL DRAWINGS FOR LIGHTING FIXTURE INFORMATION.

- CEILING DEMOLITION LEGEND**
- EXISTING AC 2' x 2' TO BE DEMOLISHED ACOUSTIC CEILING TILE
 - EXISTING GYPSUM BOARD TO BE DEMOLISHED ON METAL STUD CEILING
 - NEW WALL
 - DEMOLISHED WALL

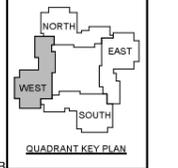
- CEILING TYPES**
- C1 2' x 2' ACOUSTIC CEILING TILE
 - X1 EXISTING TO DEMOLISH 2' x 2' ACOUSTIC CEILING TILE
 - C2 GYPSUM BOARD ON METAL STUD CEILING
 - X2 EXISTING GYPSUM BOARD ON METAL STUD CEILING
 - C3 EXTERIOR MTL CLG PANEL
 - XUF EXISTING UNFINISHED

- CEILING LEGEND**
- CLG ACCESS HATCH, CONTRACTOR TO CONFIRM FINAL LOCATIONS
 - 24"x24" EXTERIOR LOCATIONS SHALL HAVE INSULATED PANEL (DETAIL A4/A320)
 - 24"x24", 18"x18", 12"x12" INTERIOR LOCATIONS PER DETAIL B2/A500-COORD SIZE W/ MEP DWGS.
 - CF ← CEILING TYPE
 - 8'-0" ← CEILING HEIGHT



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CURTIS HALL RENOVATIONS
Maine Maritime Academy,
1 Pleasant Street, Castine, Maine 04421



No.	Date	Description
Revision Schedule		

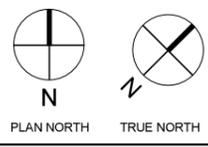
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JOB NO. 076982

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11/22/2023

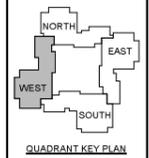
TITLE REFLECTED CEILING PLAN AND DEMO PLAN - SECOND FLOOR - PHASE 1

SHEET
A111.2



A1 SECOND FLOOR DEMO REFLECTED CEILING PLAN - PHASE 1
1/8" = 1'-0"

A3 SECOND FLOOR REFLECTED CEILING PLAN - PHASE 1
1/8" = 1'-0"



No.	Date	Description
Revision Schedule		

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JOB NO.
076982

ISSUE
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11/22/2023

TITLE
REFLECTED CEILING PLAN AND DEMO PLAN - THIRD FLOOR - PHASE 1

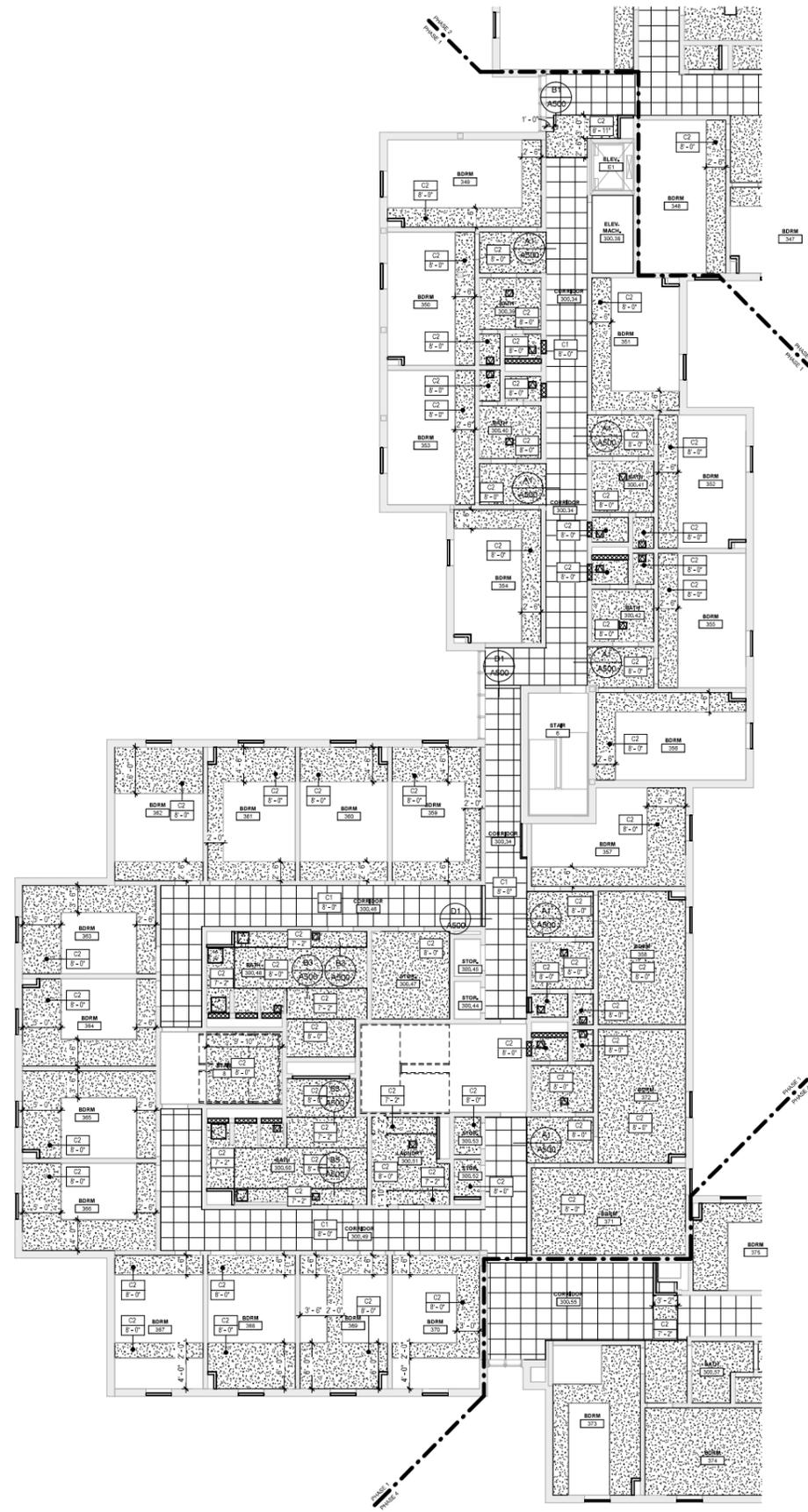
SHEET
A111.3

- CEILING NOTES**
1. CEILING PLANS DO NOT SHOW EVERY FIXTURE OR COMPONENT. REFER TO ELECTRICAL, PLUMBING, MECHANICAL AND STRUCTURAL DRAWINGS FOR EXTENT OF ALL CEILING PENETRATIONS AND INSTALLATIONS AND COORDINATE PRIOR TO INSTALLATION.
 2. CENTER GRID LAYOUT IN ALL ROOMS UNLESS NOTED OTHERWISE.
 3. ALL COMPONENTS MOUNTED IN OR BELOW A SUSPENDED ACOUSTIC CEILING SHALL BE CENTERED IN THE CEILING TILE OR IN THE 2X2 PORTION OF REGULAR CEILING TILES, UNLESS NOTED OTHERWISE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, LIGHT FIXTURES, DIFFUSERS, SPEAKERS, SMOKE DETECTORS, AND SPRINKLER HEADS.
 4. PRIOR TO THE INSTALLATION OF CEILINGS, ALLOW FOR AN ABOVE-CEILING INSPECTION OF COMPONENTS THAT WILL NOT BE VISIBLE WHEN THE CEILINGS HAVE BEEN INSTALLED, INCLUDING INSPECTION OF FIRE, SMOKE, AND ACOUSTICAL SEPARATIONS.
 5. REFER TO ELECTRICAL DRAWINGS FOR LIGHTING FIXTURE INFORMATION.

- CEILING DEMOLITION LEGEND**
- EXISTING ACT 2' x 2' TO BE DEMOLISHED ACOUSTIC CEILING TILE
 - EXISTING GYPSUM BOARD TO BE DEMOLISHED ON METAL STUD CEILING
 - NEW WALL
 - DEMOLISHED WALL

- CEILING TYPES**
- C1 2' x 2' ACOUSTIC CEILING TILE
 - XC1 EXISTING TO DEMOLISH 2' x 2' ACOUSTIC CEILING TILE
 - C2 GYPSUM BOARD ON METAL STUD CEILING
 - XC2 EXISTING GYPSUM BOARD ON METAL STUD CEILING
 - C3 EXTERIOR MTL CLG PANEL
 - XUF EXISTING UNFINISHED

- CEILING LEGEND**
- CLG ACCESS HATCH. CONTRACTOR TO CONFIRM FINAL LOCATIONS
 - 24"x24" EXTERIOR LOCATIONS SHALL HAVE INSULATED PANEL (DETAIL A44A320)
 - 24"x24", 18"x18", 12"x12" INTERIOR LOCATIONS PER DETAIL B2/A500-COORD SEE W/ MEP DWGS.
 - CLG ← CEILING TYPE
 - 8'-0" ← CEILING HEIGHT



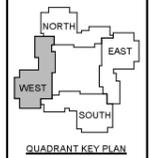
- CEILING NOTES**
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 2. CENTER GRID LAYOUT IN ALL ROOMS UNLESS NOTED OTHERWISE.
 3. ALL COMPONENTS MOUNTED IN OR BELOW A SUSPENDED ACOUSTIC CEILING SHALL BE CENTERED IN THE CEILING TILE OR IN THE 2X2 PORTION OF REGULAR CEILING TILES. UNLESS NOTED OTHERWISE, THIS SHALL INCLUDE, BUT NOT BE LIMITED TO LIGHT FIXTURES, DIFFUSERS, SPEAKERS, SMOKE DETECTORS, AND SPRINKLER HEADS.
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 5. REFER TO ELECTRICAL DRAWINGS FOR LIGHTING FIXTURE INFORMATION.

- CEILING DEMOLITION LEGEND**
- EXISTING ACT 2' x 2' TO BE DEMOLISHED ACOUSTIC CEILING TILE
 - EXISTING GYPSUM BOARD TO BE DEMOLISHED ON METAL STUD CEILING
 - NEW WALL
 - DEMOLISHED WALL

- CEILING TYPES**
- C1 2' x 2' ACOUSTIC CEILING TILE
 - XC1 EXISTING TO DEMOLISH 2' x 2' ACOUSTIC CEILING TILE
 - C2 GYPSUM BOARD ON METAL STUD CEILING
 - XC2 EXISTING GYPSUM BOARD ON METAL STUD CEILING
 - C3 EXTERIOR METAL CLG PANEL
 - XUF EXISTING UNFINISHED

- CEILING LEGEND**
- CLG ACCESS HATCH, CONTRACTOR TO CONFIRM FINAL LOCATIONS
 - *24"X24" EXTERIOR LOCATIONS SHALL HAVE INSULATED PANEL (DETAIL A4/A320)
 - *24"X24", 18"X18", 12"X12"-INTERIOR LOCATIONS PER DETAIL E2/A500-COORD SIZE W/ MEP DWGS.
 - CF ← CEILING TYPE
 - 8'-0" ← CEILING HEIGHT

CURTIS HALL RENOVATIONS
Maine Maritime Academy,
1 Pleasant Street, Castine, Maine 04421



No.	Date	Description
Revision Schedule		

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JOB NO. 076982

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11/22/2023

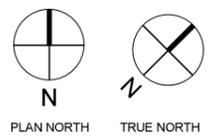
TITLE REFLECTED CEILING PLAN AND DEMO PLAN - FOURTH FLOOR - PHASE 1

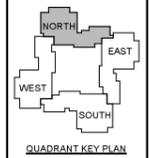
SHEET
A111.4



A1 FOURTH FLOOR DEMO REFLECTED CEILING PLAN - PHASE 1
1/8" = 1'-0"

A2 FOURTH FLOOR REFLECTED CEILING PLAN - PHASE 1
1/8" = 1'-0"





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11/22/2023

TITLE
REFLECTED CEILING
PLAN AND DEMO
PLAN - FIRST FLOOR
- PHASE 2

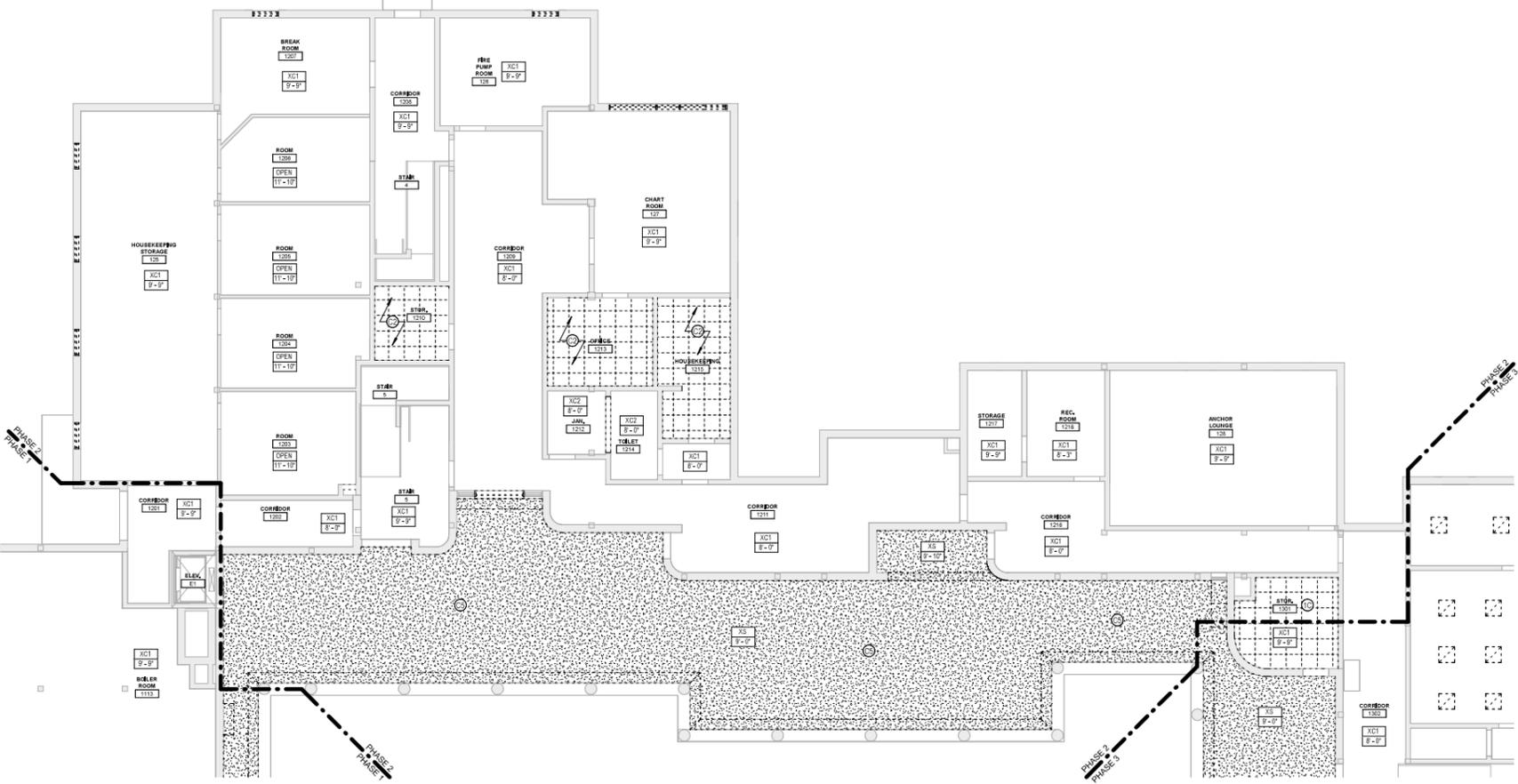
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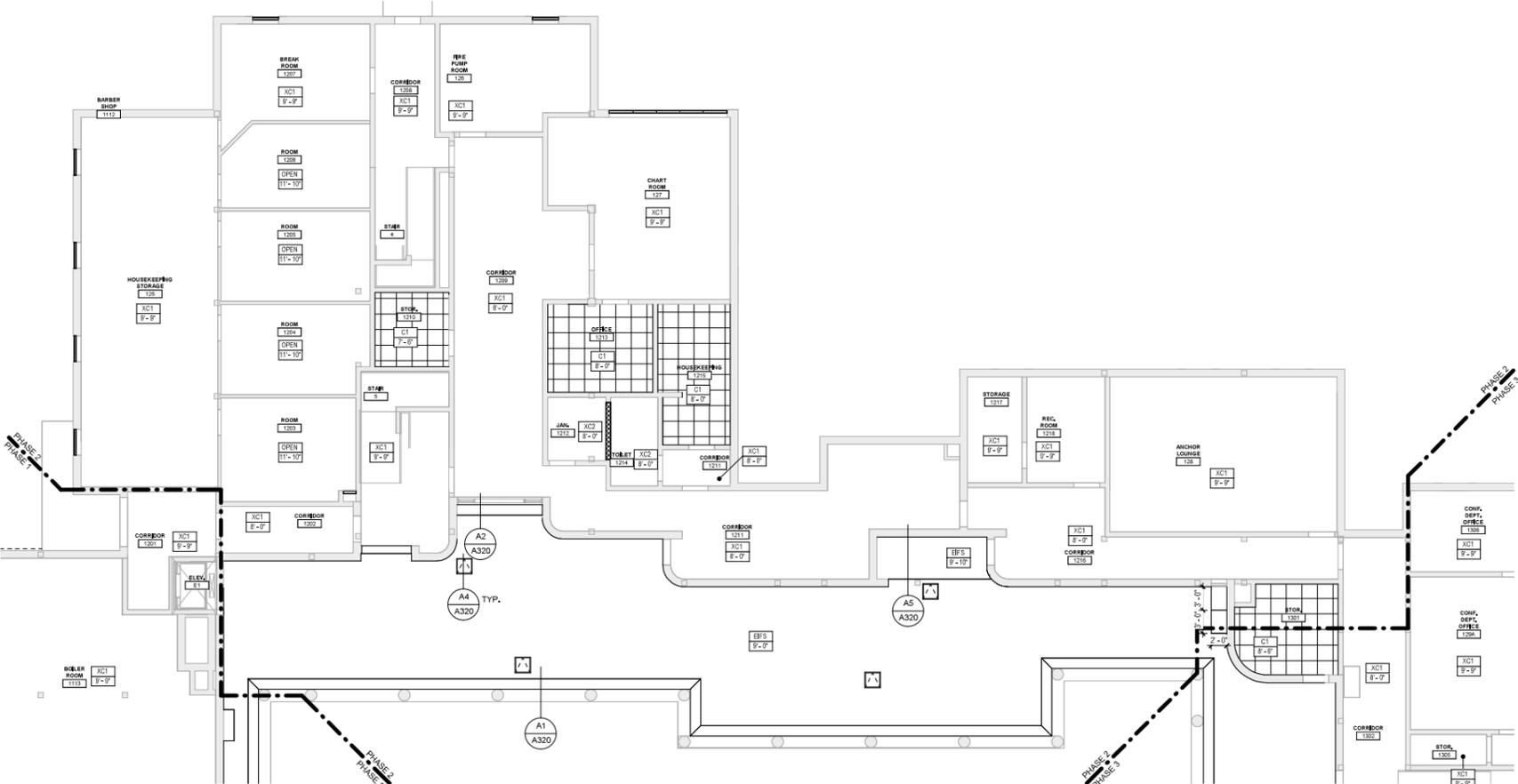
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 - EXISTING GYPSUM BOARD TO BE DEMOLISHED ON METAL STUD CEILING
 - NEW WALL
 - DEMOLISHED WALL

