



**ADDENDUM NO. 03 – May 13, 2024**

**RE: Abatement of the Interior of the Stone Building  
Augusta, ME  
GALE JN: 839100 Phase 01 Task 03  
BGS Project Number 3381**

**FROM:** Gale Associates, Inc.  
5 Moulton Street  
Portland, ME 04101

**TO:** ALL PROSPECTIVE BIDDERS

This Addendum forms a part of the Contract Documents and modifies the original Bidding Documents dated April 2024 as noted below. Acknowledge receipt of this Addendum in the space provided on the Bid Form. Failure to do so may subject the Bidder to disqualification. This Addendum consists of 27 pages. The below listed Items have been generated based on comments or questions presented to Gale Associates, Inc. via written Request For Information.

**ITEM 1. PAINT REMOVAL**

Modification: The scope of work has been modified include removal of all paint, regardless of lead content, down to substrate from 100% of exposed surfaces on the interior of the building. This includes the basement level of the building. Woodwork within the Administration portion of the building is excluded from this scope of work.

**ITEM 2. ASBESTOS CONTAINING PLASTER**

Modification: Historic documentation and Appendix B of the bid specification identified asbestos containing plaster. The bid specification has been modified to indicate abatement of asbestos containing wall and ceiling plaster in all three (3) levels of south wing, section one (1), and all three levels in north wing section 3. Ceiling installations including, but not limited to, acoustical ceiling tiles, gypsum finish ceilings, and other decorative ceiling finishes which have been constructed below plaster ceilings in these areas will require demolition and removal in order to abate the asbestos-containing plaster ceilings above. Site plans showing dimensions, wall heights, and areas of ceiling installations are included with this addendum as Figures ten (10) through fifteen (15).

**ITEM 3. LEAD-BASED PAINT REMOVAL**

Question: Task 3 states: "The complete removal and disposal of lead-based paint, as practicable. Full removal of lead-based paint will be throughout the entire Site building" What is the State looking for as practicable? Is the intent to render the existing paint intact (scraping all loose and flaking paint) or is the intent to remove all substrates that are coated with lead-based paint (removal of plaster walls and ceilings). We understand doors and woodwork will be stripped. Also, what is the release criteria for completion of the removal of the lead-based paint?



Reference: Specification Section #00 10 00, Task 3

Clarification: The bid specification shall be modified to include removal of paint at 100% of exposed surfaces down to bare substrate. Prior to performing paint removal, the Contractor is to perform a minimum of one (1) two feet (2') by two feet (2') mockup of paint removal for Owner and Engineer's review and approval. Additional mockups may be required until approved by Owner and Engineer.

Modification: Section #00 10 00, Task 3 shall be modified to read as follows:

"4.1.3: Full removal of Paint. The complete removal and disposal of paint at 100% of exposed surfaces down to bare substrate. Full removal of paint will be throughout the interior of the entire site building, with the exception of wooden surfaces located within the Administration portion of the building. All paint shall be assumed to contain concentrations of lead, and shall be handled and disposed of as such. Full removal of paint will be in accordance with applicable local, State and Federal requirements. Contractor will take all necessary actions to protect and/or restore historic woodwork and all other areas throughout the building which are not scheduled for paint removal.

4.1.3.1 Paint identified throughout the site buildings will be removed and managed in accordance with State and Federal regulations, including the OSHA lead standard (29 CFR 1926.62 "Lead Exposure in Construction: Interim Final Rule"), EPA Lead Renovation, Repair, and Painting (RRP) Program Rules, and OSHA Lead Standard for Construction Industry. Contractor shall prepare a Site-specific health and safety plan for demolition activities which includes worker exposure risks, the required work procedures, and personal protective equipment to be used.

4.1.3.2 Lead paint surveys previously conducted at the site have suggested that the majority of painted surfaces contain lead. Therefore, all paint is to be removed from 100% of exposed surfaces down to bare substrate.

**ITEM 4. LEAD-BASED PAINT REMOVAL AT WOODWORK**

Question: Specification #00 10 00 part 4.1.3.2 states: "Doors and woodwork identified as coated in lead paint are to be stripped and are not to be removed as whole components." Does this statement apply to the only the administration area or to the entire building? Can all the other wood trim which contains lead paint just be removed whole component?

Reference: Specification Section #00 10 00 – 4.1.3.2

Clarification: Doors, woodwork, and other painted wood surfaces within the Administration portion of the building are not included in this scope of work and are not to be stripped of lead-based paint. In the north and south wings of the building, paint is to be removed from 100% of exposed surfaces, including doors, trim, and wood work, down to bare substrate. Means and methods for paint removal at window trim and wood components outside of the Administration portion of the building are up to the contractor's discretion.

**ITEM 5. ROOMS WITH GYPSUM CEILING OR CEILING INSTALLATIONS**



Question: Some rooms have two layers of ceiling and lead painted walls. Are we required to remove lead paint on the wall above the lower ceiling (below the upper ceiling)? If so, should we remove the lower ceiling from the entire room, or only enough ceiling to perform this work?

Reference: Specification Section #00 10 00 and #02 83 33

Clarification: Paint is to be removed down to bare substrate at 100% of exposed surfaces. If the upper plaster ceiling is concealed with a gypsum ceiling, and the upper portion of the wall beyond the gypsum ceiling is not exposed, then paint removal is not required beyond the height of the gypsum ceiling. Certain locations within the building contain acoustical ceiling tile ceiling installations. These installations and ceiling finishes are to be removed and disposed of to expose the remaining wall height to plaster ceiling in order to remove 100% of the paint at these locations.

#### **ITEM 6. LEAD PAINT REMOVAL WHOLE-COMPONENT METHODS**

Question: Regarding specification 02 83 33, can you please confirm the following text applies to this specific project?

“1.1.2. Lead paint removal includes full de-leading of lead-based paint. The methods used for lead based paint removal shall be of the contractor’s choice; and may include whole-component removal of plaster/sheetrock substrate, or aggressive, abrasive, and/or invasive removal methods, such as, sand blasting, grinding methods. PREFERENCE WILL BE GIVEN TO WHOLE-COMPONENT REMOVAL OF PLASTER/SHEETROCK SUBSTRATE. Lead paint on doors and wood trim within the Administration building is to be stripped and whole component is not to be removed. Window sashes and historic decorative trim are not included in the current scope of work. Please note that historic woodwork within the building is to be protected and/or will require restoration to original condition. Areas not affected by lead paint removal are to be protected or restored to original condition.”

How will preference be given? Is plaster and sheetrock removal a requirement or will the bid form be modified so that removal method is stated?

Reference: Specification Section #02 83 33 – 1.1.2

Clarification: Remove paint to bare substrate at 100% of exposed surfaces.

Modification: Section 02 83 33 1.1.2 shall be modified to read as follows:

“1.1.2. Paint removal includes full paint removal at 100% of exposed surfaces down to bare substrate. The methods used for paint removal shall be of the contractor’s choice; and may include whole-component removal of plaster/sheetrock substrate, or aggressive, abrasive, and/or invasive removal methods, such as, sand blasting, grinding methods. Window sashes, frames, and historic decorative trim are not included in the current scope of work. Please note that historic woodwork within the Administration building is to be protected.”

Clarification: Preference of whole component removal of plaster/sheetrock substrate has been removed from the bid specification. Means and methods for paint removal shall be of the contractor’s choice. No preference will be given to means and methods for paint removal.



**ITEM 7. PLASTER REMOVAL**

Question: Is the design intent for this building to eventually have all plaster removed? In one area, the specification as presented appears to call for plaster removal of a ceiling and 3 of 4 walls of one room. Rather than preserving one wall which did not test positive for Lead Based Paint, we feel it would be more efficient to remove all plaster throughout the building. Can the bid specifications be revised to call for the removal of all plaster rather than only the plaster which tested positive for lead based paint? If not, will a floor plan clearly indicating which walls contain LBP be provided?

Reference: Specification Section #02 83 33

Clarification: The design intent is to remove all accessible asbestos-containing materials and remove 100% of paint on exposed surfaces throughout the building. Paint shall be removed down to the underlying substrate on 100% of exposed surfaces. Asbestos-containing plaster has been identified on walls and ceilings at all three levels of the south wing, section one (1), and all three levels of the north wing, section 3. Ceiling installations in these areas will require removal in order to access and abate the asbestos-containing plaster in these areas.

**ITEM 8. INTERIOR WINDOW LOCATIONS**

Question: Specification #00 31 26 states that window components (glazing, caulking, lead paint on window sashes) are not included in the current scope of work at the Administration, North, and South wings. We noticed several interior windows in the building. Have these been tested for lead and asbestos or should they be presumed positive? How many are there and where are they located? Should we include the abatement and removal of these windows in our bid?

