

BGS 3388 - RFI Repair Bldg 518 Exterior -

Q1. Provide plan view of the building to determine the dimensions of the exterior building perimeters that will require the application of the masonry sealant.

A1. Provided as two attachments

-BGS3388 Question 1 answer part 1 A101 Ground Floor Plan

-BGS3388 Question 1 answer part 2 A102 1st Floor Plan

Q2. Provide HAZ-MAT report of existing exterior sealants that are scheduled to be removed under this contract.

A2. The building was built in 1999 therefore the sealant should not contain any hazardous materials/no known hazardous materials were used per Mr. McCarthy (Base Environmental Program Manager)

Q3. Identify locations of all horizontal control joints.

A3. Review drawing A401 Exterior Elevations paying attention to A1- Southwest Elevation, A-2 Southeast Elevation and A-4 Control Joint Elevation, as well as A402 Exterior Elevations paying attention to A-1 Northwest Elevation and A-2 Northeast Elevation that was provided with the project bid package.

Q4. Will compressive strength tests of mortar be required daily while masonry pointing/repairs are being performed?

A4. Per the specs: 042000 section 3.11 paragraph C and D Mortar and Grout testing shall be for each mix provided according to ASTM C780 for Mortar and ASTM C1019 for Grout mixes.

Q5. What is the dimension around window perimeters to perform the repairs of deteriorated mortar joints per note 3 of the "Base Bid Key Notes".

A5. See drawing A905 Window types and details for dimensions. Calculations below apply to Base Bid – Key Note 3 windows only contractor to field verify all measurements.

Number of windows (Key Note 3): Type F = 7, Type F1 = 1, Type B = 3.

Calculations: Type F: (41'-4")x7=289'-4" | Type F1: (41'-4")x1=41'-4" | Type B: (24'-5 1/3")x3=73'-4"
Total Perimeter (Key Note 3): 404 Linear Feet

Q6. What is the depth of the cutting of existing mortar joints that are scheduled to be repointed/repared?

A6. Cut existing mortar to the depth of deterioration.

Q7. Will the saw cutting of mortar joints be allowed during normal work hours i.e. 7am - 3:30pm?

A7. Yes, saw cutting mortar joints will be allowed during normal business hours.

Q8. Are the steel lintels above the window and door openings required to be painted?

A8. No, re-painting of the steel lintels is not in the scope of work at this time

Q9. What is the diameter of the backer rod to be replaced?

A9. The size of the control joints on the facility is 5/8", therefore I believe the backer rod size would most likely be 3/4".

Q10. Prior to the waterproofing applied to all brick surfaces will pressure washing be an acceptable means of cleaning those surfaces before the Conproco Shield MX is applied?

A10. Yes, cleaning the brick with a pressure washer would be an acceptable means providing it was on a low setting as to not damage any brick/ mortar work.

Q11. What will be the anticipated start date?

A11. The anticipated start date would be this coming spring/ summer, weather permitting.

Q12. Will there be space on site for the contractors storage containers and equipment?

A12. Yes, space would be provided for contractors if needed.

Q13. Are there any non-visible building returns that cannot be seen on the two pages of drawings that should be known as part of this project?

A13. No, there are not any building returns that are not already showing on the drawings.

GENERAL NOTES:

1. ALL INTERIOR DIMENSIONS SHOWN ON FLOOR PLANS SHALL BE MEASURED FROM FACE OF EXTERIOR BRICK UNLESS OTHERWISE NOTED.
2. INTERIOR FINISHES SHALL BE AS NOTED ON FLOOR PLANS UNLESS OTHERWISE NOTED.
3. DIMENSIONS NOTED AS "CLEAR" ARE CRITICAL FINISH DIMENSIONS.
4. ALL INTERIOR STUD PARTITIONS SHALL BE CONSTRUCTED OF 1/2" Gypsum Board ON 2x4 STUDS. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED OF 12" CMU WITH 2" AIR SPACE AND 1/2" Gypsum Board ON BOTH SIDES.
5. COORDINATE CONSTRUCTION OF VARIOUS TRADES TO AVOID CONFLICTS. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND STANDARDS.
6. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND NOTIFICATIONS OF ANY DISCREPANCIES AND/OR OMISSIONS SHALL BE SUBMITTED TO THE ARCHITECT PRIOR TO BEGINNING OF CONSTRUCTION.
7. DO NOT SCALE FROM DRAWINGS.
8. VERIFY ALL CEMENTER DIMENSIONS IN FIELD PRIOR TO FABRICATION.
9. VERIFY ALL GOVERNMENT FURNISHED EQUIPMENT IS IN ACCORDANCE WITH THE CONTRACTING OFFICER.
10. PROMOTE LEVEL FLOOR TRANSITION BETWEEN DIFFERENT FLOOR MATERIALS.
11. ALL JOINTS IN VACUUM BARRIERS SHALL BE TIGHTLY SEALED.
12. PROVIDE FIRESTOPPING IN ALL FIRE RATED WALLS, CEILING AND ROOF PENETRATIONS. ALL FIRESTOPPING SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND STANDARDS.
13. ALL FLOOR FINISHES SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND STANDARDS.
14. ALL FLOOR DRAIN LOCATIONS SHALL BE REFERRED TO THE MECHANICAL DRAWINGS FOR LOCATIONS.
15. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR ALL EQUIPMENT LOCATIONS. ALL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND STANDARDS.
16. ALL LOCKERS SHOWN ON THIS PLAN ARE REFERENCED TO THE LOCKER INTERIOR ELEVATIONS AND ITS SCALE. ALL LOCKER TIES AND QUANTITY, VERIFY LOCKER INSTALLATION WALLS. REFER TO INTERIOR ELEVATIONS DRAWING A204.
17. REFER TO ELECTRICAL & STRUCTURAL DRAWINGS FOR ALL ELECTRICAL AND STRUCTURAL REQUIREMENTS.