- CEILING TYPES**
- C1 2' x 2' ACOUSTIC CEILING TILE
 - X01 EXISTING TO DEMOLISH 2' x 2' ACOUSTIC CEILING TILE
 - C2 GYPSUM BOARD ON METAL STUD CEILING
 - X02 EXISTING GYPSUM BOARD ON METAL STUD CEILING
 - C3 EXTERIOR MTL CLG PANEL
 - X0F EXISTING UNFINISHED

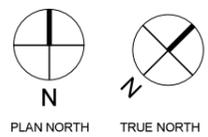
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 - CE# - CEILING TYPE
 - 8'-0" - CEILING HEIGHT



B1 FIRST FLOOR DEMO REFLECTED CEILING PLAN - PHASE 2
1/8" = 1'-0"



A1 FIRST FLOOR REFLECTED CEILING PLAN - PHASE 2
1/8" = 1'-0"



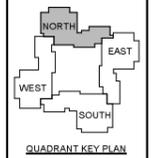
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 - DEMOLISHED WALL

- CEILING TYPES**
- C1 2' x 2' ACOUSTIC CEILING TILE
 - XC1 EXISTING TO DEMOLISH 2' x 2' ACOUSTIC CEILING TILE
 - C2 GYPSUM BOARD ON METAL STUD CEILING
 - XC2 EXISTING GYPSUM BOARD ON METAL STUD CEILING
 - C3 EXTERIOR MTL CLG PANEL
 - XUF EXISTING UNFINISHED

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 - CEILING TYPE
 - CEILING HEIGHT

CURTIS HALL RENOVATIONS
Maine Maritime Academy,
1 Pleasant Street, Castine, Maine 04421



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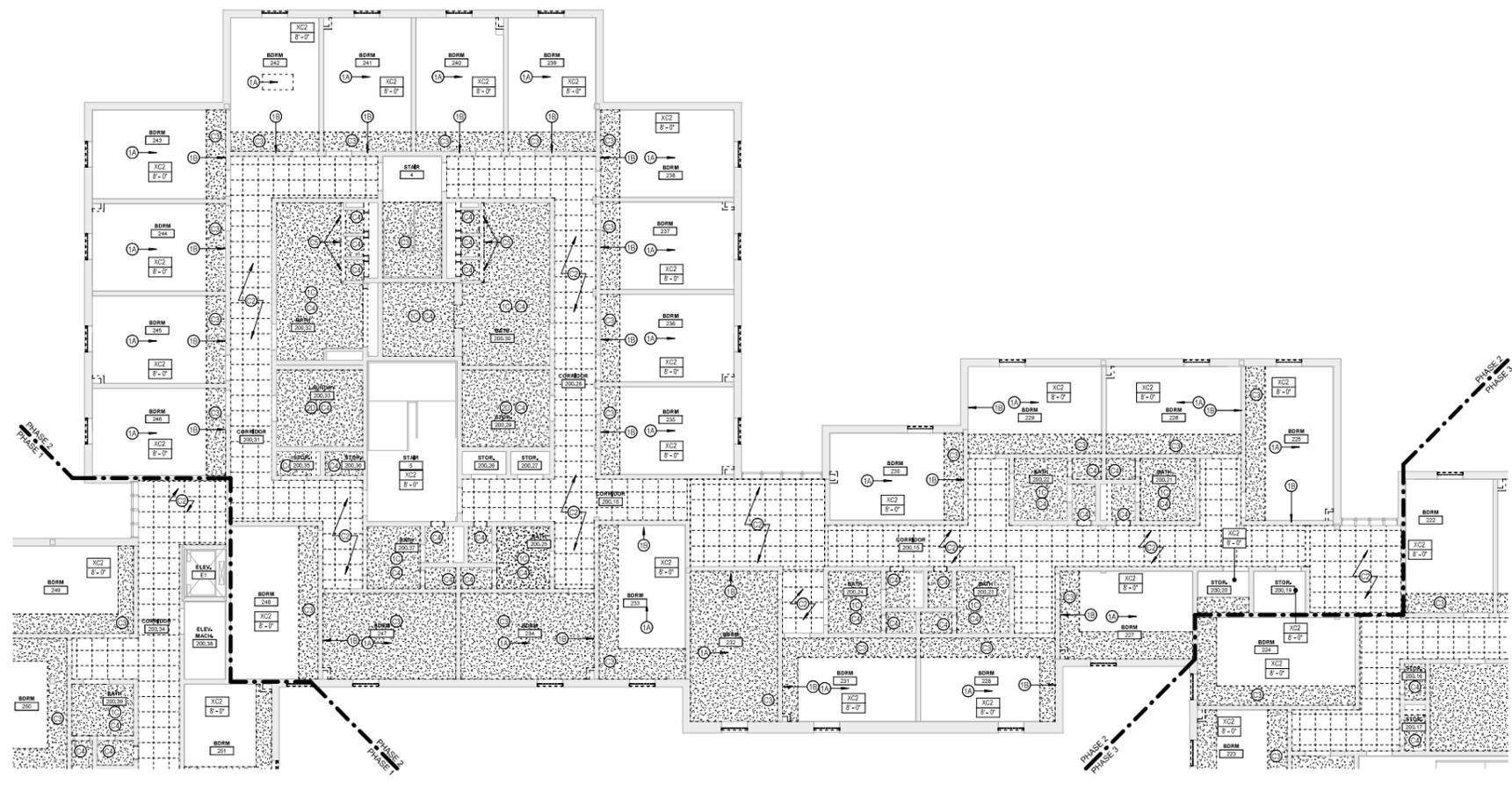
NOT FOR CONSTRUCTION

JOB NO.
076982

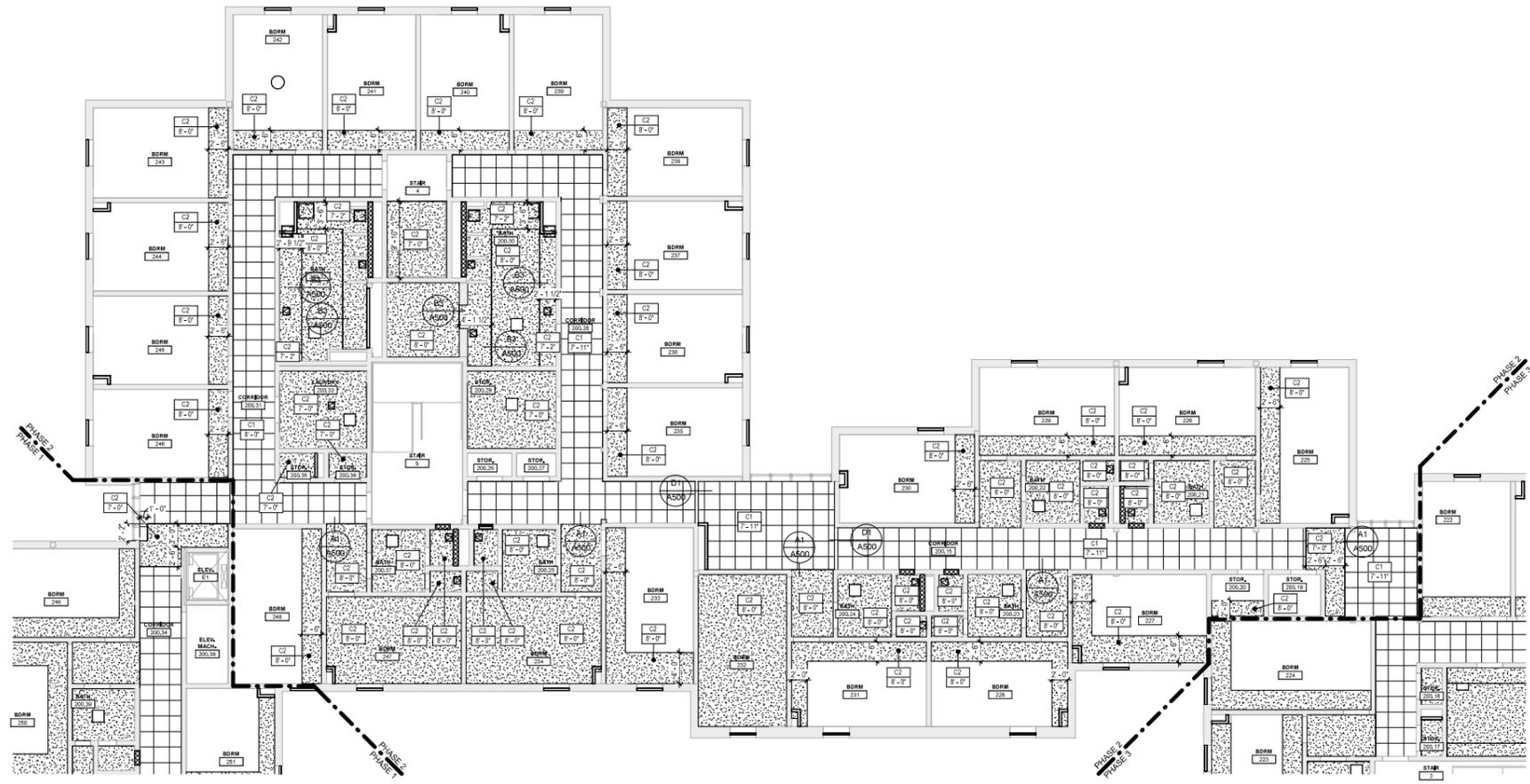
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TITLE
REFLECTED CEILING PLAN AND DEMO PLAN - SECOND FLOOR - PHASE 2

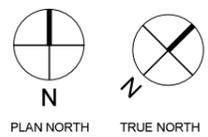
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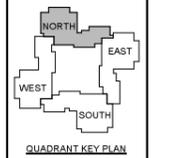


B1 SECOND FLOOR DEMO REFLECTED CEILING PLAN - PHASE 2
1/8" = 1'-0"



A1 SECOND FLOOR REFLECTED CEILING PLAN - PHASE 2
1/8" = 1'-0"





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TITLE
REFLECTED CEILING PLAN AND DEMO PLAN - THIRD FLOOR - PHASE 2

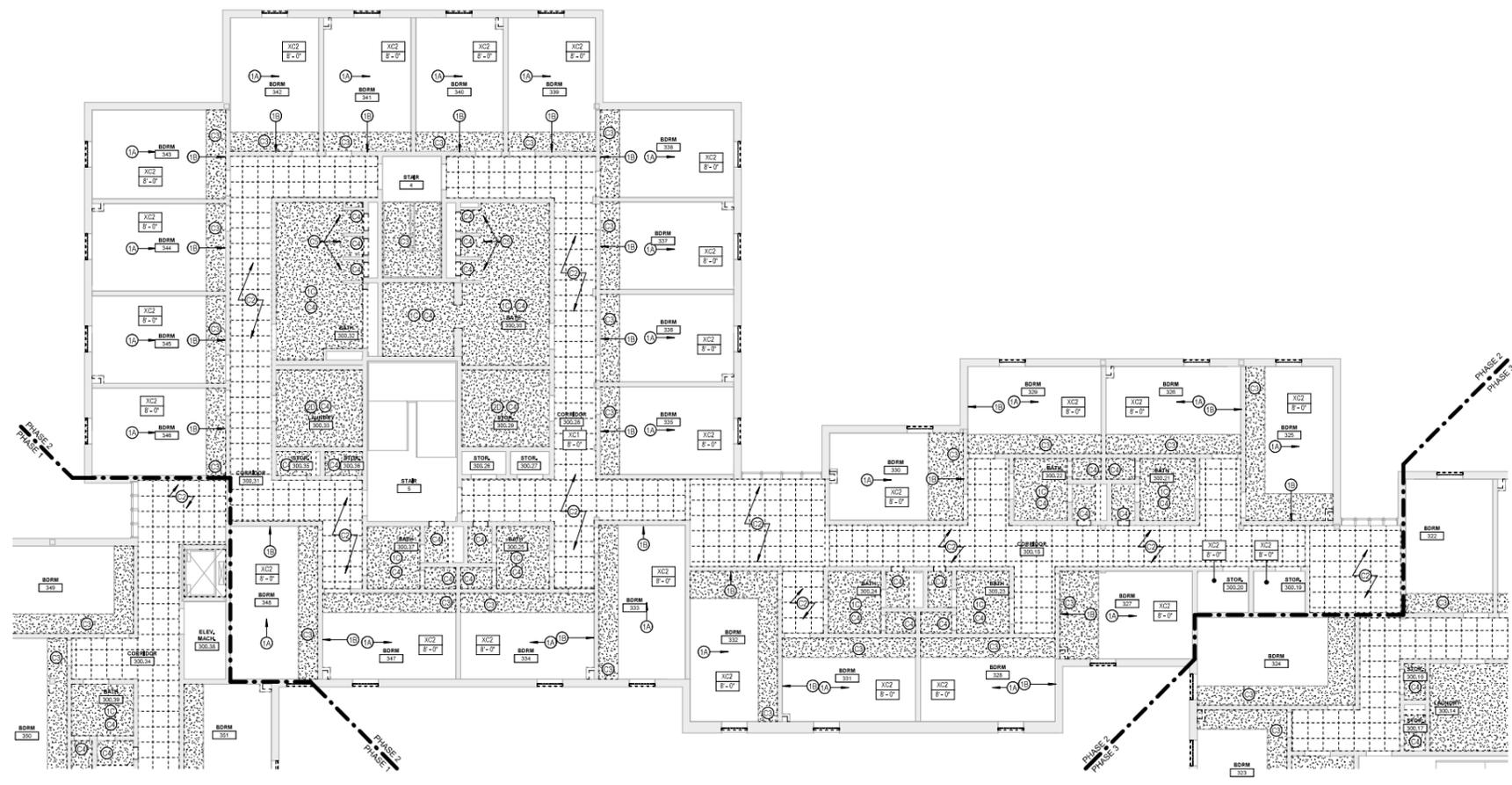
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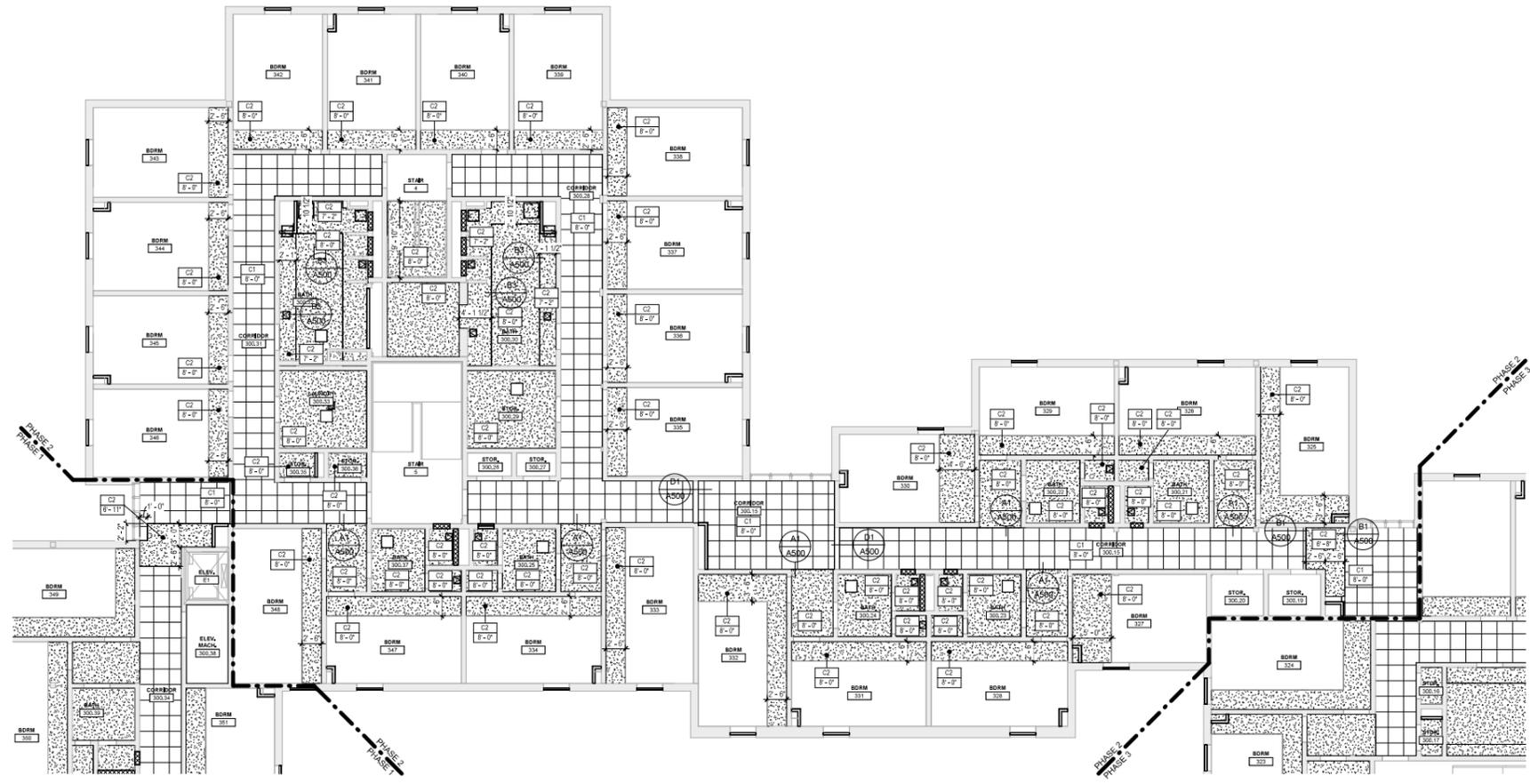
- CEILING DEMOLITION LEGEND**
- EXISTING ACT 2' x 2' TO BE DEMOLISHED ACOUSTIC CEILING TILE
 - EXISTING GYPSUM BOARD TO BE DEMOLISHED ON METAL STUD CEILING
 - NEW WALL
 - DEMOLISHED WALL