Reference: Specification Section #00 31 26

Clarification: Exterior windows are not included in the current scope of work. There are a total of ten (10) interior windows located within the building that should be assumed positive for asbestos and abated as such. Four (4) of these interior windows are located on the first floor of the Administration building, two (2) interior windows are located on the first floor of the north wing Section 3, two (2) interior windows are located on the second floor of the north wing Section 3, and two (2) interior windows are located on the third floor of the north wing Section 3.

**ITEM 9. INTERIOR WOOD STOOLS AND APRONS**

Question: Specification #00 31 26 part 1.2.3 and part 1.2.4 both state that wood stools and aprons on the interior side are included in the scope of work and lead paint identified on these features will require abatement. Is whole component removal allowed for this work?

Reference: Specification Section #00 31 26 – 1.2.3 and – 1.2.4

Clarification: It is the intent of the project for window stools and aprons to remain. Whole component removal of wood stools and aprons is not permitted for this scope of work. Interior wood finishes including trim, wood stools, and aprons are to be stripped of paint. Woodwork in the Administration portion of the building is not included in this scope of work.



**ITEM 10. ESTIMATED QUANTITIES FOR ASBESTOS CONTAINING MATERIALS**

Question: Specification #00 31 26 part 1.2 states: “the quantities listed in the HBMI report are ESTIMATES ONLY and all quantities must be verified by the abatement contractor.”  
Specification #02 82 11 part 1.1.2 states: “1.1.2. The work to be performed under this Contract consists of the removal, cleanup and disposal of all ACM and asbestos/waste contaminated elements from the interior portions of the on-Site building. Descriptions of ACM within Site buildings are provided in the Hazardous Materials Inventory report (refer to Section 00 31 26 and Appendix B) and are for informational purposes only; the Contractor is responsible for determining actual quantities of identified ACM to be removed.”  
Please confirm the project will be administered the same as every previous BGS abatement project where the bidders will bid from the quantities provided in the Table 1 survey. Our expectation is if quantity differences are found post bid due to discrepancies, concealed materials, or other unforeseen conditions, then a change proposal will be requested from the contractor by the contract administrator. We see an allowance of \$35,000 must be included in our bid for this apparent purpose.

Reference: Specification Section #00 31 26 – 1.2; #02 82 11 – 1.1.2

Clarification: The quantity estimates provided in Table 1 of the Hazardous Materials Inventory report are best estimates based on measurements of materials identified and accessible at the time of the Inventory. Contractors should base their estimates on the quantity estimates provided in Table 1 of the Inventory as well as observations of the scope of the project during the pre-bid walk through and contractor’s professional experience with similar projects. An allowance of \$35,000 has been included in the event that additional hazardous materials are discovered during the abatement process.

**ITEM 11. BASEMENT LEVEL ABATEMENT SCOPE OF WORK**

Question: Please issue a floor plan for the basement level indicating where the asbestos abatement work starts and stops

Reference: Figure 4

Substitution: An updated Figure 4 has been provided. The areas shown on the updated Figure 4 are the areas included in this scope of work.

**ITEM 12. BASEMENT LEVEL PAINT REMOVAL SCOPE OF WORK**

Question: There does not appear to be any lead testing results from AQM at the basement level. How much lead removal should we include at the basement level? Please issue a floor plan for the basement level indicating where the lead removal work area starts and stops.

Reference: Figure 4

Clarification: The bid specification has been modified to indicate removal of paint from 100% of exposed surfaces down to bare substrate regardless of lead content. Painted surfaces in the



basement area include walls and ceiling. Figure 4 has been revised to provide approximate wall heights and scale for estimation purposes.

**ITEM 13. FULL SIZED DRAWINGS**

Question: Can plottable size (approx. 24"x36"), plans scalable at 1/8" be provided for the Stone Building?

Response: Electronic copies of scalable floor plans have been provided as part of this addendum. Please refer to the attachments.

Substitution: Figures 4 through 15

**ITEM 14. MULTIPLE-LAYER FLOORING**

Question: We identified several rooms which have negative flooring (usually either carpet or vinyl) atop asbestos floor tile. Multi-layer flooring is more expensive to abate than single layer flooring. However, table 1 groups these together. Please indicate and quantify which areas of the building are multi layered and which areas are single layered.

Reference: Attachment B, Table 1

Clarification: Information on which areas of flooring are multi-layered and which areas are single layer is not currently available.

**ITEM 15. EXTERIOR DOOR LOCATIONS**

Question: Table 1 grouped door and window caulking together and presented their quantity together. Asbestos abatement of window caulking is not part of this project. Is asbestos abatement of door caulking part of this project? If so, what quantity?

Reference: Attachment B, Table 1

Clarification: Exterior doors and associated door sealants are excluded from the abatement scope of work.

**ITEM 16. PLASTER CEILING SUBSTRATE**

Question: We identified numerous plaster ceilings with a concrete substrate. Please identify the substrate of each ceiling which tested positive for asbestos.

Reference: Attachment B, Table 1

Clarification: Information on substrate materials that may exist behind plaster ceilings is not currently available. Destructive testing for the purpose of identifying substrate materials was not performed. Based on visible locations, substrates appear to consist of concrete, wood framing, and brick masonry/terra cotta. Contractor to verify substrate conditions in the field if necessary for plaster removal.

**ITEM 17. BASEMENT PIPE INSULATION**

Question: Is the pipe insulation in the basement/tunnel areas included in this bid?



Reference: Attachment B, Table 1

Clarification: Yes, pipe insulation in the basement of the Stone Building that tested positive, or was labeled/presumed positive for asbestos is included in this bid. The revised Figure 4 provided with this Addendum shows the areas of the basement that are included in this bid. Areas not shown on Figure 4 are not included in the scope of work.

Substitution: Figure 4

**ITEM 18. PLASTER CEILINGS**

Question: Plaster ceiling was identified as asbestos containing at the third floor of North Wing Section 3 and at the first floor of South Wing Section 1. Please explain your reasoning behind presuming certain areas of the plaster ceilings in this building as positive for asbestos and certain areas of the plaster ceilings in this building negative for asbestos. We are concerned regarding asbestos exposure to our work staff and need to ensure the MDEP rules are being interpreted properly when declaring certain areas of plaster within this building as non-asbestos containing since some plaster in the building has tested positive.

Reference: Appendix B

Clarification: The bid specification has been modified to indicate abatement of asbestos containing wall and ceiling plaster in all three levels of the south wing, section one (1), and all three levels of the north wing, section 3. Asbestos testing was performed in accordance with the requirements of Maine Department of Environmental Protection Solid Waste Management Rules Chapter 425. Asbestos was not detected in plaster walls or ceilings in other areas of the building.

**ITEM 19. PIPE CHASES**

Question: Was any asbestos sampling performed at pipe chases?

Reference: Attachment B

Clarification: Recognizable and accessible pipe chases were inspected as part of the asbestos survey. Pipe insulation within the accessible pipe chases was generally observed to be fiber glass. It is not the intent of this project to remove finishes in order to access concealed chases that are not currently accessible.

**ITEM 20. CERAMIC TILE FLOORING**

Question: Was any asbestos sampling performed below ceramic tile flooring?

Reference: Attachment B

Clarification: Ceramic tile flooring was tested for asbestos-containing grout. Asbestos was not detected in the ceramic tile flooring grout. However, ceramic tile floors were not removed to expose sub-flooring layers.

**ITEM 21. HAZARDOUS MATERIAL DOCUMENTATION**

Question: ATTACHMENT B, Historical Documentation is missing from the bid package.



The Ransom Environmental Report, Page 4 states:

1. As part of this HBMI, Gale personnel provided Ransom with a copy of one report which included limited discussions of hazardous materials previously identified in portions of the Site building. In addition, the Maine Department of Environmental Protection (MEDEP), Bureau of Remediation provided Ransom with limited information regarding previous abatement of hazardous materials at the Site. Historical documentation provided for this Site is detailed below. Please refer to Attachment B for a copy of this report. Limited Asbestos & Lead-based Paint Survey. Prepared by Air Quality Management & Laboratory Services, dated December 14, 2007 (Supplemental Appendix dated May 3, 2016).
2. Given that the missing report is described as containing information about previously completed abatement. That may impact the quantities listed on the current report. I tried, unsuccessfully, to find that information online which may have provided us with a strategic advantage but could not. I believe it's important to ask for.

Reference: Attachment B and C

Clarification: No abatement has occurred within the building since the Ransom survey was performed in 2021. The estimated quantities provided in the report are an accurate representation of what was observed at the time of the assessment. Historic abatement work (performed prior to the 2021 assessment) does not affect the quantities provided in Ransom's report.

**ITEM 22. ROOM NUMBERING**

Question: Please confirm the room numbering provided in the Ransom survey can be utilized as the room numbering sequence when interpreting the AQM lead survey.