H A R R I M A N
A S S O C I A T E S
ARCHITECTS • ENGINEERS
ONE ARDEN PARKWAY • SUITE 100 • BANGOR, MAINE 04408
TEL: 207-688-1100 • FAX: 207-688-1817
© 1999

RECORD DRAWING

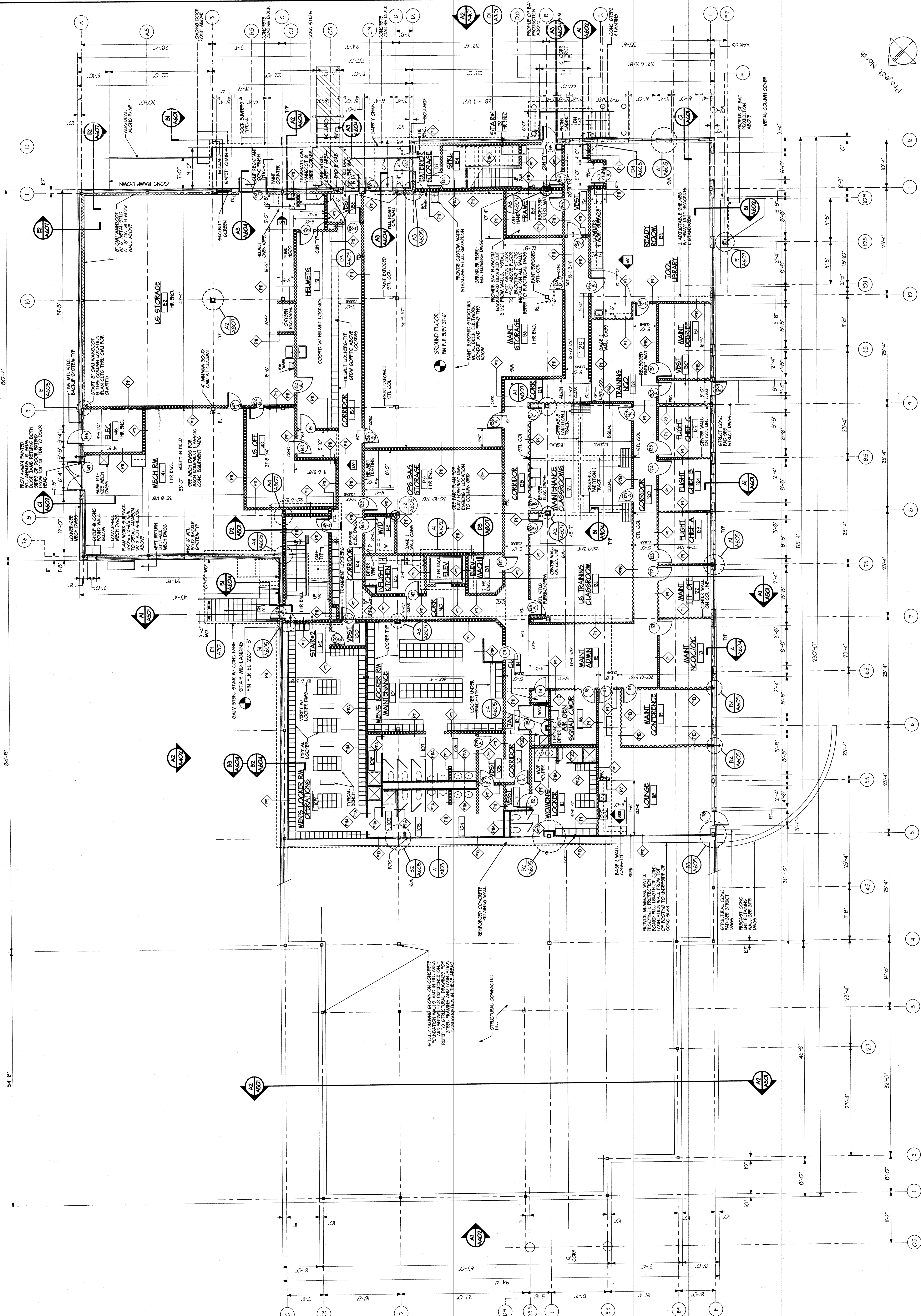
DATE: _____ PROJECT DESCRIPTION: _____

PROJECT TITLE:
SQUADRON OPERATIONS/AGU
BANGOR INTERNATIONAL AIRPORT
AIR NATIONAL GUARD
BANGOR, MAINE

DRAWING TITLE:
GROUND FLOOR PLAN

PROJECT NO.: 1507-5
DESIGNED BY: CJS
DRAWN BY: CJS/ACC
CHECKED BY: GDN
SCALE: 1/8" = 1'-0"
DATE: 7 AUGUST 1996
A101

B-518 11 of 91



NOTE: ALL EXTERIOR WINDOWS (EXCEPT FOR ENTRANCE SYSTEM) TO BE FIXED ACOUSTIC WITH LOW E GLAZING, TINTED

-

24'-4"

EQUALLY SPACED WINDOWS

17'-2" AFF

2'-10"

2'-10"

12'-4"

10 1/8" 9 1/3" TYPICAL WINDOW

PRECAST SILL

1