- CEILING TYPES**
- C1 2' x 2' ACOUSTIC CEILING TILE
 - XC1 EXISTING TO DEMOLISH 2' x 2' ACOUSTIC CEILING TILE
 - C2 GYPSUM BOARD ON METAL STUD CEILING
 - XC2 EXISTING GYPSUM BOARD ON METAL STUD CEILING
 - C3 EXTERIOR MTL CLG PANEL
 - XUF EXISTING UNFINISHED

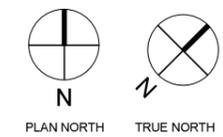
- CEILING LEGEND**
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 - C# CEILING TYPE
 - 8'-0" CEILING HEIGHT

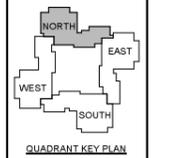


B1 THIRD FLOOR DEMO REFLECTED CEILING PLAN - PHASE 2
1/8" = 1'-0"



A1 THIRD FLOOR REFLECTED CEILING PLAN - PHASE 2
1/8" = 1'-0"





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TITLE
REFLECTED CEILING PLAN AND DEMO PLAN - FOURTH FLOOR - PHASE 2

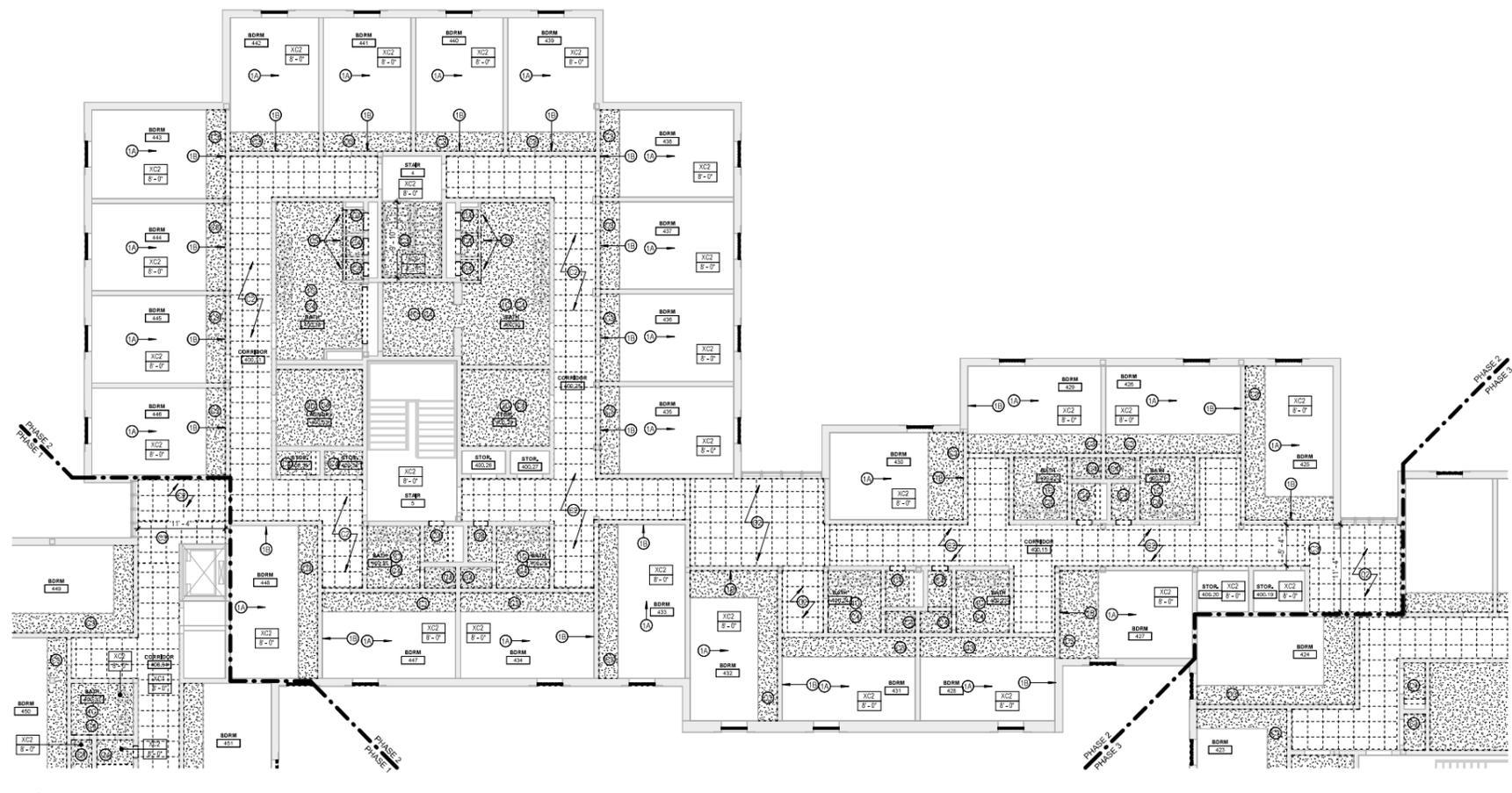
SHEET
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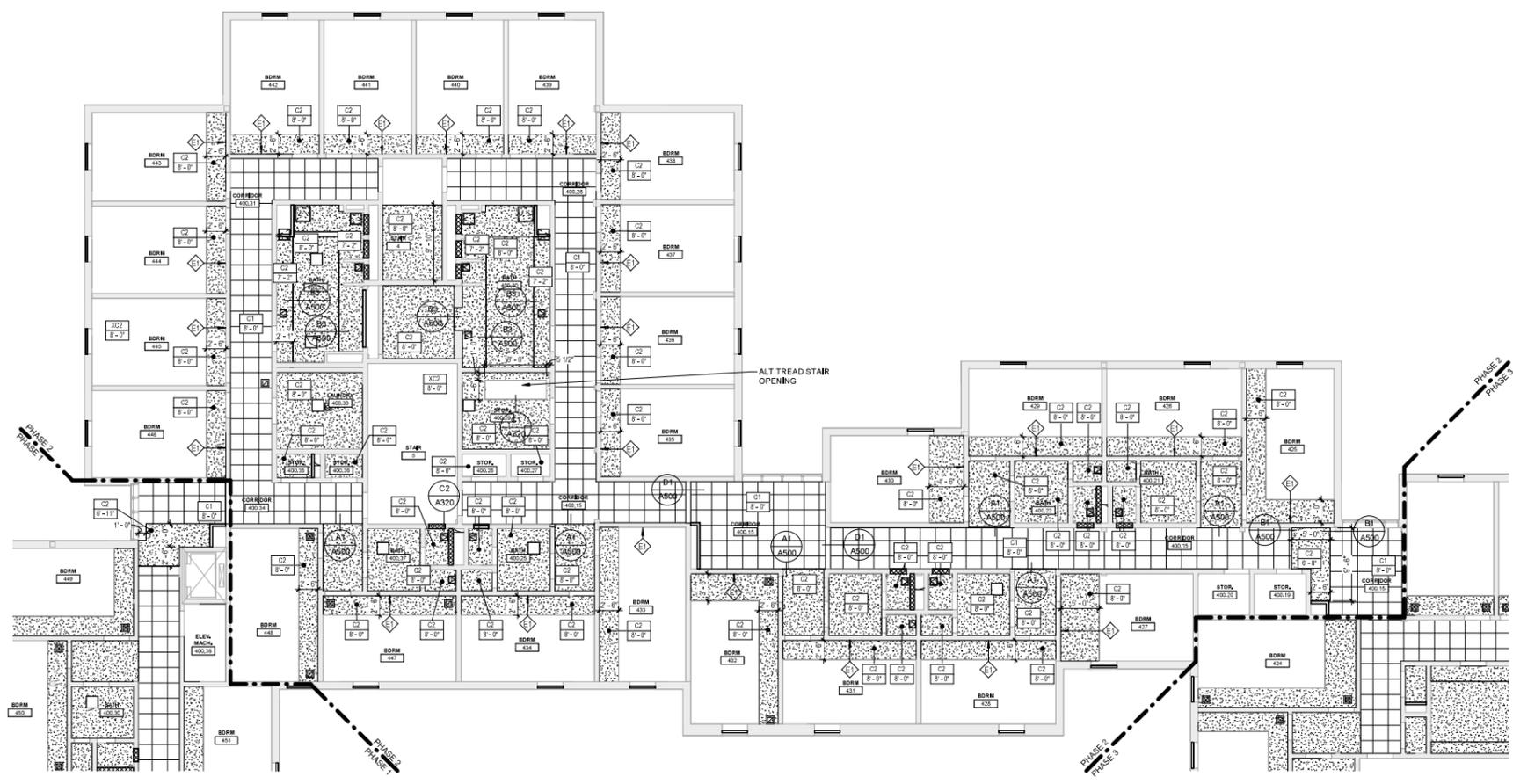
- CEILING DEMOLITION LEGEND**
- EXISTING ACT 2 x 2 TO BE DEMOLISHED ACOUSTIC CEILING TILE
 - EXISTING GYPSUM BOARD TO BE DEMOLISHED ON METAL STUD CEILING
 - NEW WALL
 - DEMOLISHED WALL

- CEILING TYPES**
- C1 2' x 2' ACOUSTIC CEILING TILE
 - XC1 EXISTING TO DEMOLISH 2' x 2' ACOUSTIC CEILING TILE
 - C2 GYPSUM BOARD ON METAL STUD CEILING
 - XC2 EXISTING GYPSUM BOARD ON METAL STUD CEILING
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 - XUF EXISTING UNFINISHED

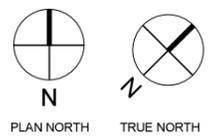
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 - CF → CEILING TYPE
 - 8'-0" → CEILING HEIGHT

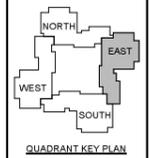


B1 FOURTH FLOOR DEMO REFLECTED CEILING PLAN - PHASE 2
1/8" = 1'-0"



A1 FOURTH FLOOR REFLECTED CEILING PLAN - PHASE 2
1/8" = 1'-0"





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TITLE
 REFLECTED CEILING
 PLAN AND DEMO
 PLAN - FIRST FLOOR
 - PHASE 3

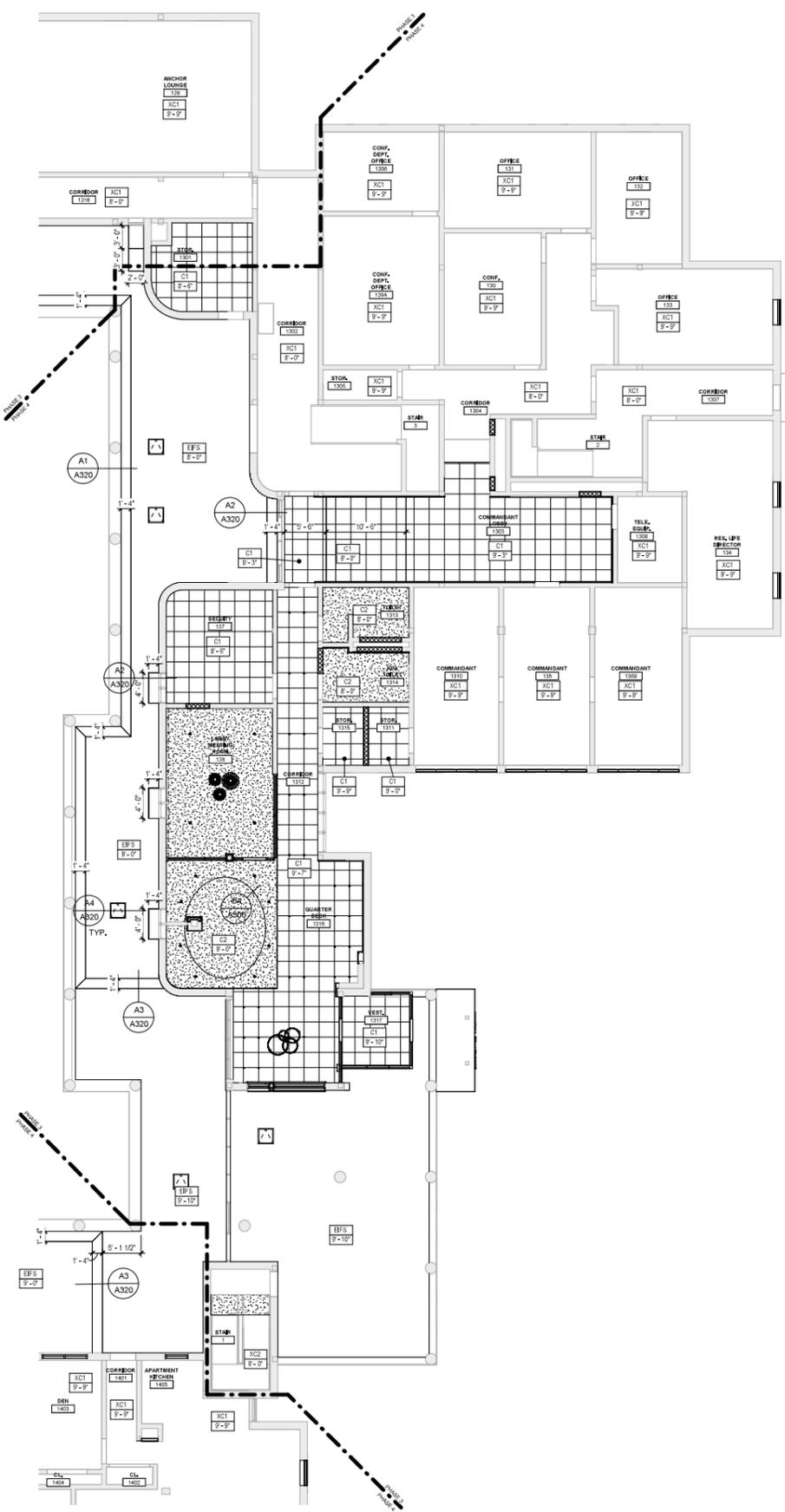
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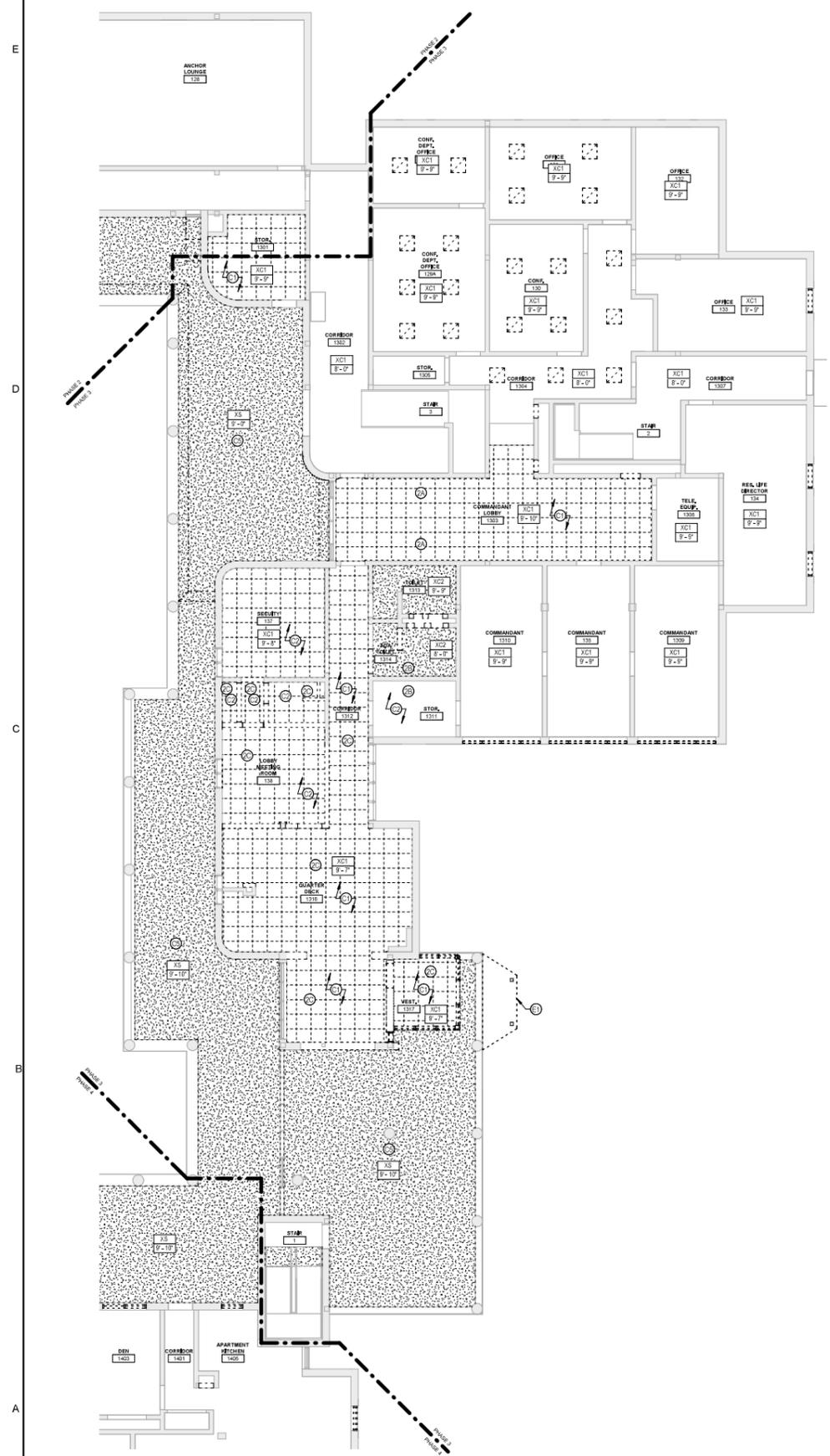
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 - C3 EXTERIOR MTL CLG PANEL
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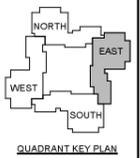
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 - CLG ← CEILING TYPE
 - 8'-0" ← CEILING HEIGHT