Reference: Appendix B, Figures

Clarification: The room numbering indicated on the figures correlates to the room numbering sequence utilized in the AQM lead survey. However, the bid specification has been modified to indicate removal of paint down to bare substrate from 100% of exposed surfaces. There is no longer a need to differentiate between lead-based paint and non-lead-based paint, or to differentiate between rooms or specific walls.

**ITEM 23. WALL DESIGNATION**

Question: The AQM lead survey references walls ABCD in each room. Which wall is the A wall? Which wall is the B wall? Etcetera

Reference: Attachment C

Clarification: The bid specification has been modified to indicate removal of paint down to bare substrate at 100% of exposed surfaces. There is no need to identify which wall is the A wall, etcetera.

**ITEM 24. HALLWAY LOCATIONS**

Question: Please explain how we are supposed to interpret the hallway locations on the AQM survey. We cant tell which areas are positive and which areas are negative because the





terminology or room number “Section II Hall” at the location “Section I” does not make sense to us. Floor plans clearly identifying the lead removal work would be appropriate for a project of this magnitude.

Reference: Attachment C

Clarification: The bid specification has been modified to indicate removal of paint down to bare substrate at 100% of exposed surfaces.

**ITEM 25. EXTERIOR PAINTED SURFACES**

Question: AQM identified some exterior items positive for lead paint. Are we to include any exterior lead abatement?

Reference: Attachment C

Clarification: The scope of work for this bid specification is limited to the interior of the facility only.

**ITEM 26. ATTACHMENT C AQM SURVEY**

Question: Page 12 of 14 of the AQM survey lists room 110 twice with the ceiling testing positive in one room and negative in the other. We checked the floor plan and the same room numbers for Section 1 of the South wing are used again at Section 3 of the South wing. The AQM survey lists both room 110s as being in Section 1, but we suspect one of these rooms is actually located in Section 3. Please correct the typo and reissue.

Reference: Attachment C

Clarification: The bid specification has been modified to indicate removal of paint down to bare substrate at 100% of exposed surfaces, regardless of room number.

**ITEM 27. FLOORING**

Question: We identified several areas of the building which have black asbestos mastic and plywood subfloors, but the majority of the building has black asbestos mastic on terrazzo floor or concrete floors. Please identify the substrate of each area of asbestos mastic.

Reference: Flooring

Clarification: Asbestos-containing black mastic is to be abated as part of this scope of work, regardless of the substrate. Information on floor substrate type throughout the building is not currently available.

**ITEM 28. GYPSUM CEILING LOCATIONS**

Question: We found several access holes cut in lower ceilings. Perhaps some of the positive tests for lead paint on plaster ceilings were taken from a concealed upper ceiling. However, the way the AQM survey does not present such information. How many square feet of lower drywall ceiling are we expected to remove to facilitate removal lead paint from upper plaster ceilings?

Reference: Figures 5 through 15



Clarification: Remove paint down to bare substrate on 100% of exposed surfaces. If the upper plaster ceiling is concealed by a gypsum ceiling that is in good condition, there is no need to remove the drop gypsum ceiling to remove lead-based paint above. Please refer to the revised drawings provided with this addendum for areas of drop gypsum ceiling.

**ITEM 29. MULTIPLE-LAYERED CEILINGS IN ROOM 110**

Question: One of the rooms at the administration building had four layers of ceiling. We have a photo of this room and we believe it is room 110. The top layer appears to be plaster and lead paint, next layer is gypsum, next layer is 12x12 tiles, and the lowest layer is gypsum. When reviewing the AQM lead survey for this room we find the gypsum ceiling tested negative for lead. Please confirm we are to exclude lead abatement of the upper ceiling of this room.

Reference: Specification 02 83 33

Clarification: The bid specification has been modified to indicate removal of paint down to the bare substrate on 100% of exposed surfaces. In the case of room 110, the lower layers of ceiling (gypsum, 12x12 tiles, and gypsum) have in large part collapsed, exposing the top layer of plaster ceiling. In this instance, the lower layers of ceiling should be removed and disposed in order to access and remove paint from the plaster ceiling. In several other areas of the building, the drop gypsum ceiling is in good condition. In areas where the drop gypsum ceiling is in good condition, the intent of the project is to remove paint finishes down to bare substrate from 100% of exposed surfaces.

**ITEM 30. WASTE MANAGEMENT**

Question: Since there is so much debris to remove from upper floors, we will need to remove some windows to facilitate our debris removal. Do we have permission to remove a window if we preserve and protect it?

Reference: Specification Section 01 74 19

Response: The contractor is permitted to carefully remove the operable sashes at windows within the wings of the building and in select locations at the north and south elevations of the Administration building. The contractor is to coordinate with the Engineer and Owner which window locations are acceptable to be temporarily removed to facilitate debris removal. Should window sashes, glass, or associated components become damaged and cannot be reinstalled at the completion of construction, the contractor will be responsible to enclose and/ or replace damaged and existing to remain components at no additional cost to the Owner.

**ITEM 31. QUANTITIES**

Question: How many square feet of lead paint must be removed from gypsum ceilings? How many square feet of lead paint must be removed from plaster ceilings? How many square feet of lead paint must be removed from gypsum walls? How many square feet of lead paint must be removed from plaster walls?

Reference: Figures Four (4) through Figure Fifteen (15)



Clarification: Revised plans showing areas of gypsum ceiling, plaster ceiling, and associated wall heights have been provided with this Addendum.

**ITEM 32. TEMPORARY POWER**

Question: Specification #01 50 00 part 3.2.4 states the contractor is responsible for temporary power. Can the contractor run temporary power from the existing facility or is generator power required?

Reference: Specification Section #01 50 00 – 3.2.4.1 and #02 82 11 – 3.1.2.3

Clarification: The Owner will provide power. Contractor is responsible for arranging and establishing temporary power facilities. Refer to Section #02 82 11 – 3.2.2 for electrical installation requirements. Arrangements to be made through the Owner.

Modification: Section #01 50 00 – 3.2.4.1 shall be modified to read as follows:

“3.2.4.1 Electricity is not currently available throughout the majority of the Stone Building. The Owner will provide power for this project. Contractor is responsible for arranging and establishing temporary power facilities with the Owner.”

Modification: Section #02 82 11 – 3.1.2.3 shall be modified to read as follows:

“3.1.2.3 The Owner will provide water and electrical service for this project. Contractor is responsible for arranging and establishing temporary power and water facilities with the Owner.”

**ITEM 33. TEMPORARY WATER**

Question: Specification 015000 part 3.2.2 states the contractor is responsible for temporary water. Can the contractor run temporary water from the existing facility (via tunnel, hose on ground, or from hydrant) or does the contractor need to transport water to the site with a vehicle?

Reference: Specification Section #01 50 00 – 3.2.2 and #02 82 11 – 3.1.2.3

Clarification: The Owner will provide water. Contractor is responsible for arranging and establishing temporary water facilities. Arrangements to be made through the Owner.

Modification: Section #01 50 00 – 3.2.2.1 shall be modified to read as follows:

“3.2.2.1 Water has been turned off to the Stone Building. The Owner will provide water for this project. Contractor is responsible for arranging and establishing temporary water facilities with the Owner.”

Modification: Section #02 82 11 – 3.1.2.3 shall be modified to read as follows:

Addendum No. 03 – May 13, 2024  
Abatement of the Interior of the Stone Building  
Augusta, Maine  
BGS Project Number: 3381



“3.1.2.3 The Owner will provide water and electrical service for this project. Contractor is responsible for arranging and establishing temporary power and water facilities with the Owner.”

**ITEM 34.      ADDITIONAL SITE VISIT**

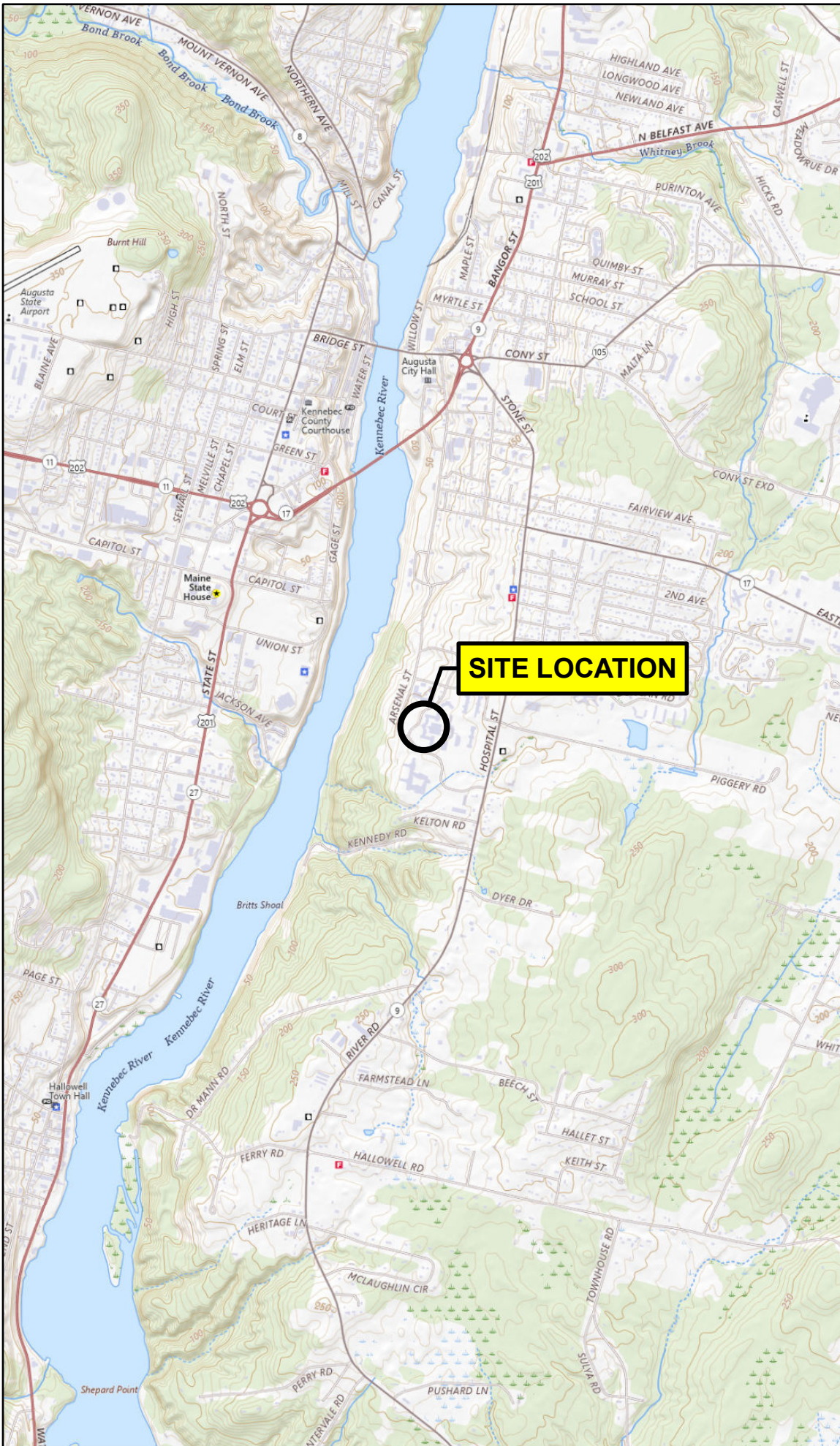
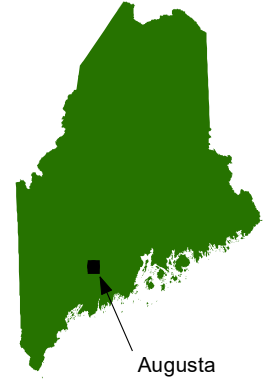
Question:      We request another walk through of the building without any time limitation to measure and evaluate the building conditions. We do not require a guide for the visit. Our visit needs to be after the response to previous pre-bid questions because we currently find the scope unclear. We prefer this visit to be prior to the question deadline in case we have further questions after our visit.

Reference:      Specification Section 00 31 13

Addition:      Should contractors wish to return to the project site prior to bid submission, an optional second walk through has been scheduled for Thursday, May 16, between 12:00 pm and 2:00 pm, for contractors who attended the mandatory pre-bid conference. Interested parties are to meet at 67 independence Drive, Augusta, ME at 12:00pm.

**END OF ADDENDUM THREE**

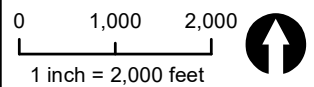
**Regional Locator Map**



**Notes**

1. Data Source: The National Map
2. USGS Quad Names: Augusta, Maine
3. Latitude: 44°18'7.205"N  
 Longitude: 69°46'13.351"W

**Scale and Orientation**



**Prepared For**

Mr. Steven Marshall  
 Gale Associates Inc.  
 6 Bedford Farms Drive, Suite 101  
 Bedford, New Hampshire 03110

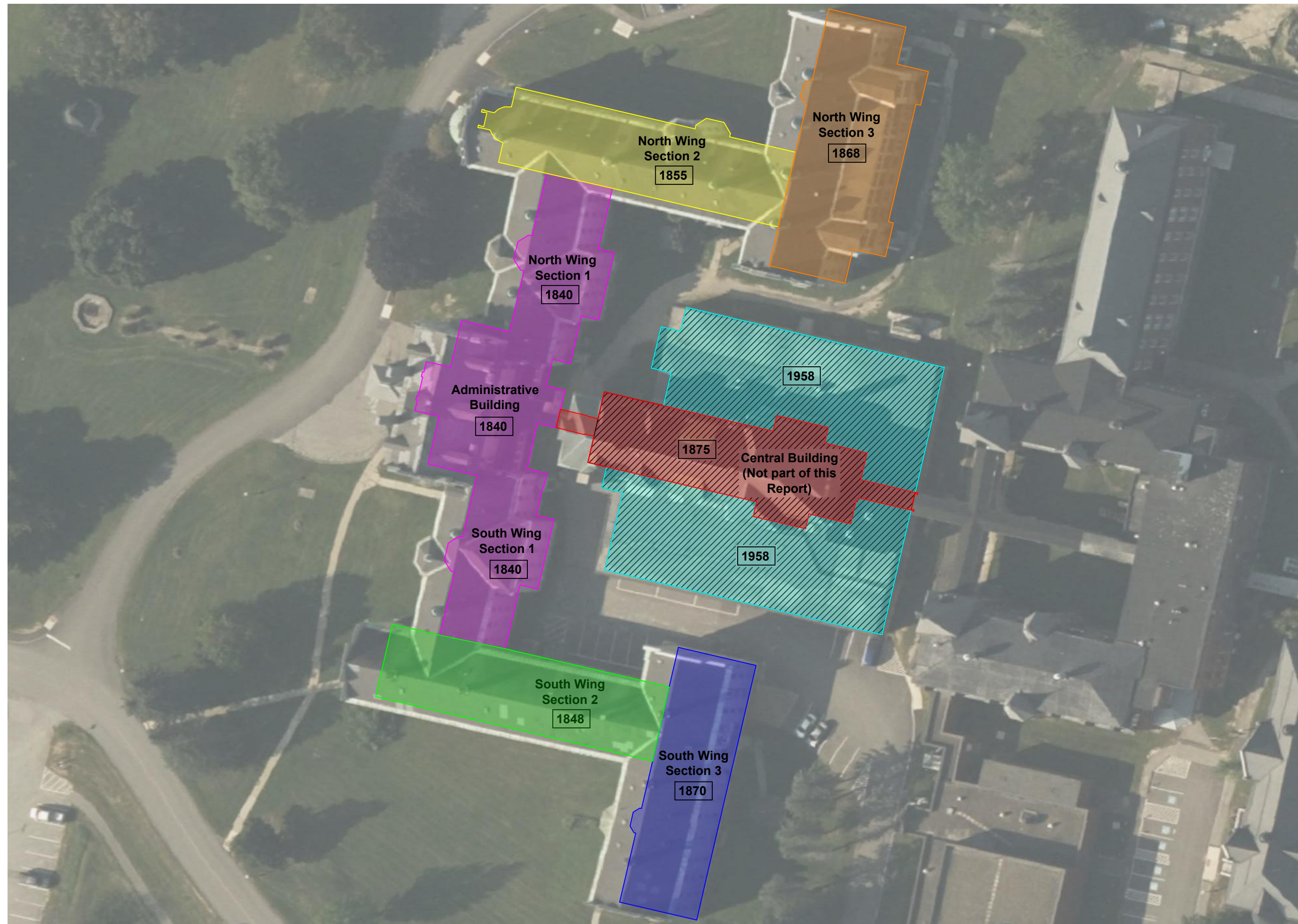
**Site Address**

Former Maine State Hospital:  
 Stone Building  
 67 Independence Drive  
 Augusta, Maine

**211.06085** | **May 2024**

**Figure 1**  
 Site Location Map

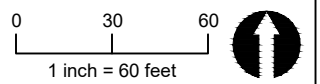
*Legend & Notes*



**Notes:**

1. Plan based on measurements and observations made by Ransom Consulting, LLC. on December 15-17, 2021.
2. Some features are approximate in location and scale.
3. This plan has been prepared for Gale Associates Inc. All other uses are not authorized unless written permission is obtained from Ransom Consulting, LLC.