(A1) FIRST FLOOR REFLECTED CEILING PLAN - PHASE 3
 1/8" = 1'-0"



(A2) FIRST FLOOR DEMO REFLECTED CEILING PLAN - PHASE 3
 1/8" = 1'-0"



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TITLE
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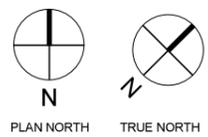
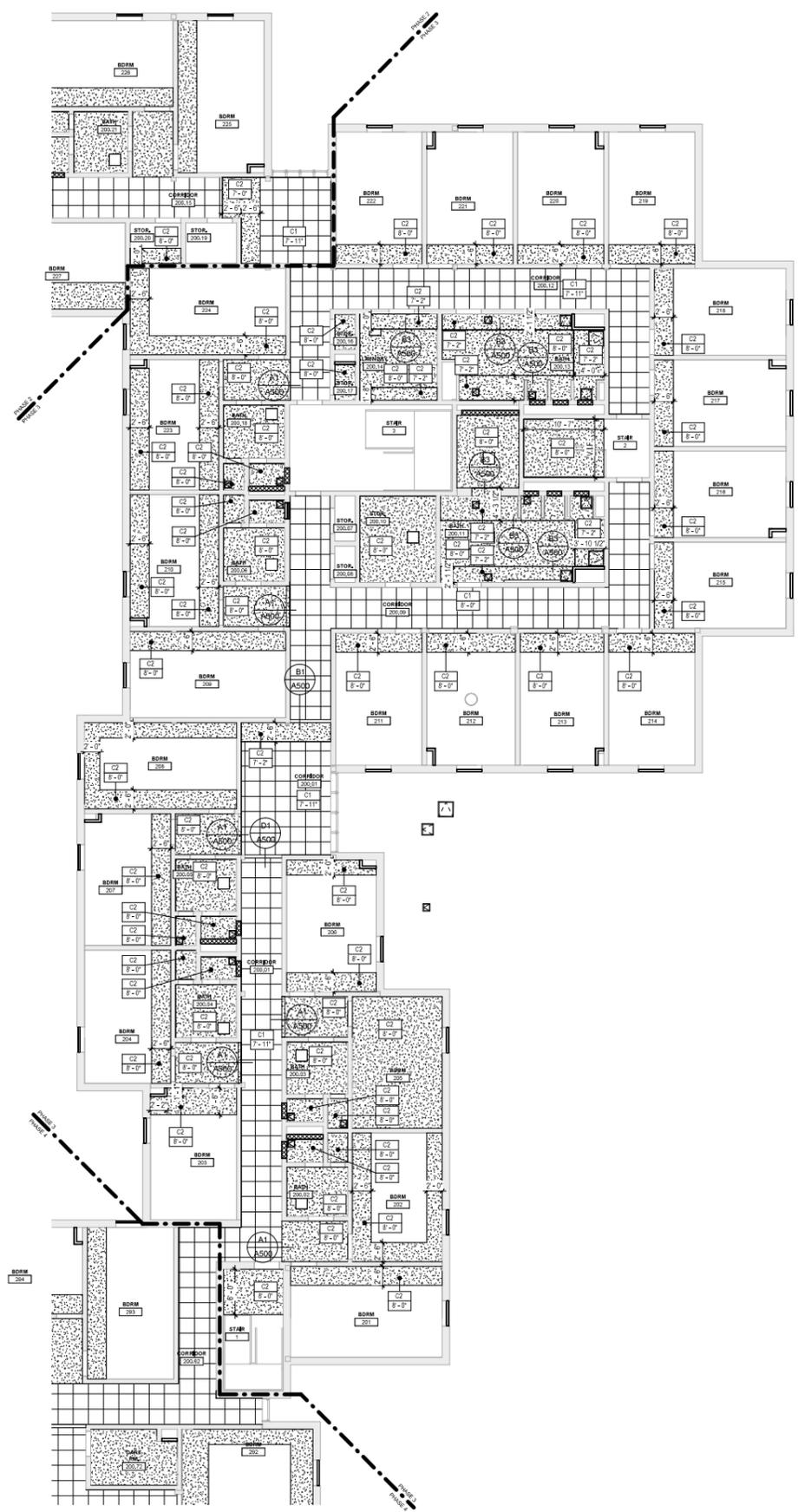
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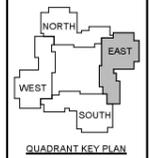
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 - DEMOLISHED WALL

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- C1 2' x 2' ACOUSTIC CEILING TILE
 - XC1 EXISTING TO DEMOLISH 2' x 2' ACOUSTIC CEILING TILE
 - C2 GYPSUM BOARD ON METAL STUD CEILING
 - XC2 EXISTING GYPSUM BOARD ON METAL STUD CEILING
 - C3 EXTERIOR MTL CLG PANEL
 - XUF EXISTING UNFINISHED

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 - CE# ← CEILING TYPE
 - 8'-0" ← CEILING HEIGHT





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TITLE
REFLECTED CEILING PLAN AND DEMO PLAN - THIRD FLOOR - PHASE 3

SHEET

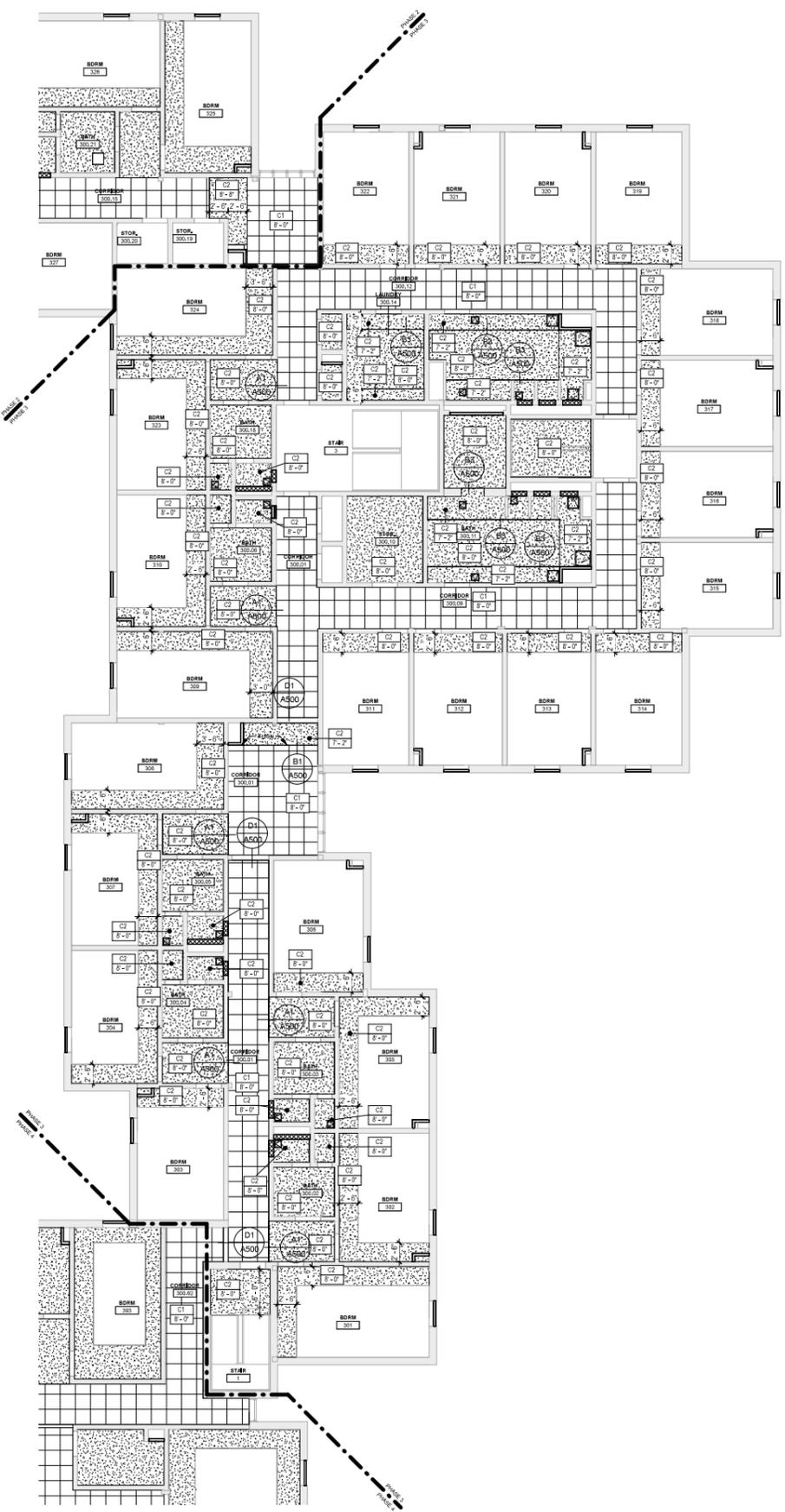
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 3. ALL COMPONENTS MOUNTED IN OR BELOW A SUSPENDED ACUSTIC CEILING SHALL BE CENTERED IN THE CEILING TILE OR IN THE 2X2 PORTION OF REGULAR CEILING TILES, UNLESS NOTED OTHERWISE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, LIGHT FIXTURES, DIFFUSERS, SPEAKERS, SMOKE DETECTORS, AND SPRINKLER HEADS.
 4. PRIOR TO THE INSTALLATION OF CEILINGS, ALLOW FOR AN ABOVE-CEILING INSPECTION OF COMPONENTS THAT WILL NOT BE VISIBLE WHEN THE CEILINGS HAVE BEEN INSTALLED, INCLUDING INSPECTION OF FIRE, SMOKE, AND ACOUSTICAL SEPARATIONS.
 5. REFER TO ELECTRICAL DRAWINGS FOR LIGHTING FIXTURE INFORMATION.

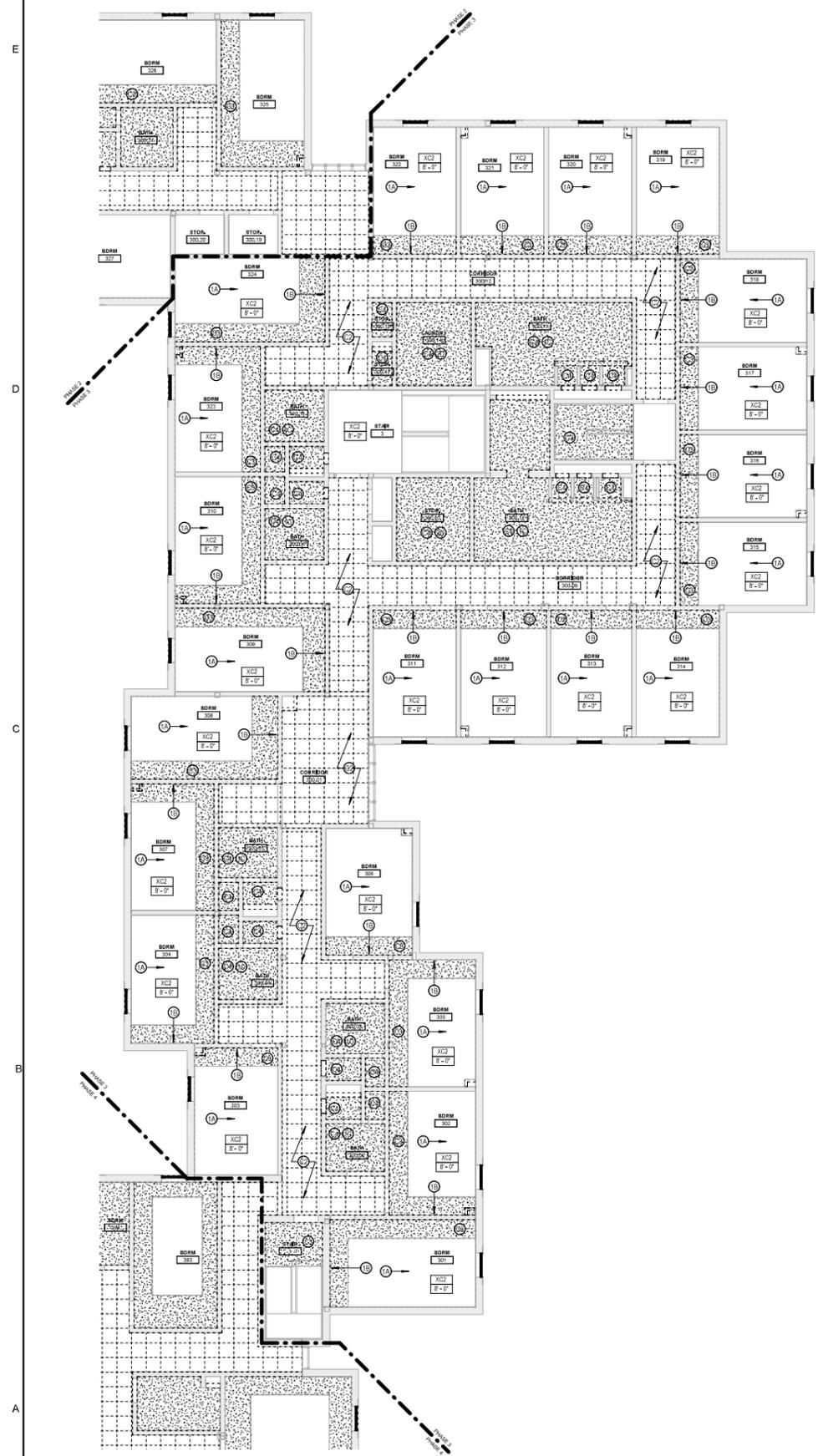
- CEILING DEMOLITION LEGEND**
- EXISTING ACT 2' x 2' TO BE DEMOLISHED ACUSTIC CEILING TILE
 - EXISTING GYPSUM BOARD TO BE DEMOLISHED ON METAL STUD CEILING
 - NEW WALL
 - DEMOLISHED WALL

- CEILING TYPES**
- C1 2' x 2' ACUSTIC CEILING TILE
 - XC1 EXISTING TO DEMOLISH 2' x 2' ACUSTIC CEILING TILE
 - C2 GYPSUM BOARD ON METAL STUD CEILING
 - XC2 EXISTING GYPSUM BOARD ON METAL STUD CEILING
 - C3 EXTERIOR MTL CLG PANEL
 - XUF EXISTING UNFINISHED

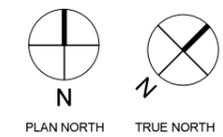
- CEILING LEGEND**
- CLG ACCESS HATCH. CONTRACTOR TO CONFIRM FINAL LOCATIONS. 24"x24" EXTERIOR LOCATIONS SHALL HAVE INSULATED PANEL (DETAIL AKA320). 24"x24", 18"x18", 12"x12"-INTERIOR LOCATIONS PER DETAIL B2/A500-COORD SIZE W/ MEP DWGS.
 - CE# - CEILING TYPE
 - 8'-0" - CEILING HEIGHT



A1 THIRD FLOOR REFLECTED CEILING PLAN - PHASE 3
1/8" = 1'-0"



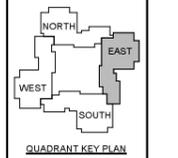
A2 THIRD FLOOR DEMO REFLECTED CEILING PLAN - PHASE 3
1/8" = 1'-0"





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CURTIS HALL RENOVATIONS
Maine Maritime Academy,
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JOB NO.
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DOCUMENTS -
ISSUED FOR
BIDDING
11/22/2023