**Scale and Orientation**



**Prepared For**

Mr. Steven Marshall  
Gale Associates Inc.  
6 Bedford Farms Drive, Suite 101  
Bedford, New Hampshire 03110

**Site Address**

Former Maine State Hospital:  
Stone Building  
67 Independence Drive  
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211.06085 | May 2024

**Figure 2**  
Site Plan

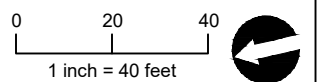
**Legend & Notes**

▲ Sample Testing  
 Positive for Asbestos

**Notes:**

1. Plan based on measurements and observations made by Ransom Consulting, LLC. on December 15-17, 2021.
2. Some features are approximate in location and scale.
3. This plan has been prepared for Gale Associates Inc. All other uses are not authorized unless written permission is obtained from Ransom Consulting, LLC.
4. Figure representative of all building levels, room configurations may vary slightly by building level.
5. Refer to Table 1: "Summary of Asbestos Testing Results" for all sample details and locations.

**Scale and Orientation**



**Prepared For**

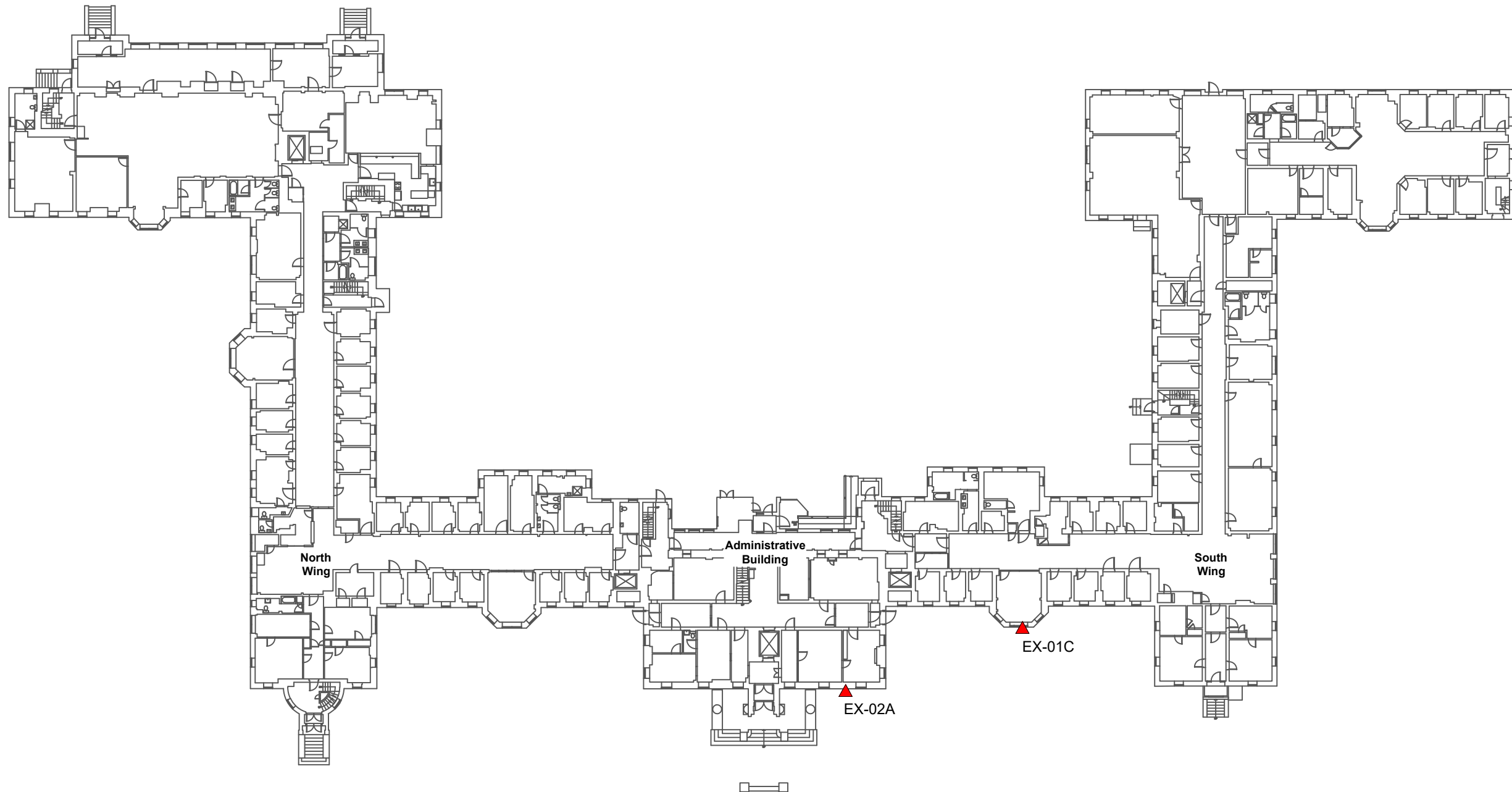
Mr. Steven Marshall  
 Gale Associates Inc.  
 6 Bedford Farms Drive, Suite 101  
 Bedford, New Hampshire 03110

**Site Address**



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 Augusta, Maine

211.06085 | May 2024

**Figure 3**  
 Building Exterior



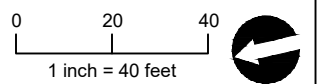
**Legend & Notes**

-  Sample Testing Positive for Asbestos
-  Ceiling Wall Height Varies

**Notes:**

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**Scale and Orientation**



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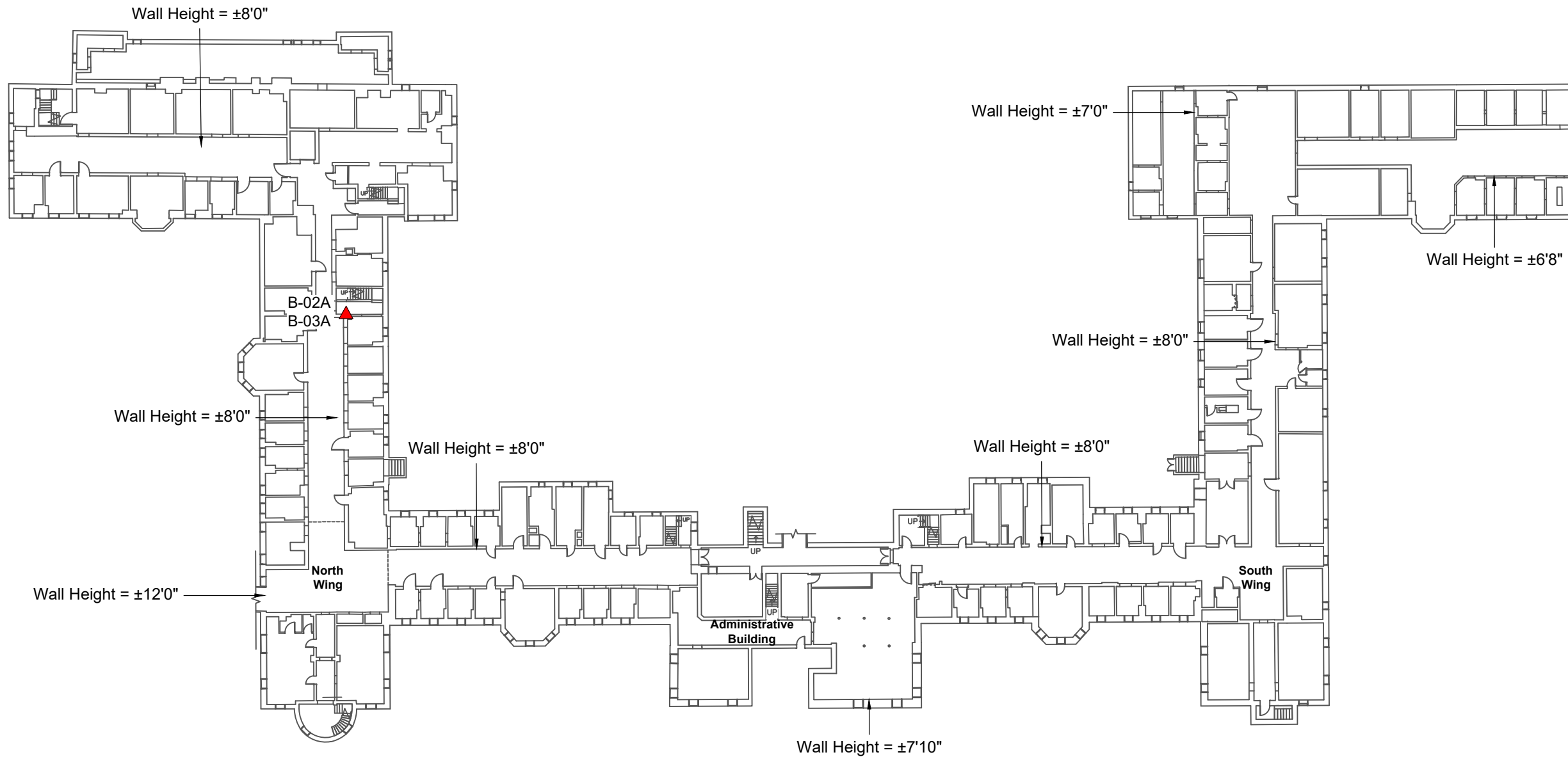
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6 Bedford Farms Drive, Suite 101  
Bedford, New Hampshire 03110

**Site Address**

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**Figure 4**  
Basement Area





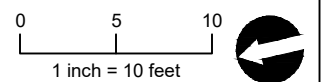
**Legend & Notes**

-  Sample Testing Positive for Asbestos
-  Plaster Ceiling  
Wall Height = ± 9'6"
-  Drop Gypsum Ceiling  
Wall Height = ± 8'6"
-  12" Ceiling Tile  
Wall Height = ± 9'6"

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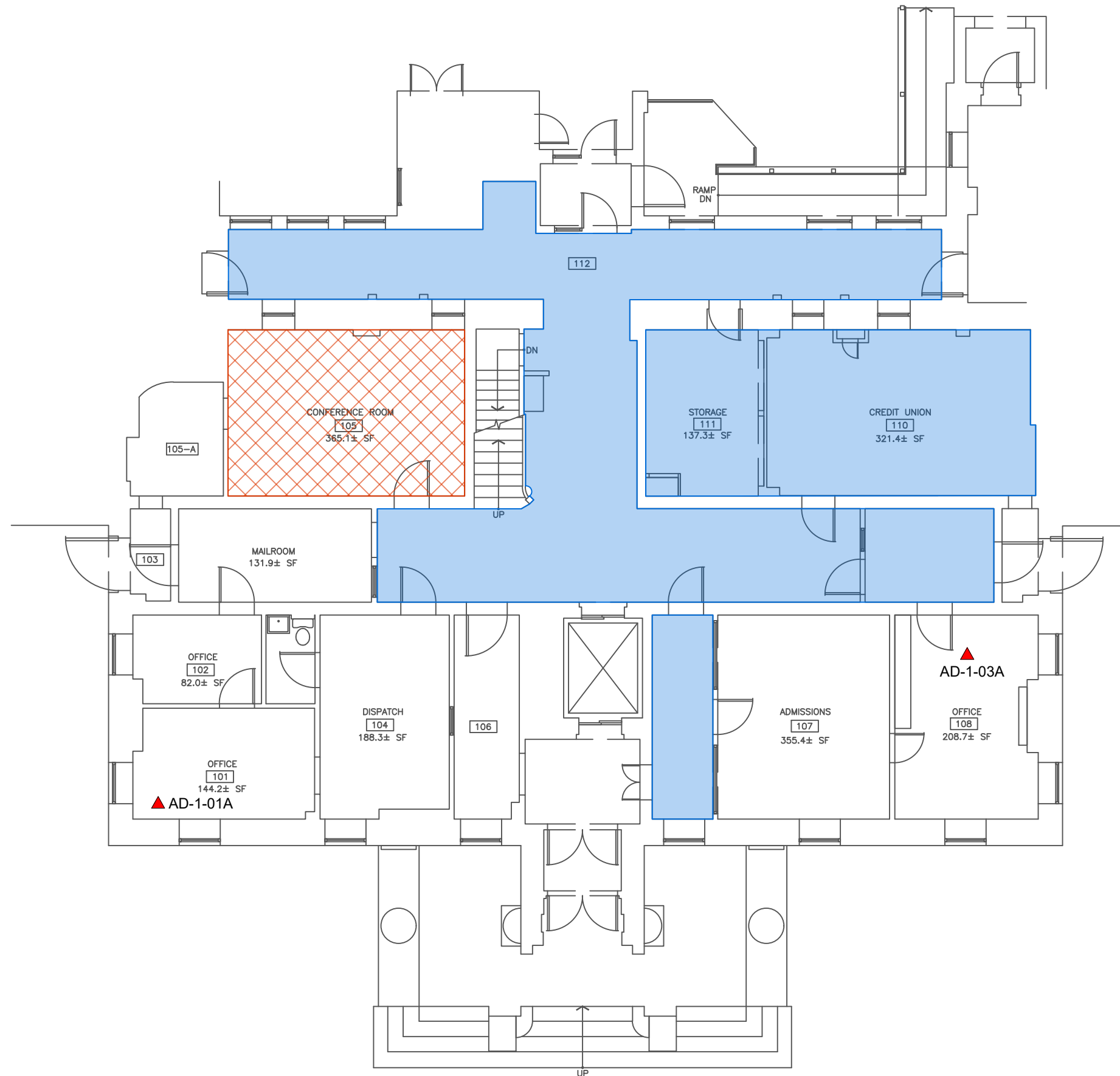
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
**Figure 5**  
Administrative Building  
First Floor

STONE NORTH

STONE SOUTH



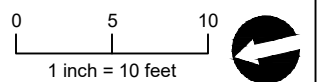
**Legend & Notes**

-  Sample Testing Positive for Asbestos
-  Plaster Ceiling Wall Height = ± 10'7"

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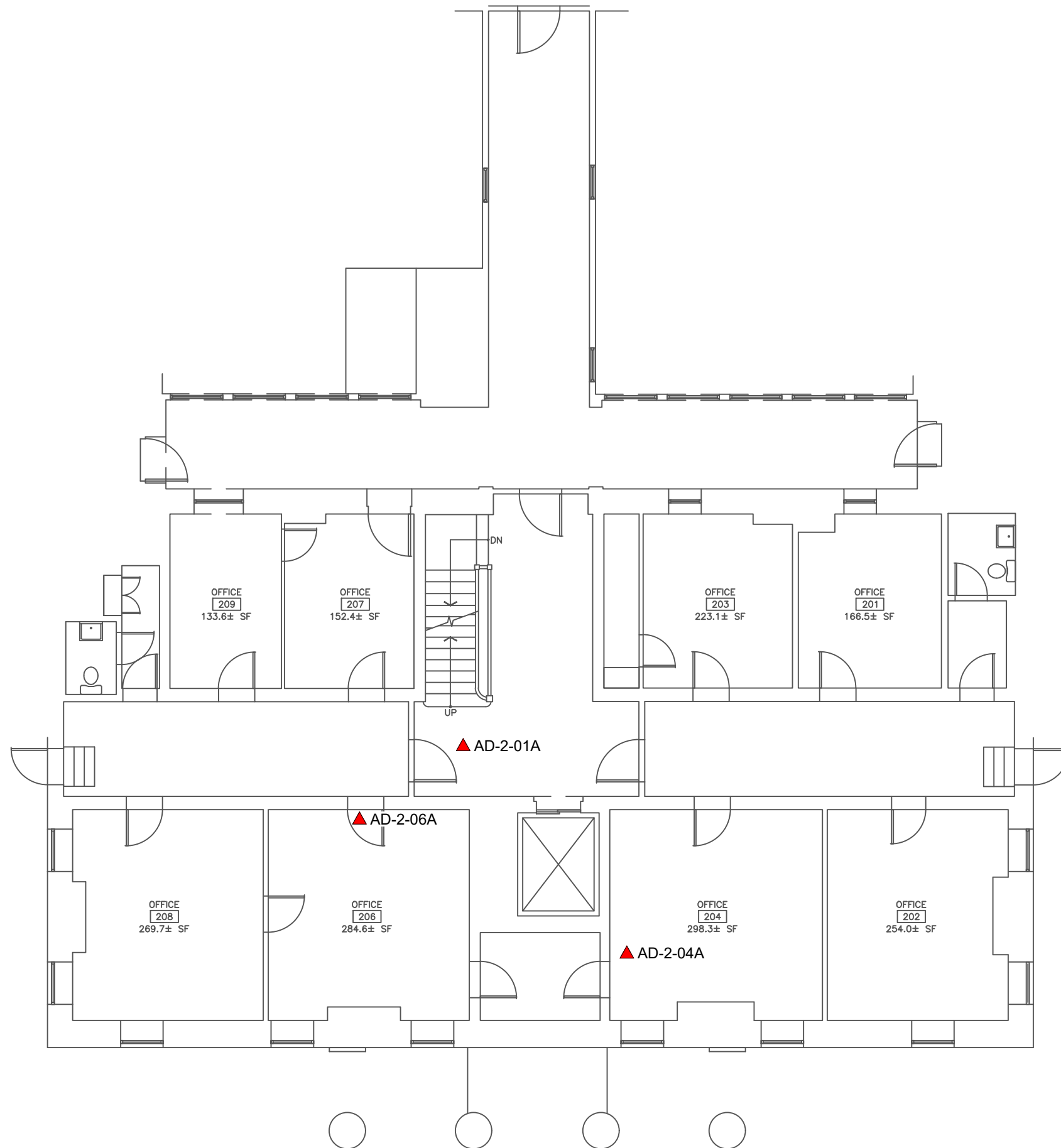
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**Figure 6**  
Administrative Building  
Second Floor