TITLE
REFLECTED CEILING
PLAN AND DEMO
PLAN - FOURTH
FLOOR - PHASE 3

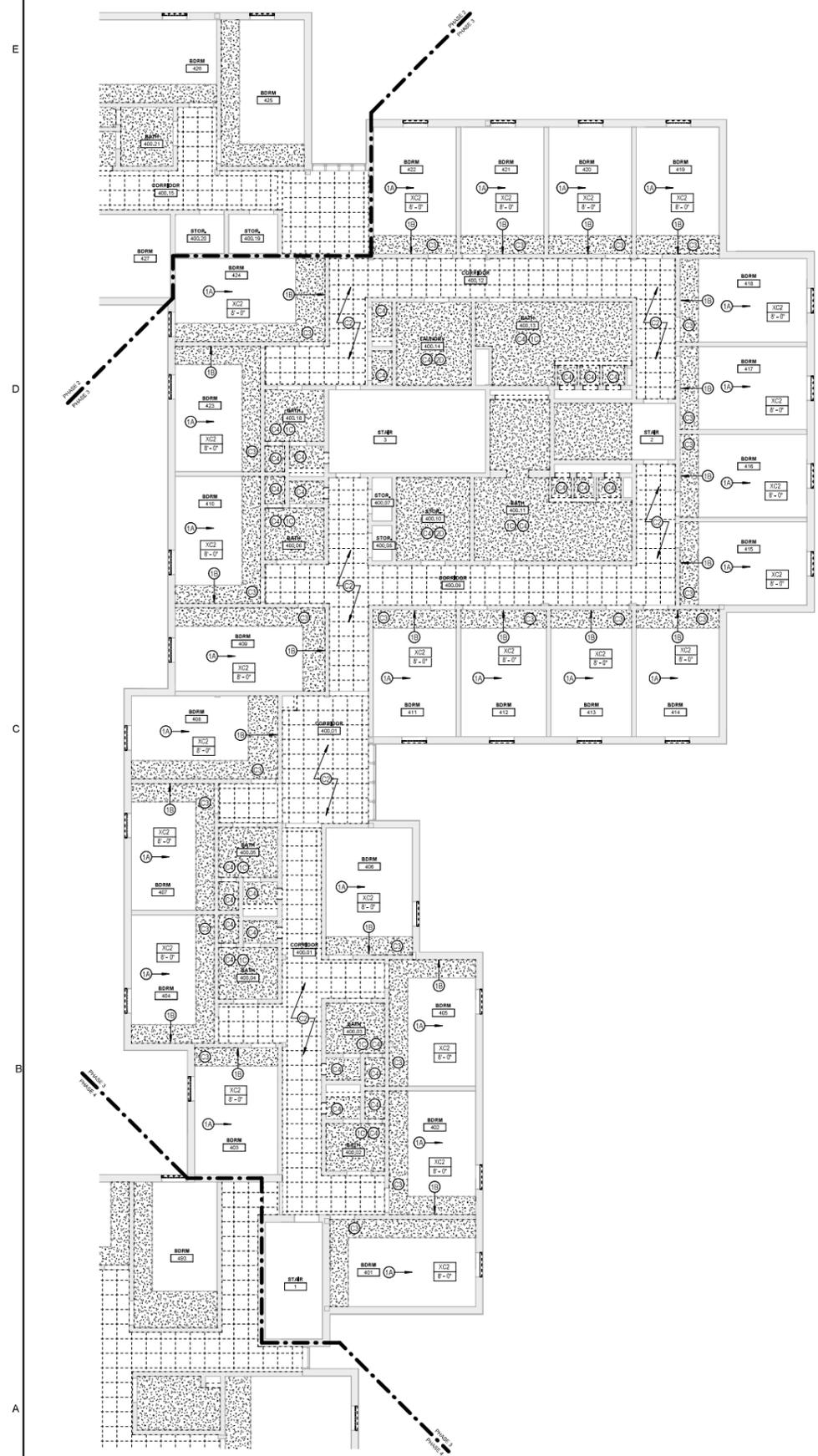
SHEET
A113.4

- CEILING NOTES**
1. CEILING PLANS DO NOT SHOW EVERY FIXTURE OR COMPONENT. REFER TO ELECTRICAL, PLUMBING, MECHANICAL AND STRUCTURAL DRAWINGS FOR EXTENT OF ALL CEILING PENETRATIONS AND INSTALLATIONS AND COORDINATE PRIOR TO INSTALLATION.
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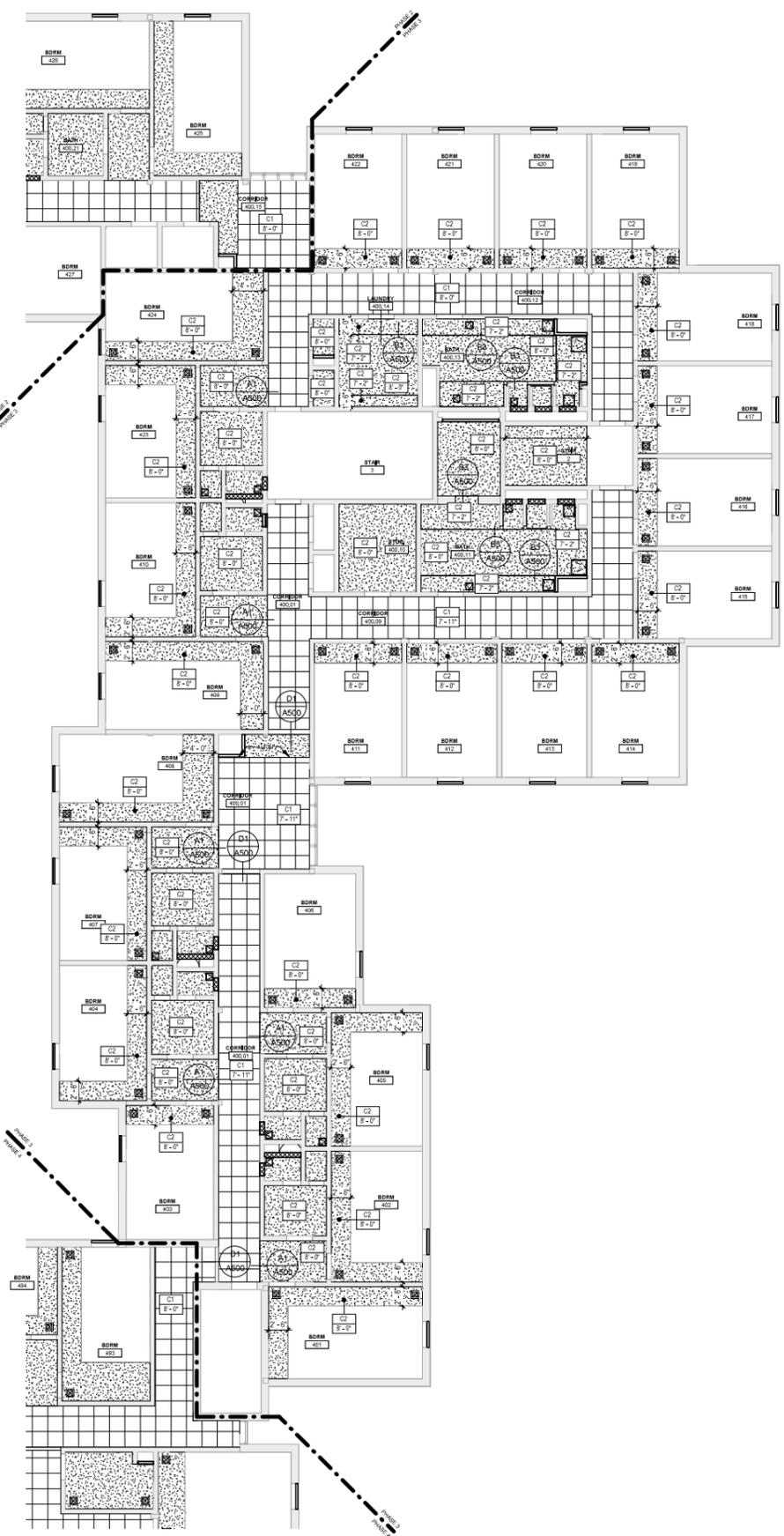
- CEILING DEMOLITION LEGEND**
- EXISTING ACT 2' x 2' TO BE DEMOLISHED ACOUSTIC CEILING TILE
 - EXISTING GYPSUM BOARD TO BE DEMOLISHED ON METAL STUD CEILING
 - NEW WALL
 - DEMOLISHED WALL

- CEILING TYPES**
- C1 2' x 2' ACOUSTIC CEILING TILE
 - XC1 EXISTING TO DEMOLISH 2' x 2' ACOUSTIC CEILING TILE
 - C2 GYPSUM BOARD ON METAL STUD CEILING
 - XC2 EXISTING GYPSUM BOARD ON METAL STUD CEILING
 - C3 EXTERIOR MTL CLG PANEL
 - XUF EXISTING UNFINISHED

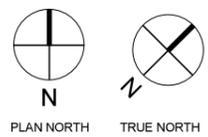
- CEILING LEGEND**
- CLG ACCESS HATCH, CONTRACTOR TO CONFIRM FINAL LOCATIONS
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 - 24"x24", 18"x18", 12"x12" INTERIOR LOCATIONS PER DETAIL B2/A500-COORD SIZE W/ MEP DWGS.
 - CH# ← CEILING TYPE
 - 8'-0" ← CEILING HEIGHT



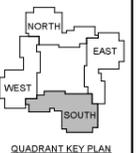
A1 FOURTH FLOOR DEMO REFLECTED CEILING PLAN - PHASE 3
1/8" = 1'-0"



A2 FOURTH FLOOR REFLECTED CEILING PLAN - PHASE 3
1/8" = 1'-0"



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QUADRANT KEY PLAN

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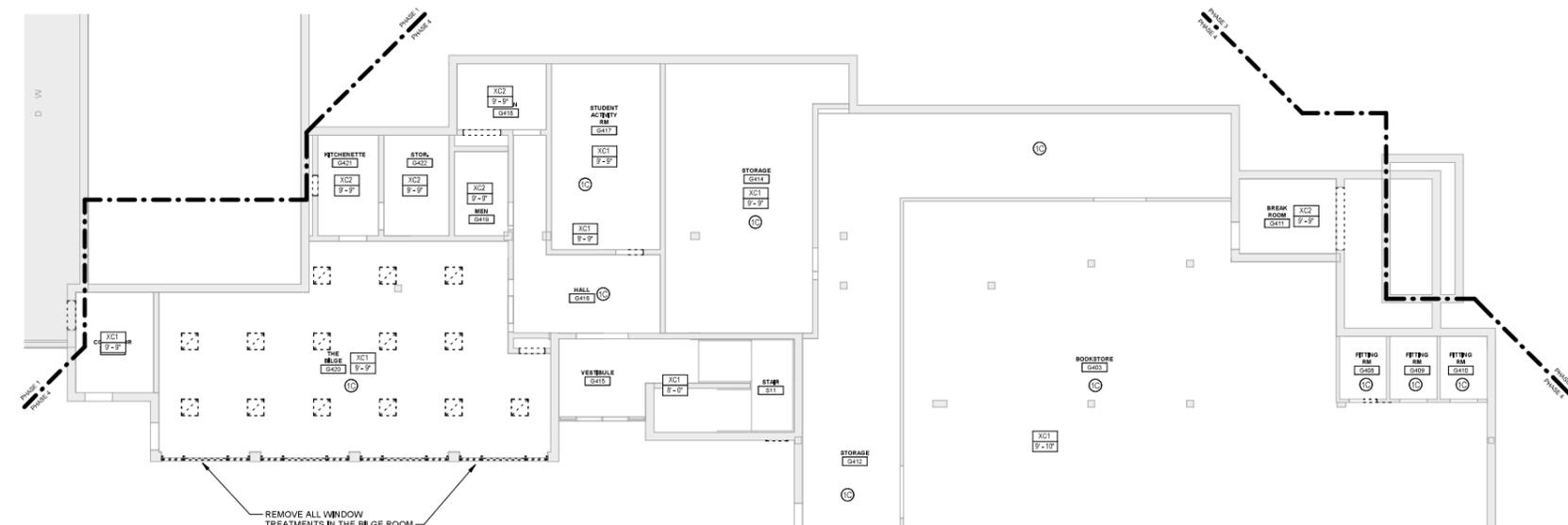
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JOB NO.
078982

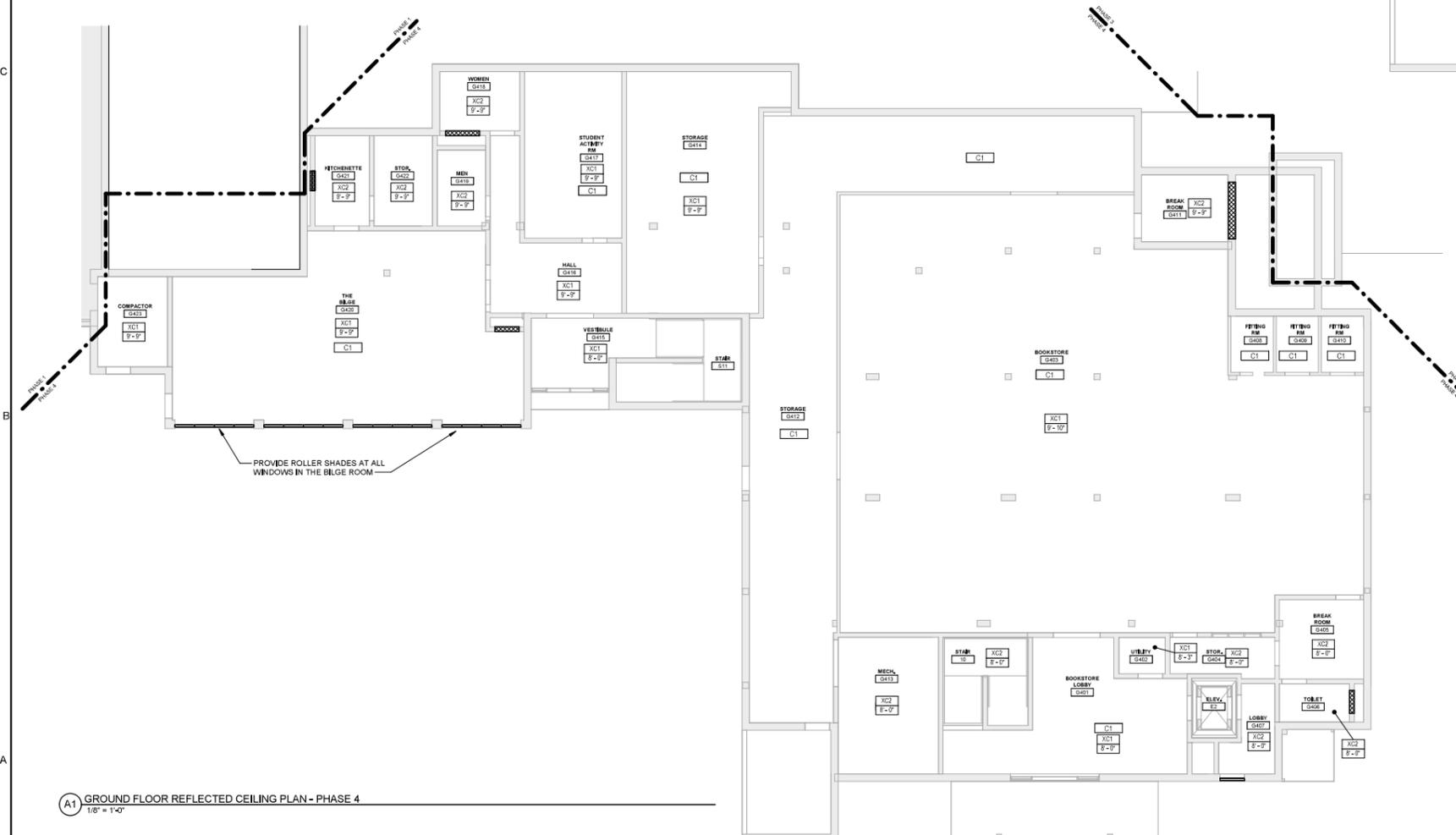
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TITLE
 REFLECTED CEILING PLAN AND DEMO PLAN - GROUND FLOOR - PHASE 4

SHEET
A114.G



B1 GROUND FLOOR DEMO REFLECTED CEILING PLAN - PHASE 4
 1/8" = 1'-0"



A1 GROUND FLOOR REFLECTED CEILING PLAN - PHASE 4
 1/8" = 1'-0"

CEILING DEMOLITION LEGEND

- EXISTING ACT 2' x 2' TO BE DEMOLISHED ACOUSTIC CEILING TILE
- EXISTING GYPSUM BOARD TO BE DEMOLISHED ON METAL STUD CEILING
- NEW WALL
- DEMOLISHED WALL

CEILING NOTES

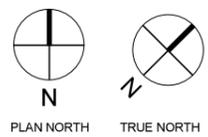
1. CEILING PLANS DO NOT SHOW EVERY FIXTURE OR COMPONENT. REFER TO ELECTRICAL, PLUMBING, MECHANICAL AND STRUCTURAL DRAWINGS FOR EXTENT OF ALL CEILING PENETRATIONS AND INSTALLATIONS AND COORDINATE PRIOR TO INSTALLATION.
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5. REFER TO ELECTRICAL DRAWINGS FOR LIGHTING FEATURE INFORMATION.

CEILING TYPES

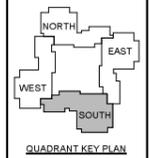
- C1 2' x 2' ACOUSTIC CEILING TILE
- XC1 EXISTING TO DEMOLISH 2' x 2' ACOUSTIC CEILING TILE
- C2 GYPSUM BOARD ON METAL STUD CEILING
- XC2 EXISTING GYPSUM BOARD ON METAL STUD CEILING
- C3 EXTERIOR MTL CLG PANEL
- XUF EXISTING UNFINISHED

CEILING LEGEND

- CLG ACCESS HATCH, CONTRACTOR TO CONFIRM FINAL LOCATIONS.
- 24"x24" EXTERIOR LOCATIONS SHALL HAVE INSULATED PANEL (DETAIL A4/A320)
- 24"x24", 18"x18", 12"x12" INTERIOR LOCATIONS PER DETAIL B2/A500-COORD SIZE W/ MEP DWGS.
- C# CEILING TYPE
- 6'-0" CEILING HEIGHT



PLAN NORTH TRUE NORTH



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TITLE
REFLECTED CEILING PLAN AND DEMO PLAN - FIRST FLOOR - PHASE 4

SHEET
A114.1

- CEILING NOTES**
1. CEILING PLANS DO NOT SHOW EVERY FIXTURE OR COMPONENT. REFER TO ELECTRICAL, PLUMBING, MECHANICAL AND STRUCTURAL DRAWINGS FOR EXTENT OF ALL CEILING PENETRATIONS AND INSTALLATIONS AND COORDINATE PRIOR TO INSTALLATION.
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 5. REFER TO ELECTRICAL DRAWINGS FOR LIGHTING FIXTURE INFORMATION.