CENTRAL BUILDING

STONE NORTH

STONE SOUTH



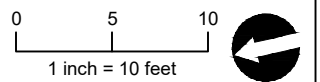
**Legend & Notes**

- ▲ Sample Testing Positive for Asbestos
- Plaster Ceiling Wall Height = ± 9'8"
- Drop Gypsum Ceiling Wall Height = ± 8'6"

**Notes:**

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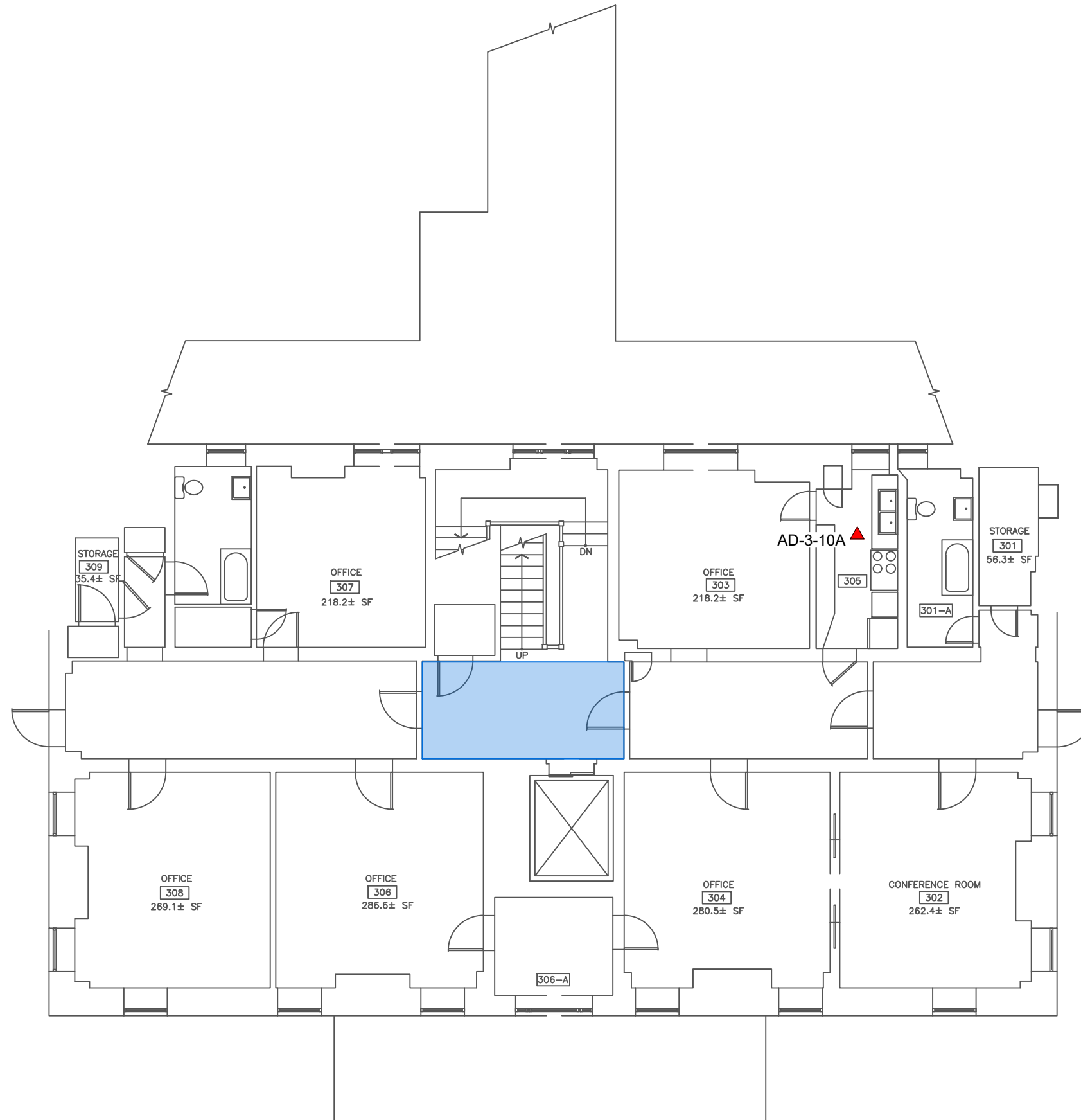
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
**Figure 7**  
Administrative Building  
Third Floor

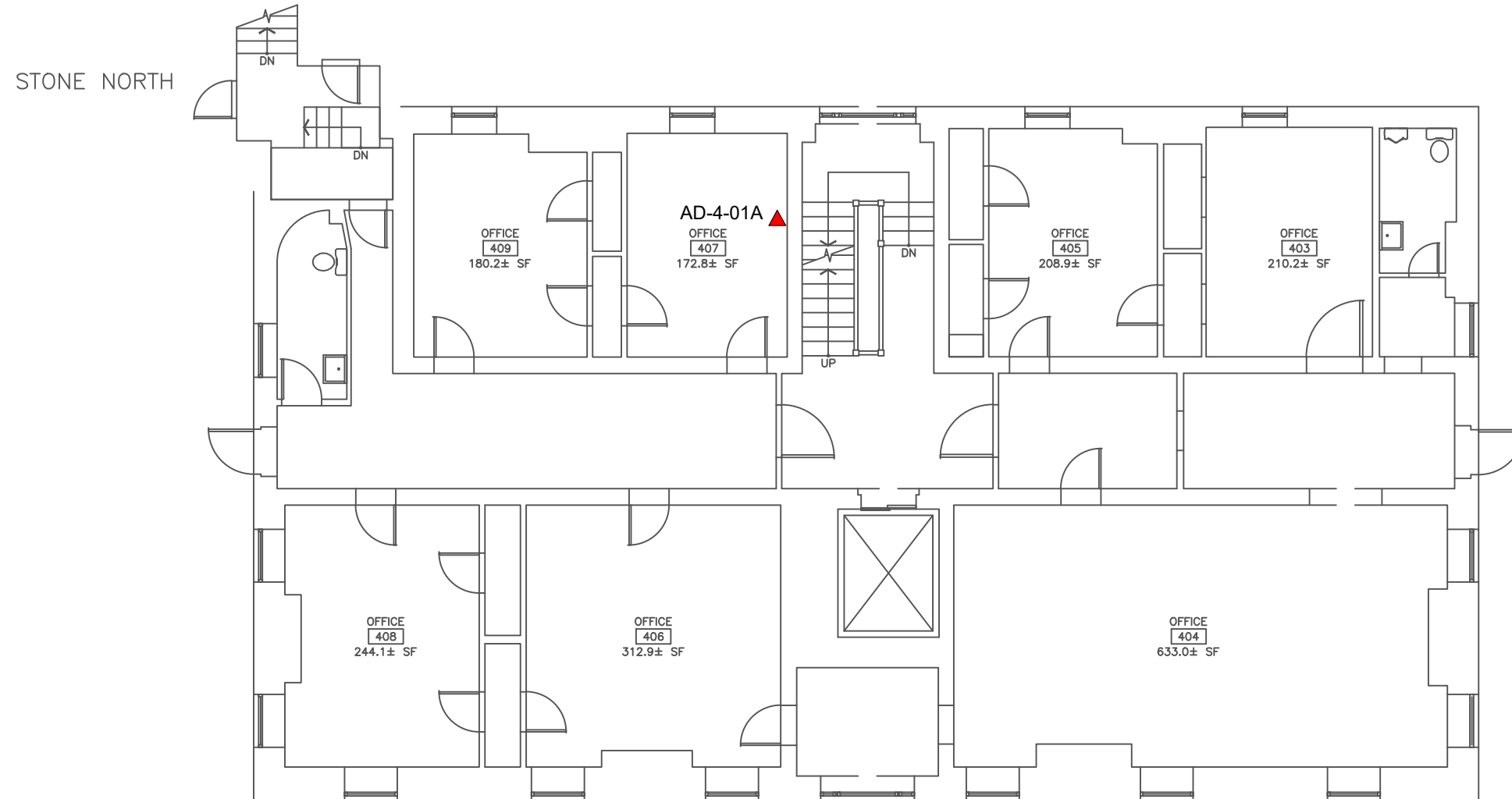
STONE NORTH

STONE SOUTH



**Legend & Notes**

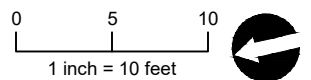
-  Sample Testing Positive for Asbestos
-  Plaster Ceiling Wall Height = ± 11'7"