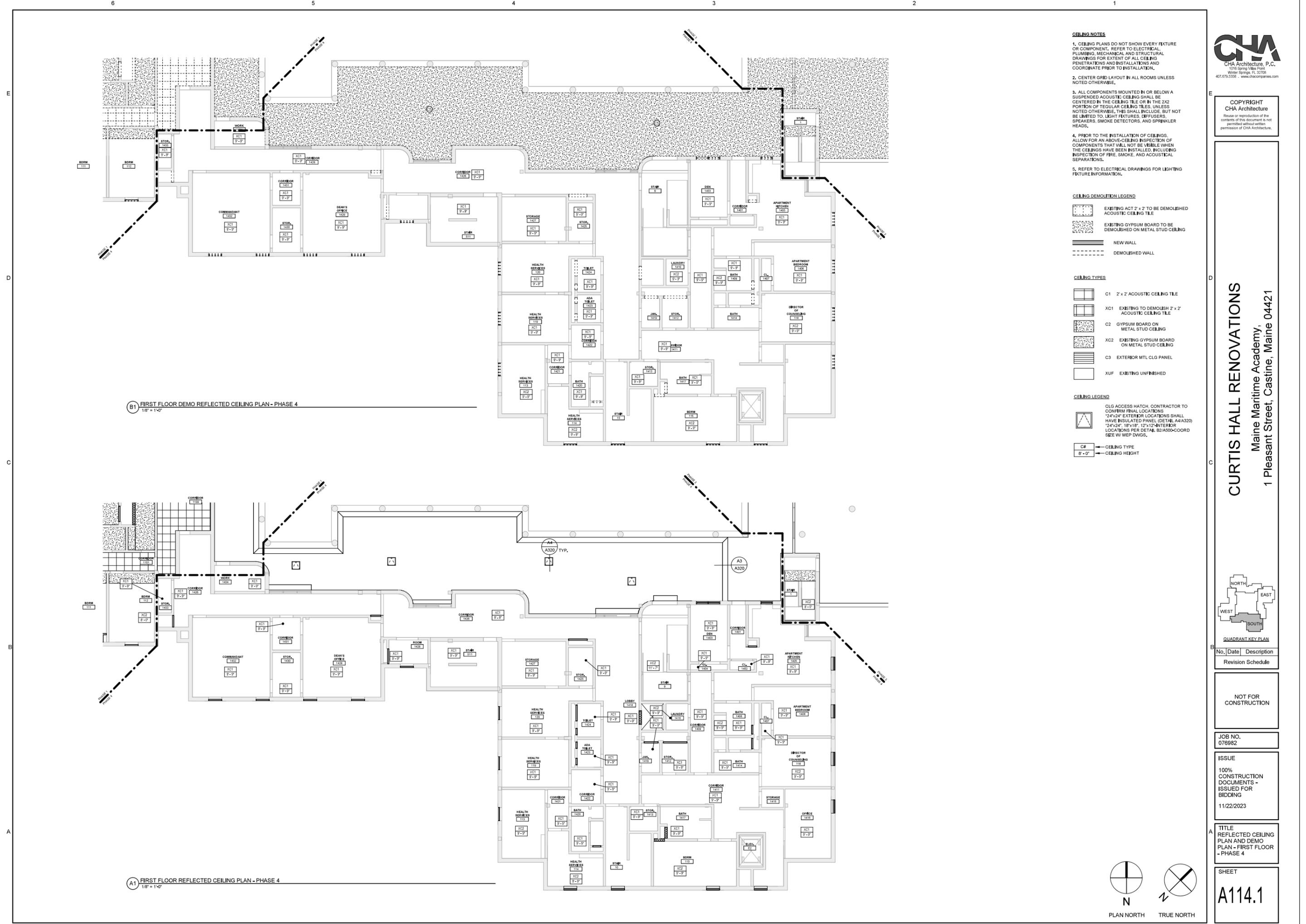
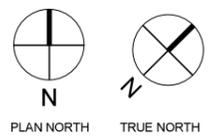
- CEILING DEMOLITION LEGEND**
- EXISTING ACT 2' x 2' TO BE DEMOLISHED ACOUSTIC CEILING TILE
 - EXISTING GYPSUM BOARD TO BE DEMOLISHED ON METAL STUD CEILING
 - NEW WALL
 - DEMOLISHED WALL

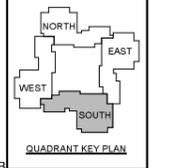
- CEILING TYPES**
- C1 2' x 2' ACOUSTIC CEILING TILE
 - XC1 EXISTING TO DEMOLISH 2' x 2' ACOUSTIC CEILING TILE
 - C2 GYPSUM BOARD ON METAL STUD CEILING
 - XC2 EXISTING GYPSUM BOARD ON METAL STUD CEILING
 - C3 EXTERIOR MTL CLG PANEL
 - XUF EXISTING UNFINISHED

- CEILING LEGEND**
- CLG ACCESS HATCH, CONTRACTOR TO CONFIRM FINAL LOCATIONS
 - "24"x24" EXTERIOR LOCATIONS SHALL HAVE INSULATED PANEL (DETAIL A4/A320)
 - "24"x24" 18"x18" 12"x12" INTERIOR LOCATIONS PER DETAIL B2/A500-COORD SIZE W/ MEP DWGS.
 - CH ← CEILING TYPE
 - 8'-0" ← CEILING HEIGHT

B1 FIRST FLOOR DEMO REFLECTED CEILING PLAN - PHASE 4
1/8" = 1'-0"

A1 FIRST FLOOR REFLECTED CEILING PLAN - PHASE 4
1/8" = 1'-0"





No.	Date	Description
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TITLE
 REFLECTED CEILING PLAN AND DEMO PLAN - SECOND FLOOR - PHASE 4

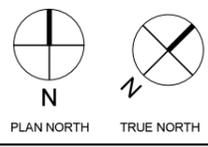
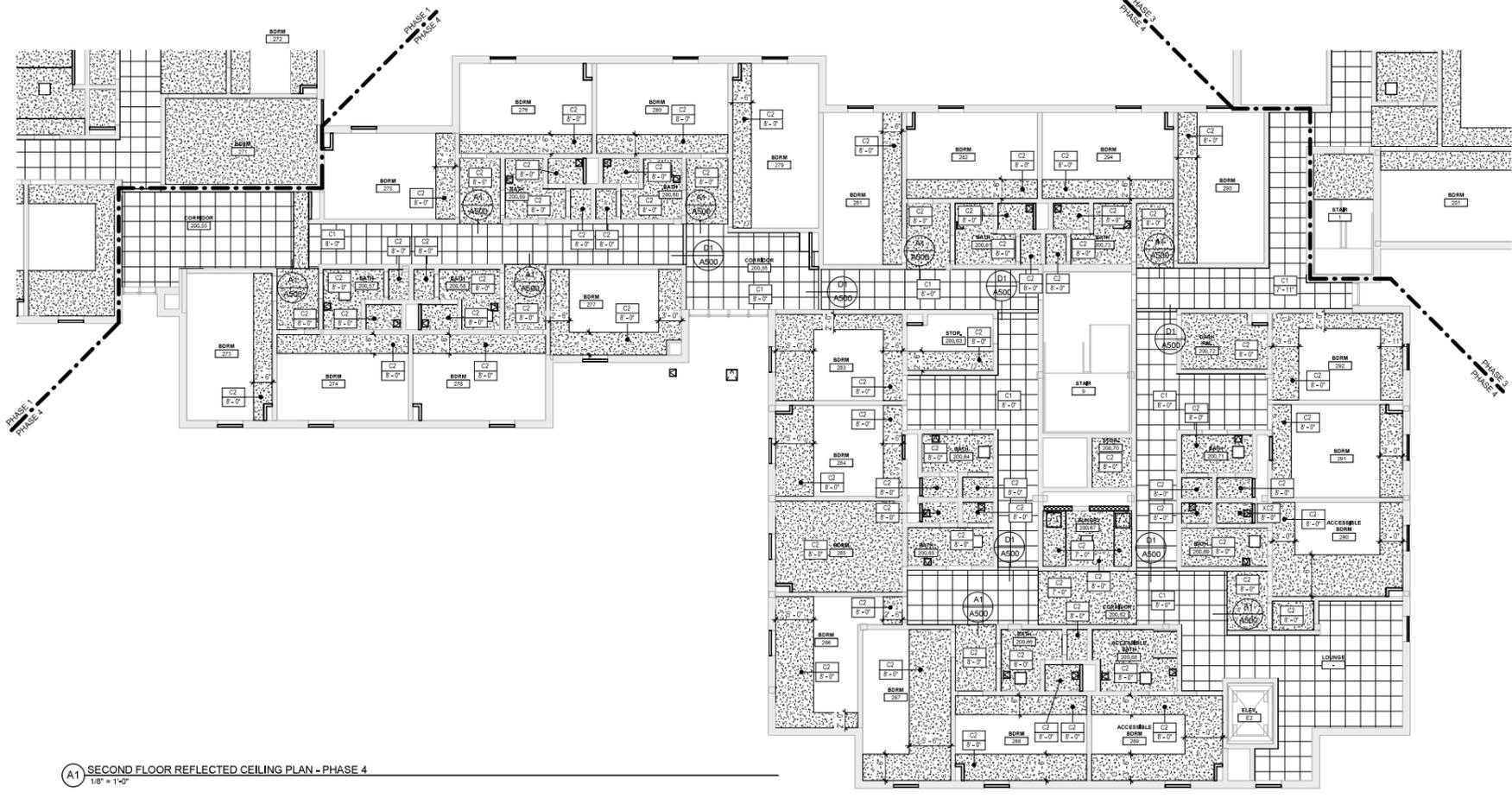
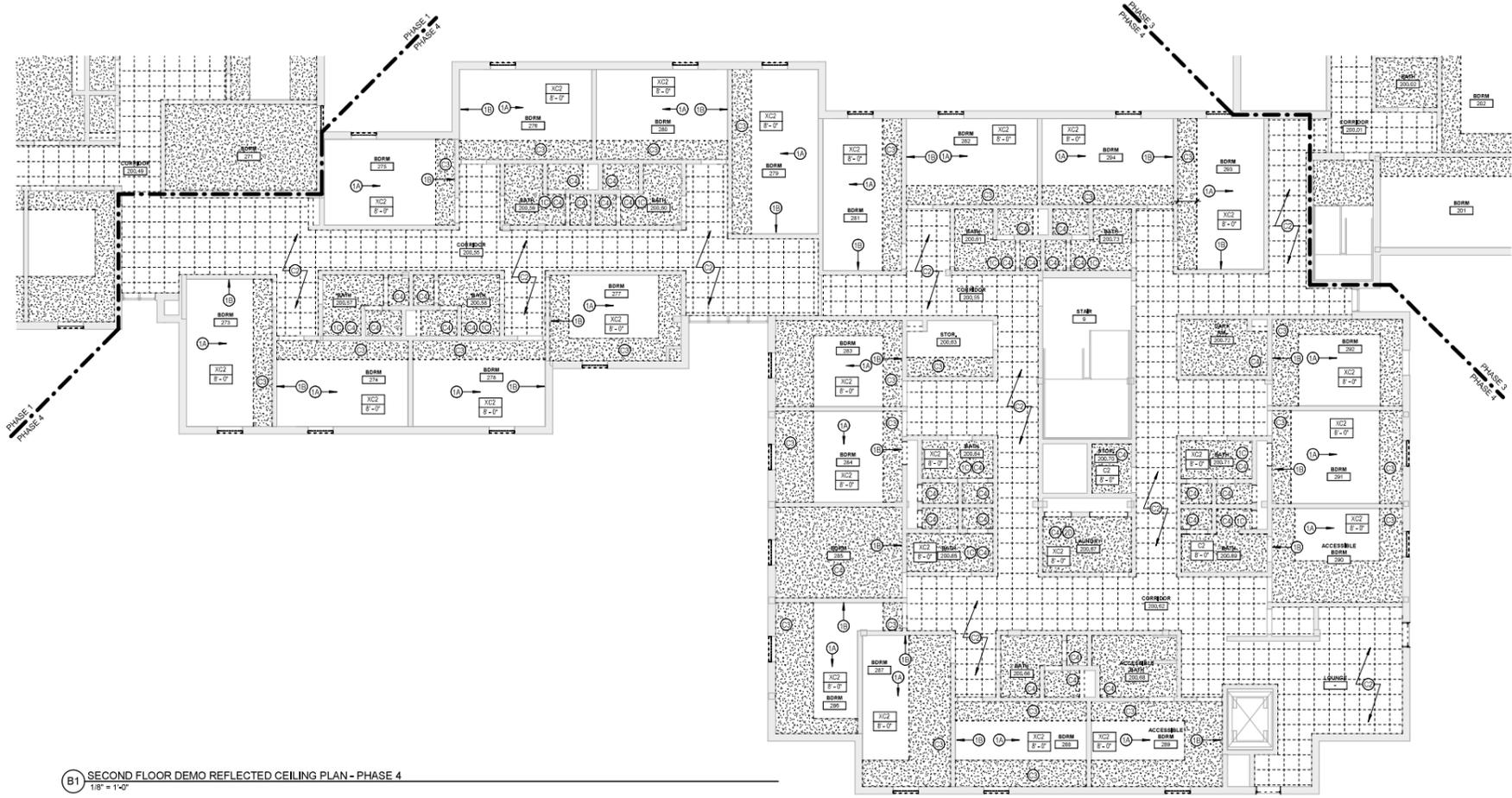
SHEET
A114.2

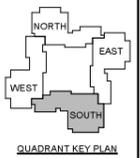
- CEILING NOTES**
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 4. PRIOR TO THE INSTALLATION OF CEILINGS, ALLOW FOR AN ABOVE-CEILING INSPECTION OF COMPONENTS THAT WILL NOT BE VISIBLE WHEN THE CEILINGS HAVE BEEN INSTALLED, INCLUDING INSPECTION OF FIRE, SMOKE, AND ACOUSTICAL SEPARATIONS.
 5. REFER TO ELECTRICAL DRAWINGS FOR LIGHTING FIXTURE INFORMATION.

- CEILING DEMOLITION LEGEND**
- EXISTING ACT 2' x 2' TO BE DEMOLISHED ACOUSTIC CEILING TILE
 - EXISTING GYPSUM BOARD TO BE DEMOLISHED ON METAL STUD CEILING
 - NEW WALL
 - DEMOLISHED WALL

- CEILING TYPES**
- C1 2' x 2' ACOUSTIC CEILING TILE
 - XC1 EXISTING TO DEMOLISH 2' x 2' ACOUSTIC CEILING TILE
 - C2 GYPSUM BOARD ON METAL STUD CEILING
 - XC2 EXISTING GYPSUM BOARD ON METAL STUD CEILING
 - C3 EXTERIOR MTL CLG PANEL
 - XUF EXISTING UNFINISHED

- CEILING LEGEND**
- CLG ACCESS HATCH, CONTRACTOR TO CONFIRM FINAL LOCATIONS
 - 2'4"x2'4" EXTERIOR LOCATIONS SHALL HAVE INSULATED PANEL (DETAIL A4/A320)
 - 2'4"x2'4", 10"x10", 12"x12" INTERIOR LOCATIONS PER DETAIL B2/A500-COORD SIZE W/ MEP DWGS.
 - CE ← CEILING TYPE
 - 8'-0" ← CEILING HEIGHT





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TITLE
REFLECTED CEILING PLAN AND DEMO PLAN - THIRD FLOOR - PHASE 4

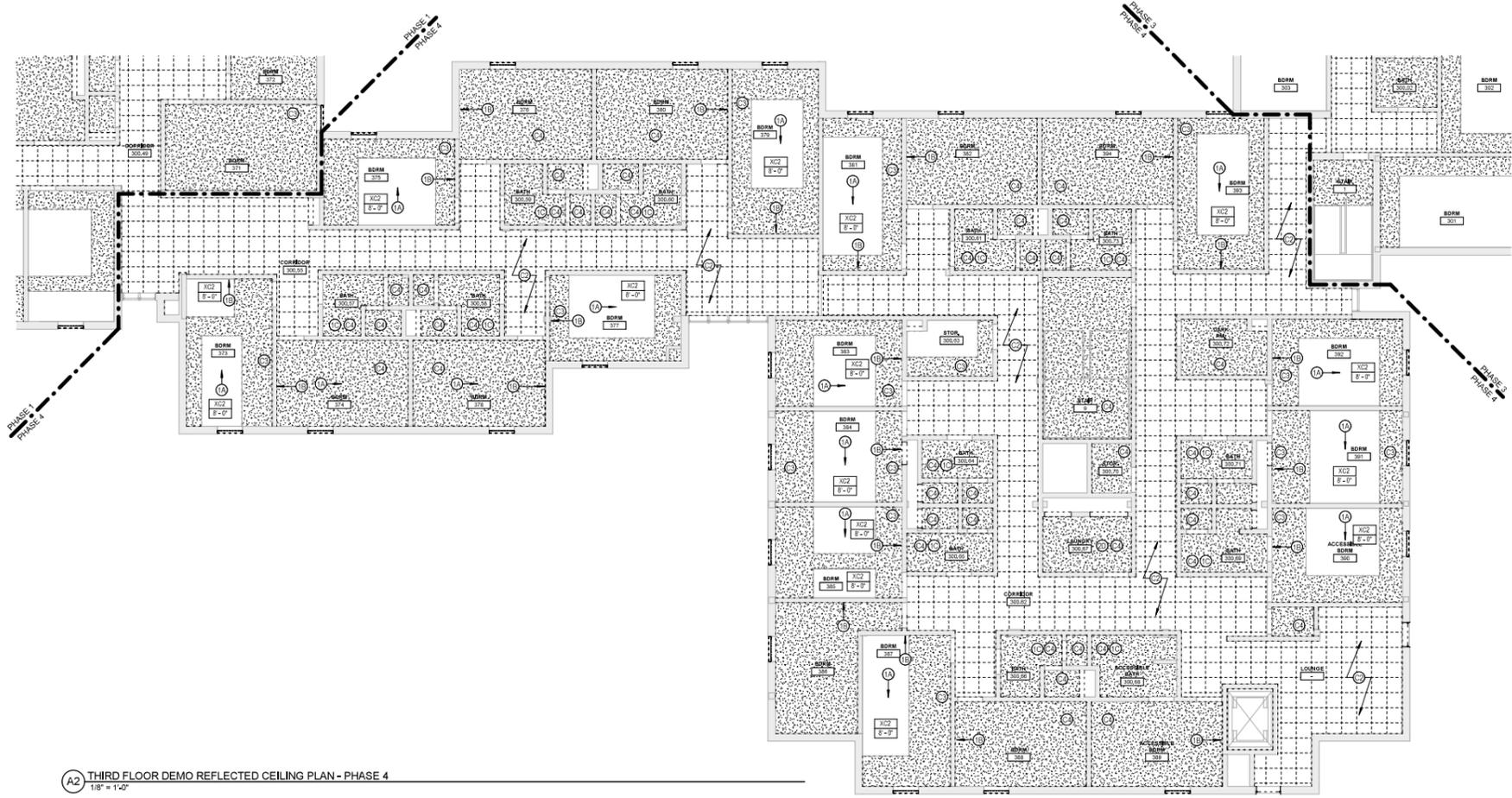
SHEET
A114.3

- CEILING NOTES**
1. CEILING PLANS DO NOT SHOW EVERY FIXTURE OR COMPONENT. REFER TO ELECTRICAL, PLUMBING, MECHANICAL AND STRUCTURAL DRAWINGS FOR EXTENT OF ALL CEILING PENETRATIONS AND INSTALLATIONS AND COORDINATE PRIOR TO INSTALLATION.
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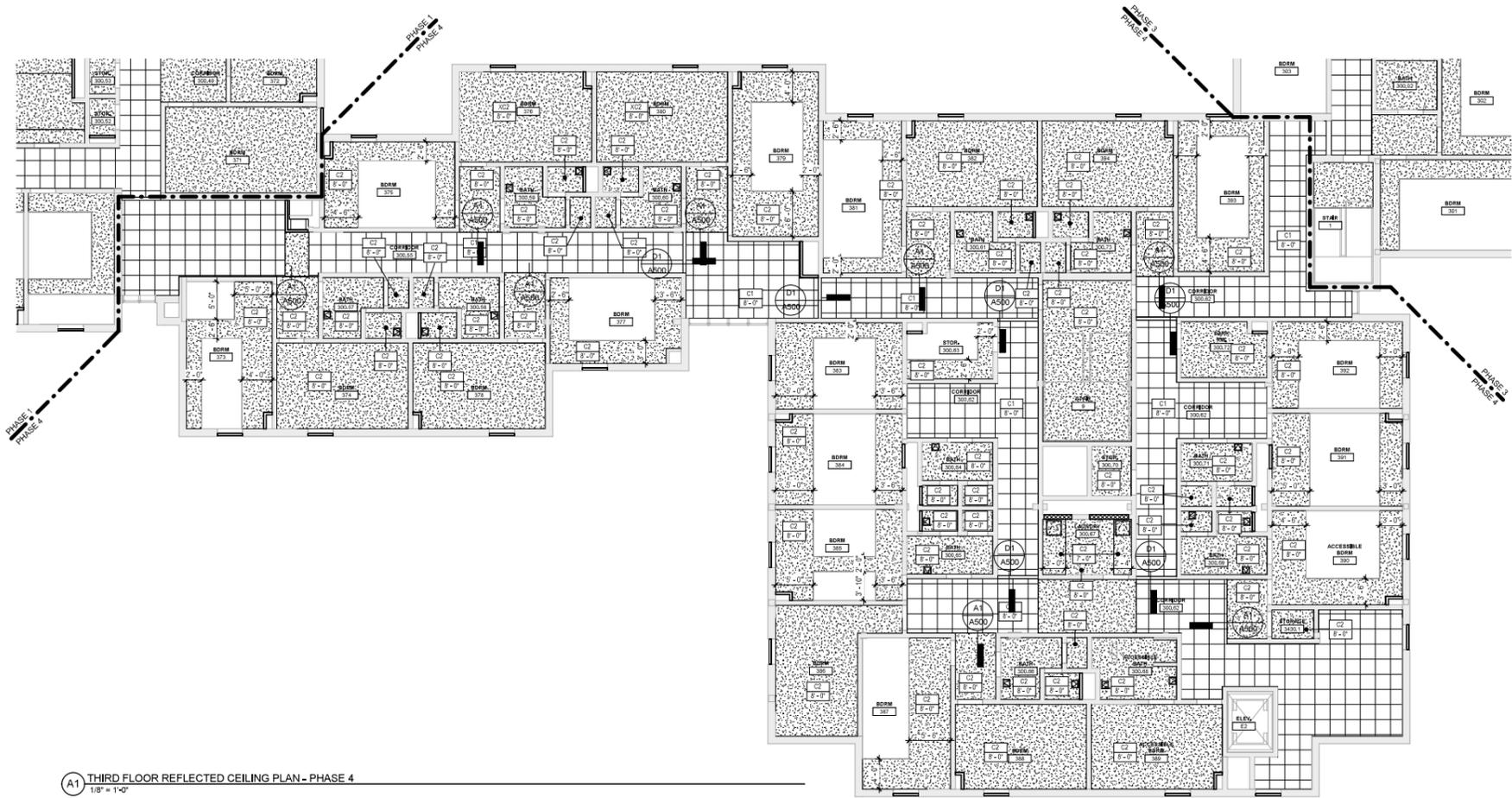
- CEILING DEMOLITION LEGEND**
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 - EXISTING GYPSUM BOARD TO BE DEMOLISHED ON METAL STUD CEILING
 - NEW WALL
 - DEMOLISHED WALL

- CEILING TYPES**
- C1 2' x 2' ACOUSTIC CEILING TILE
 - XC1 EXISTING TO DEMOLISH 2' x 2' ACOUSTIC CEILING TILE
 - C2 GYPSUM BOARD ON METAL STUD CEILING
 - XC2 EXISTING GYPSUM BOARD ON METAL STUD CEILING
 - C3 EXTERIOR MTL CLG PANEL
 - XUF EXISTING UNFINISHED

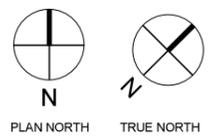
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 - CE ← CEILING TYPE
 - 8'-0" ← CEILING HEIGHT

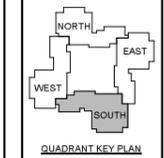


A2 THIRD FLOOR DEMO REFLECTED CEILING PLAN - PHASE 4
1/8" = 1'-0"



A1 THIRD FLOOR REFLECTED CEILING PLAN - PHASE 4
1/8" = 1'-0"





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TITLE
REFLECTED CEILING
PLAN AND DEMO
PLAN - FOURTH
FLOOR - PHASE 4

SHEET
A114.4

CEILING NOTES

1. CEILING PLANS DO NOT SHOW EVERY FEATURE OR COMPONENT. REFER TO ELECTRICAL, PLUMBING, MECHANICAL AND STRUCTURAL DRAWINGS FOR EXTENT OF ALL CEILING PENETRATIONS AND INSTALLATIONS AND COORDINATE PRIOR TO INSTALLATION.
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CEILING DEMOLITION LEGEND

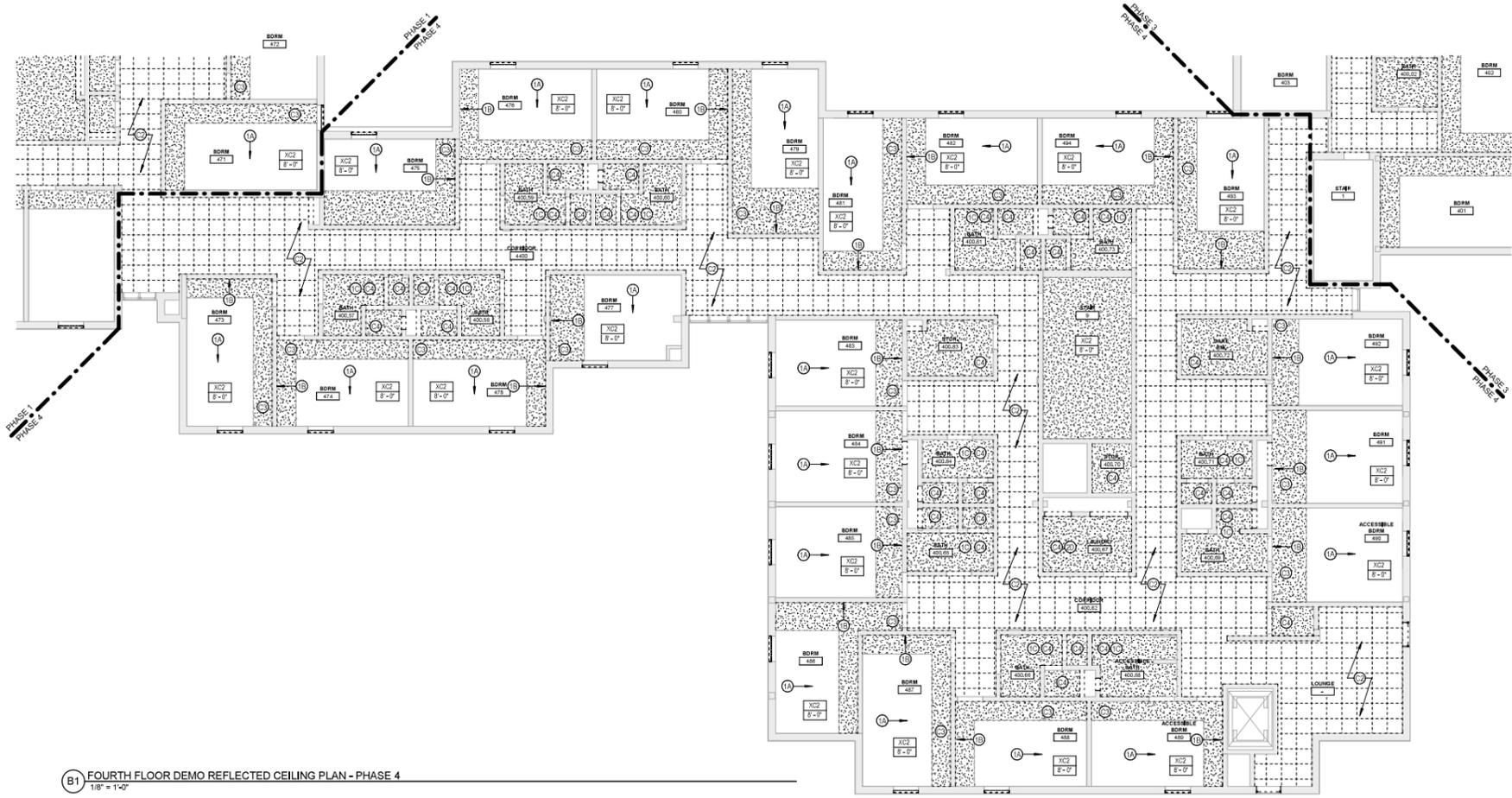
- EXISTING 2' x 2' TO BE DEMOLISHED ACOUSTIC CEILING TILE
- EXISTING GYPSUM BOARD TO BE DEMOLISHED ON METAL STUD CEILING
- NEW WALL
- DEMOLISHED WALL

CEILING TYPES

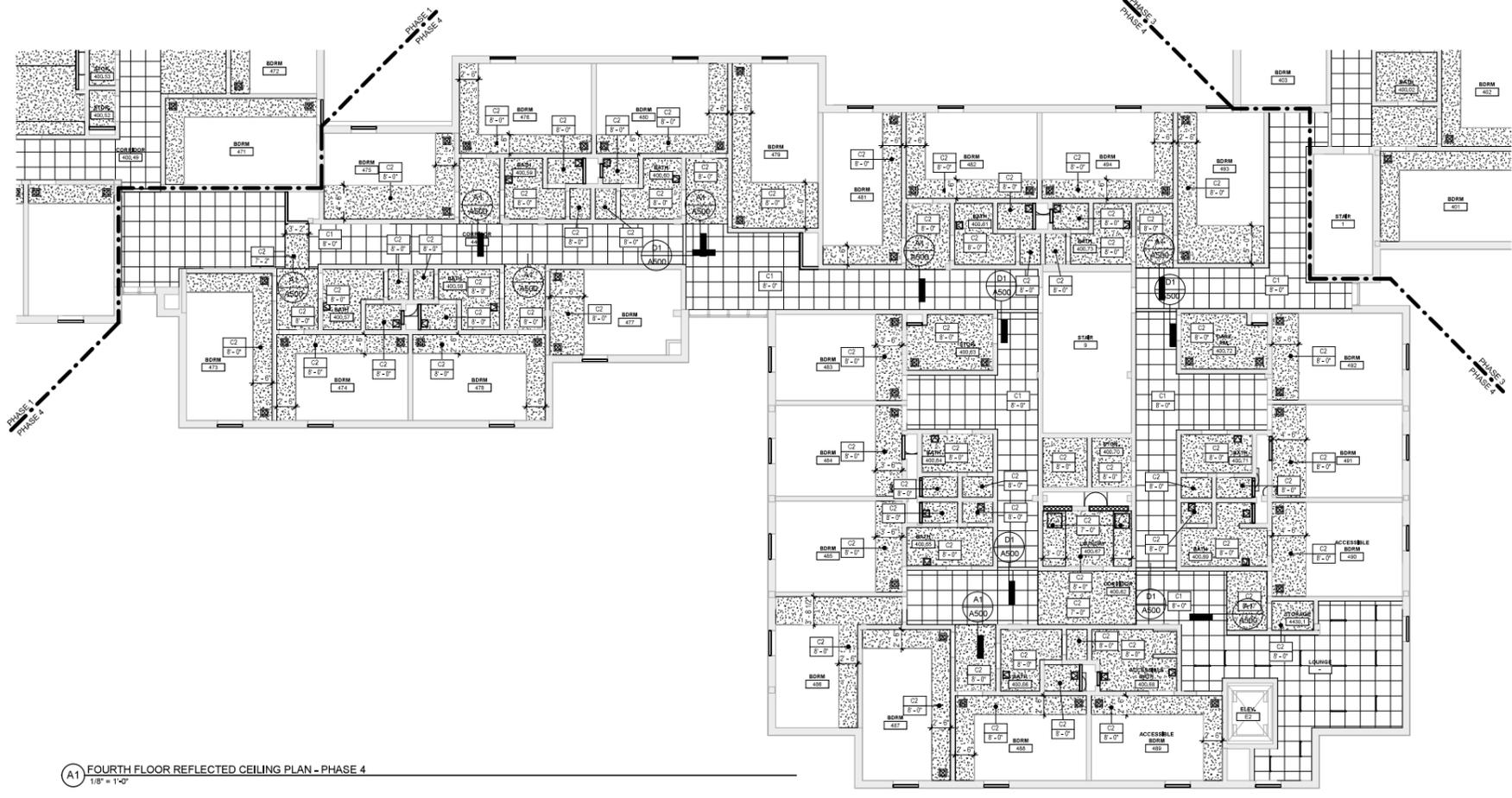
- C1 2' x 2' ACOUSTIC CEILING TILE
- XC1 EXISTING TO DEMOLISH 2' x 2' ACOUSTIC CEILING TILE
- C2 GYPSUM BOARD ON METAL STUD CEILING
- XC2 EXISTING GYPSUM BOARD ON METAL STUD CEILING
- C3 EXTERIOR MTL CLG PANEL
- XUF EXISTING UNFINISHED

CEILING LEGEND

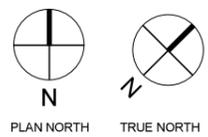
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- CEILING TYPE
- CEILING HEIGHT



B1 FOURTH FLOOR DEMO REFLECTED CEILING PLAN - PHASE 4
 1/8" = 1'-0"

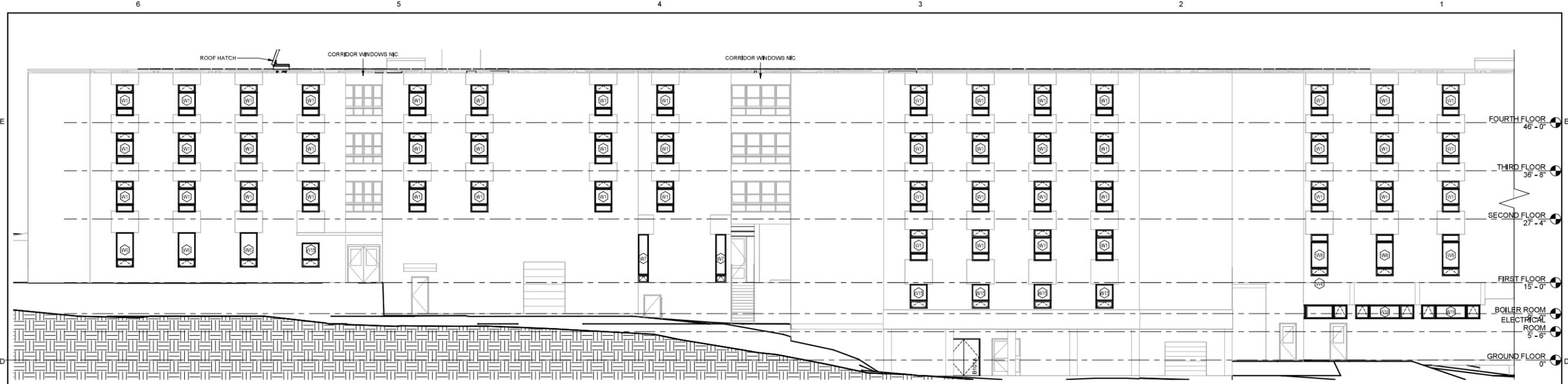


A1 FOURTH FLOOR REFLECTED CEILING PLAN - PHASE 4
 1/8" = 1'-0"

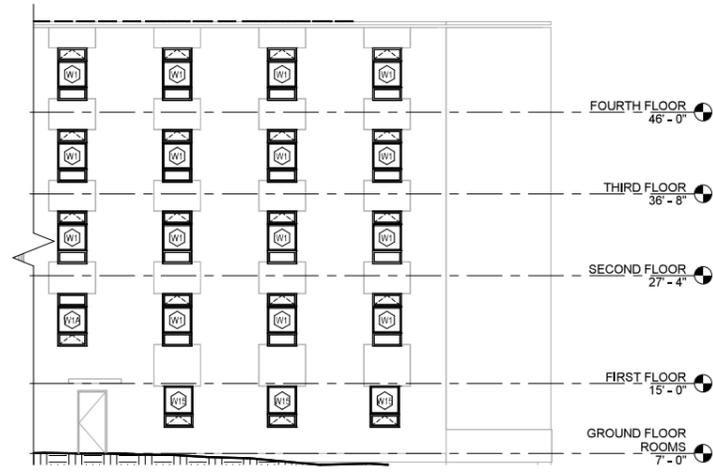


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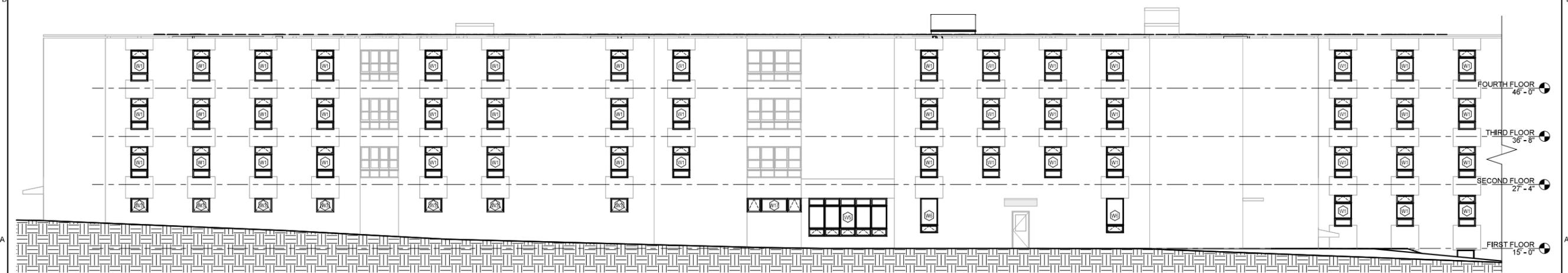
C1 WEST ELEVATION A
1/8" = 1'-0"



B2 NORTH ELEVATION B
1/8" = 1'-0"



B1 WEST ELEVATION B
1/8" = 1'-0"



A1 NORTH ELEVATION A
1/8" = 1'-0"

- GENERAL ELEVATION NOTES**
1. EXISTING VINYL REPLACEMENT WINDOWS ARE TO REMAIN.
 2. EXISTING STEEL WINDOWS ARE TO BE REPLACED, BUT FRAME ATTACHED TO MASONRY OPENING IS TO REMAIN IN PLACE, U.N.C.
 3. EXISTING EXTERIOR OUTER PERIMETER DOORS ARE TO REMAIN, U.N.C.
 4. NOT ALL MEP ITEMS ARE SHOWN ON ELEVATIONS. COORDINATE WITH MEP DRAWINGS FOR ADDITIONAL WORK TO FACADE INCLUDING WALL VENT CAPS.
 5. UNTAGGED WINDOWS AND DOORS ARE NOT IN SCOPE.

No.	Date	Description
Revision Schedule		

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078982

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TITLE
EXTERIOR ELEVATIONS

SHEET
A200

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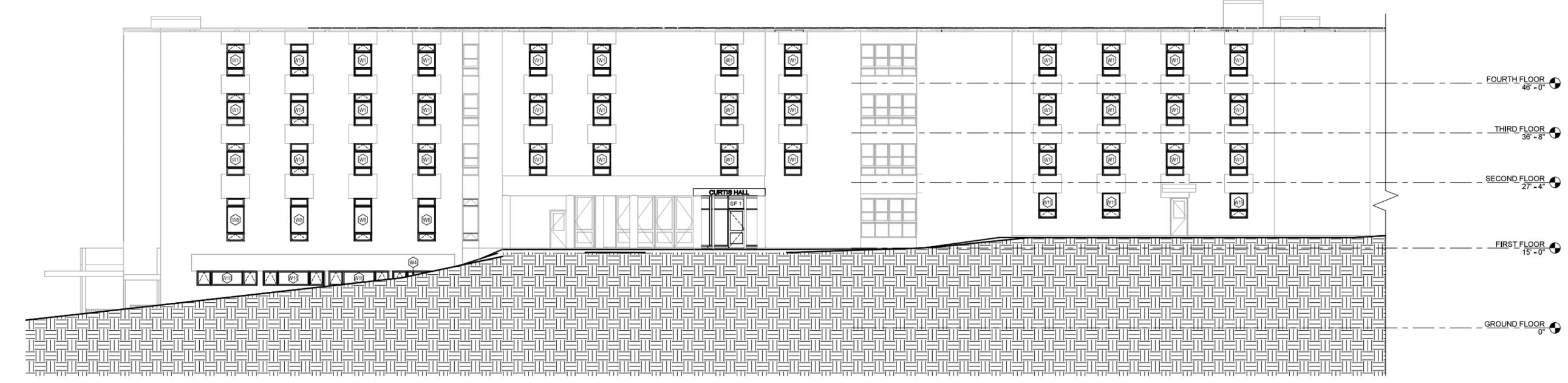
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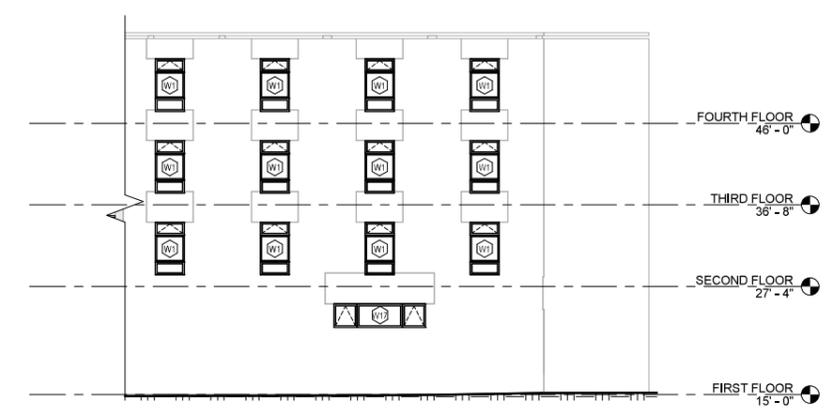
SHEET
A201



C1 EAST ELEVATION A
 1/8" = 1'-0"



B2 SOUTH ELEVATION B
 1/8" = 1'-0"



B1 EAST ELEVATION B
 1/8" = 1'-0"



A1 SOUTH ELEVATION A
 1/8" = 1'-0"

- GENERAL ELEVATION NOTES**
1. EXISTING VINYL REPLACEMENT WINDOWS ARE TO REMAIN.
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A202



D1 COURTYARD WEST
 1/8" = 1'-0"



C1 COURTYARD EAST
 1/8" = 1'-0"



B1 COURTYARD SOUTH
 1/8" = 1'-0"



A1 COURTYARD NORTH
 1/8" = 1'-0"

GENERAL ELEVATION NOTES
 1. EXISTING VINYL REPLACEMENT WINDOWS ARE TO REMAIN.
 2. EXISTING STEEL WINDOWS ARE TO BE REPLACED, BUT FRAME ATTACHED TO MASONRY OPENING IS TO REMAIN IN PLACE. U.N.O.
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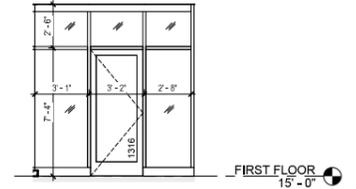
TITLE
 EXTERIOR
 ELEVATIONS - LOBBY

SHEET

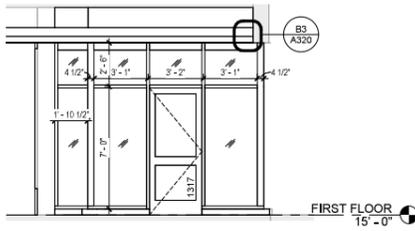
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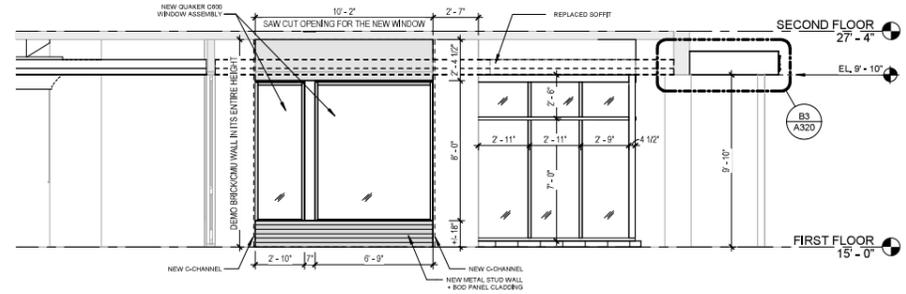
C1 ENTRY ELEVATION NORTH
 1/4" = 1'-0"



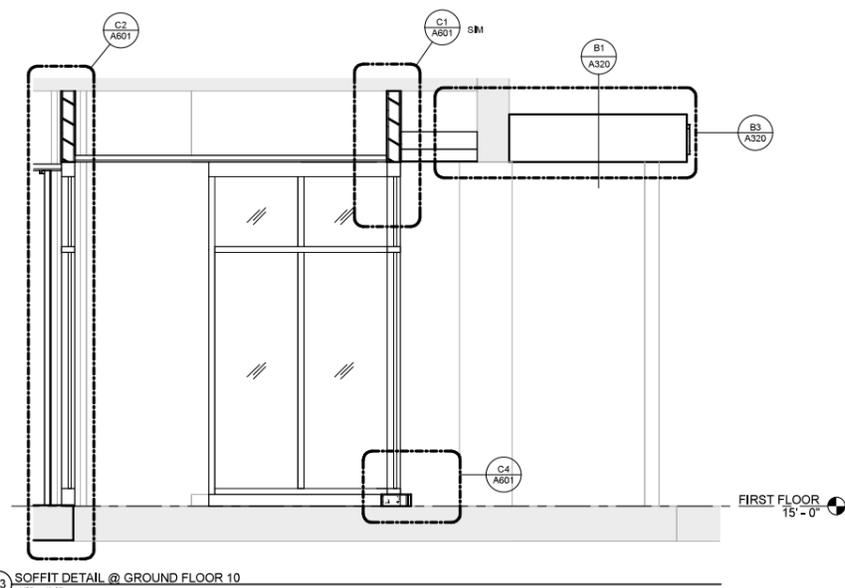
C2 INTERIOR STOREFRONT IN VESTIBULE - EAST
 1/4" = 1'-0"



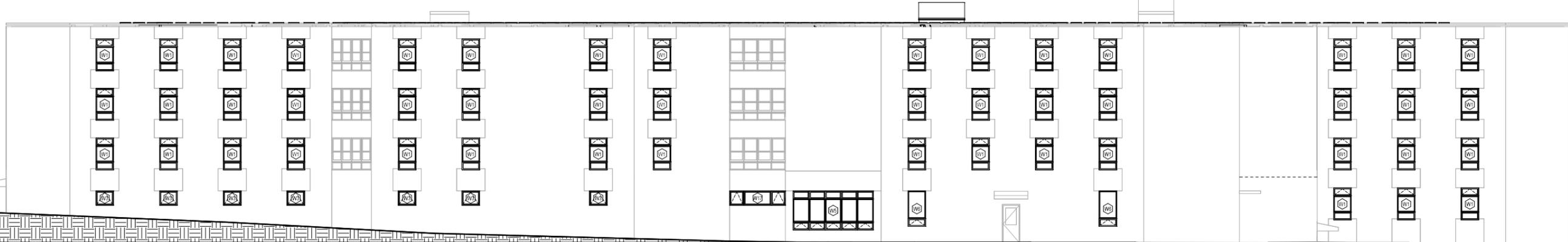
B2 ENTRY ELEVATION EAST
 1/4" = 1'-0"



B1 ENTRY ELEVATION SOUTH
 1/4" = 1'-0"



B3 SOFFIT DETAIL @ GROUND FLOOR 10
 1/2" = 1'-0"



A1 Elevation 7 - a
 1/8" = 1'-0"

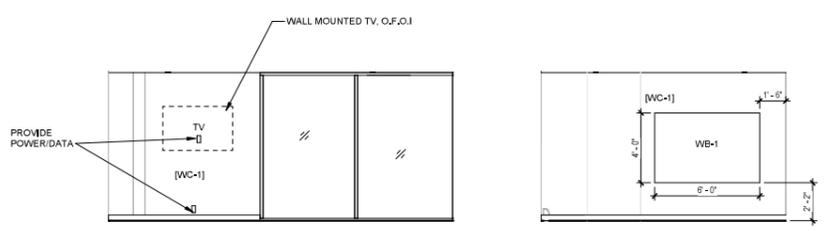
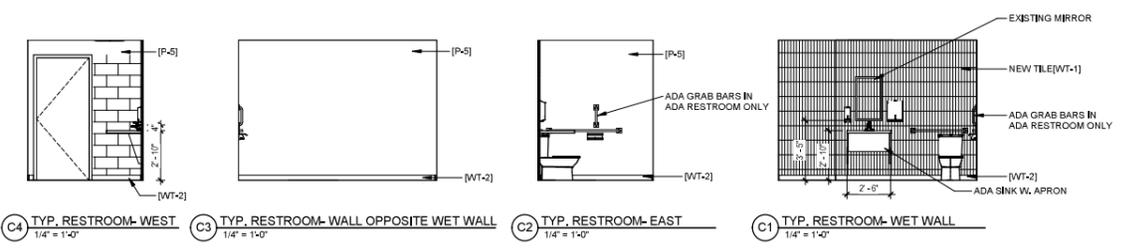
GENERAL ELEVATION NOTES
 1. EXISTING VINYL REPLACEMENT WINDOWS ARE TO REMAIN.
 2. EXISTING STEEL WINDOWS ARE TO BE REPLACED, BUT FRAME ATTACHED TO MASONRY OPENING IS TO REMAIN IN PLACE, U.N.O.
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 4. NOT ALL MEP ITEMS ARE SHOWN ON ELEVATIONS, COORDINATE WITH MEP DRAWINGS FOR ADDITIONAL WORK TO FACADE INCLUDING WALL VENT CAPS.
 5. UNTAGGED WINDOWS AND DOORS ARE NOT IN SCOPE.

BATHROOM INTERIORS GENERAL NOTES

1. SOLID SURFACE SHOWER INSERT UNIT, SEE DETAIL XXX
- 1.1 EXISTING FIBERGLASS SHOWER UNIT TO BE REMOVED AND REINSTALLED
2. SOLID SURFACE SHOWER SURROUND AND FLOOR, SEE DETAIL XXX
- 2.2 ADA UNIT WITH SOLID SURFACE SHOWER AND FLOOR
3. EXISTING TILE TO REMAIN
4. ALTERNATIVE #X- REPLACE WITH COUNTER APRON AND NEW PLAM APRON
5. ALL SALVAGED PLUMBING FIXTURES, MIRRORS, STALL DIVIDERS AND TOILET ACCESSORIES TO BE REINSTALLED AFTER INFILL IS COMPLETE

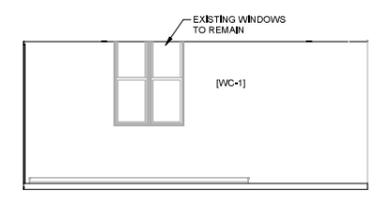
FINISH GENERAL NOTES

1. REFER TO FINISH PLAN AND SCHEDULE FOR ACCENT PAINT AT LOBBY
2. REFER TO FINISH PLANS FOR FLOOR MATERIAL TRANSITIONS AND FOR FLOOR PATTERN PLANS.
3. TILE MEMBRANE USED IN CONJUNCTION WITH FLOOR TILE (FT-1, FT-1). INSTALL: REFER TO SPECIFICATIONS
4. PROVIDE FLOOR/WALL TRANSITION TRIM BETWEEN FLOOR AND WALL TILE. REFER TO SPECIFICATIONS
5. [P*] INDICATES ACCENT WALL COLORS
6. REFER TO RCP FOR ACCENT PAINT COLORS
7. REFER TO FINISH PLANS FOR WALL FINISHES.

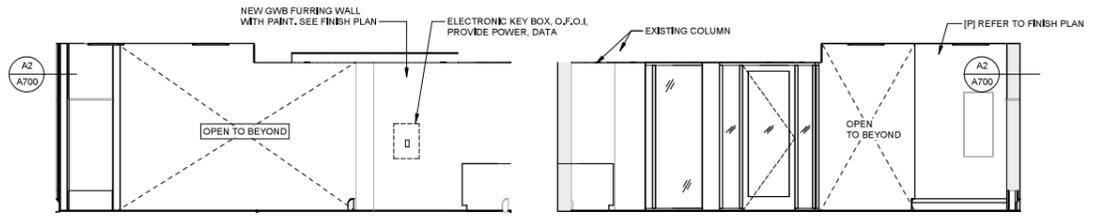


BS STUDENT LOUNGE-EAST
1/4" = 1'-0"

B4 STUDENT LOUNGE-NORTH
1/4" = 1'-0"

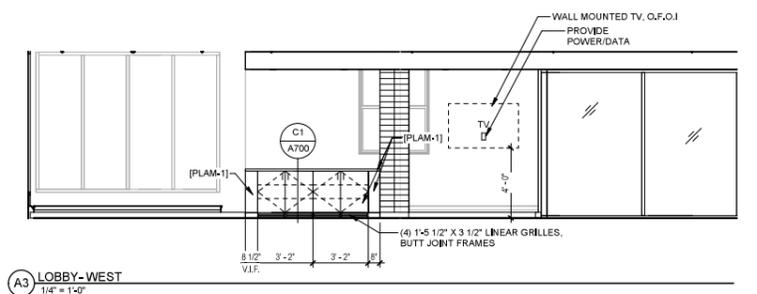


B3 STUDENT LOUNGE-WEST
1/4" = 1'-0"

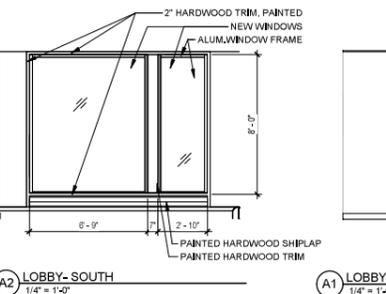


B2 STUDENT LOUNGE-SOUTH
1/4" = 1'-0"

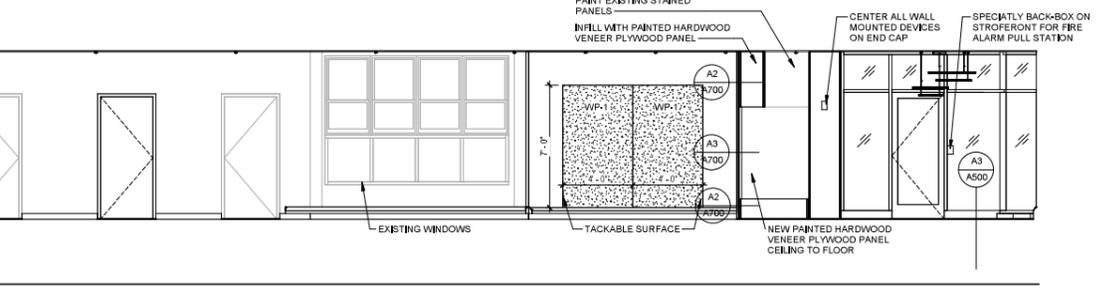
B1 LOBBY-NORTH
1/4" = 1'-0"



A3 LOBBY-WEST
1/4" = 1'-0"



A2 LOBBY-SOUTH
1/4" = 1'-0"



A1 LOBBY-EAST
1/4" = 1'-0"

- INTERIOR WALL FINISH NOTES**
1. REFER TO WALL FINISH PLAN FOR INTERIOR FINISHES

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TITLE WALL SECTIONS

SHEET

A310