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
**Site Address**

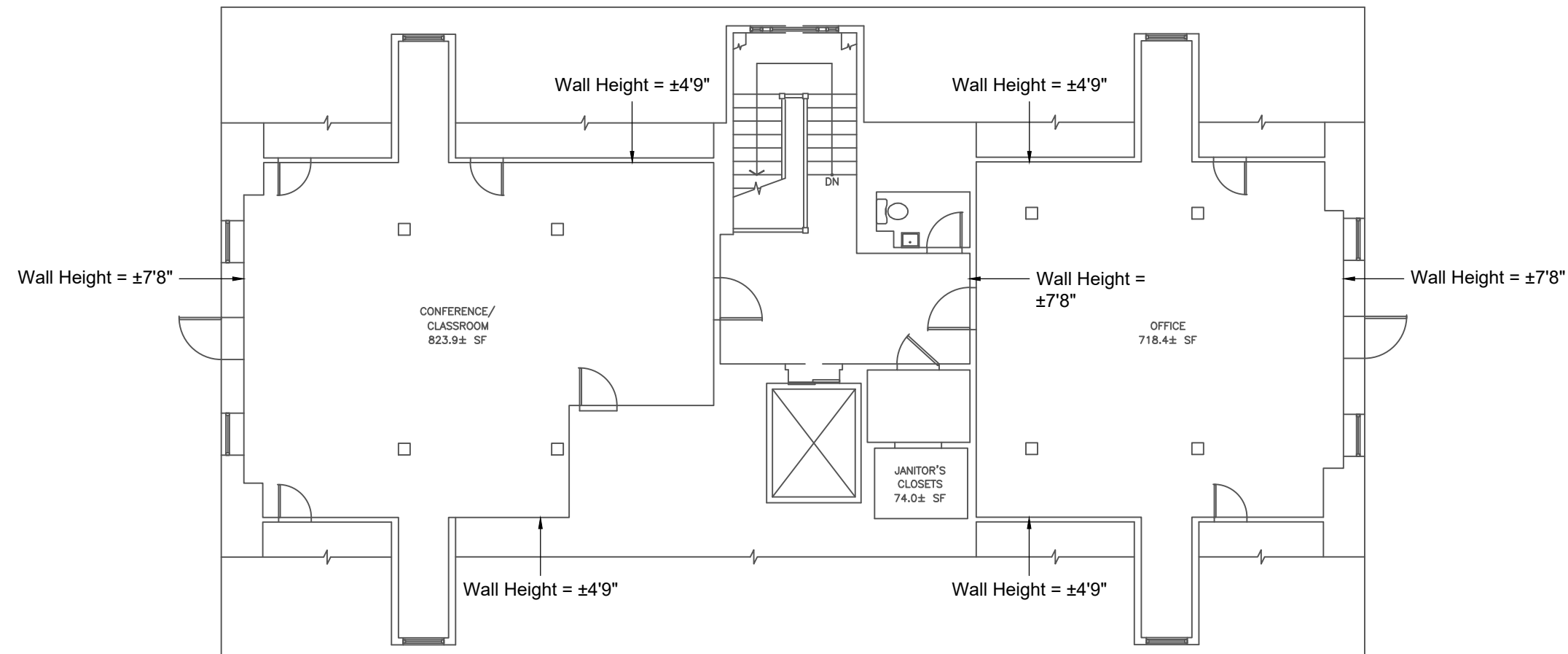
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**Figure 8**  
Administrative Building  
Fourth Floor

**Legend & Notes**

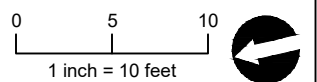
- No Identified Asbestos Containing Materials
-  Plaster Ceiling  
Wall Height Varies



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**Figure 9**  
Administrative Building  
Fifth Floor

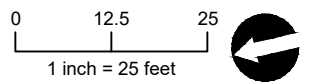
**Legend & Notes**

- ▲ Sample Testing Positive for Asbestos
- Plaster Ceiling  
Wall Height = ± 9'7"
- Drop Gypsum Ceiling  
Wall Height Varies

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**Figure 10**  
South Wing  
First Floor



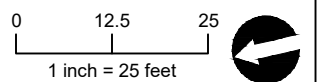
**Legend & Notes**

- ▲ Sample Testing Positive for Asbestos
- Plaster Ceiling  
Wall Height = ± 9'7"
- Drop Gypsum Ceiling  
Wall Height = ± 7'10"

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**Figure 11**  
South Wing  
Second Floor



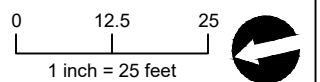
**Legend & Notes**

- ▲ Sample Testing Positive for Asbestos
- Plaster Ceiling  
Wall Height = ± 10'0"
- Drop Gypsum Ceiling  
Wall Height = ± 8'0"

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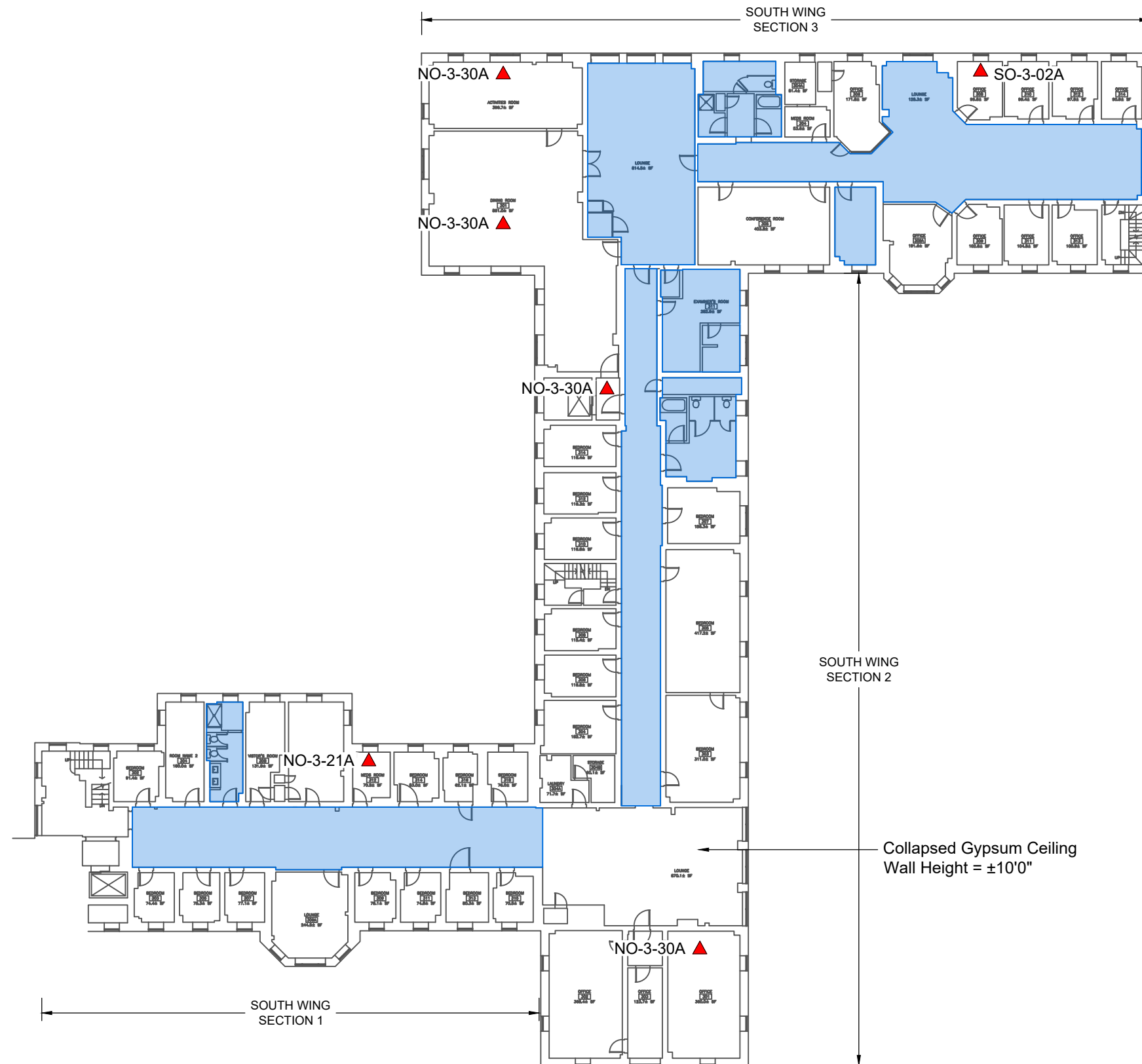
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**Figure 12**  
South Wing  
Third Floor





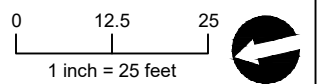
**Legend & Notes**

- ▲ Sample Testing Positive for Asbestos
- Plaster Ceiling  
Wall Height = ± 8'7"
- Drop Gypsum Ceiling  
Wall Height = ± 7'5"

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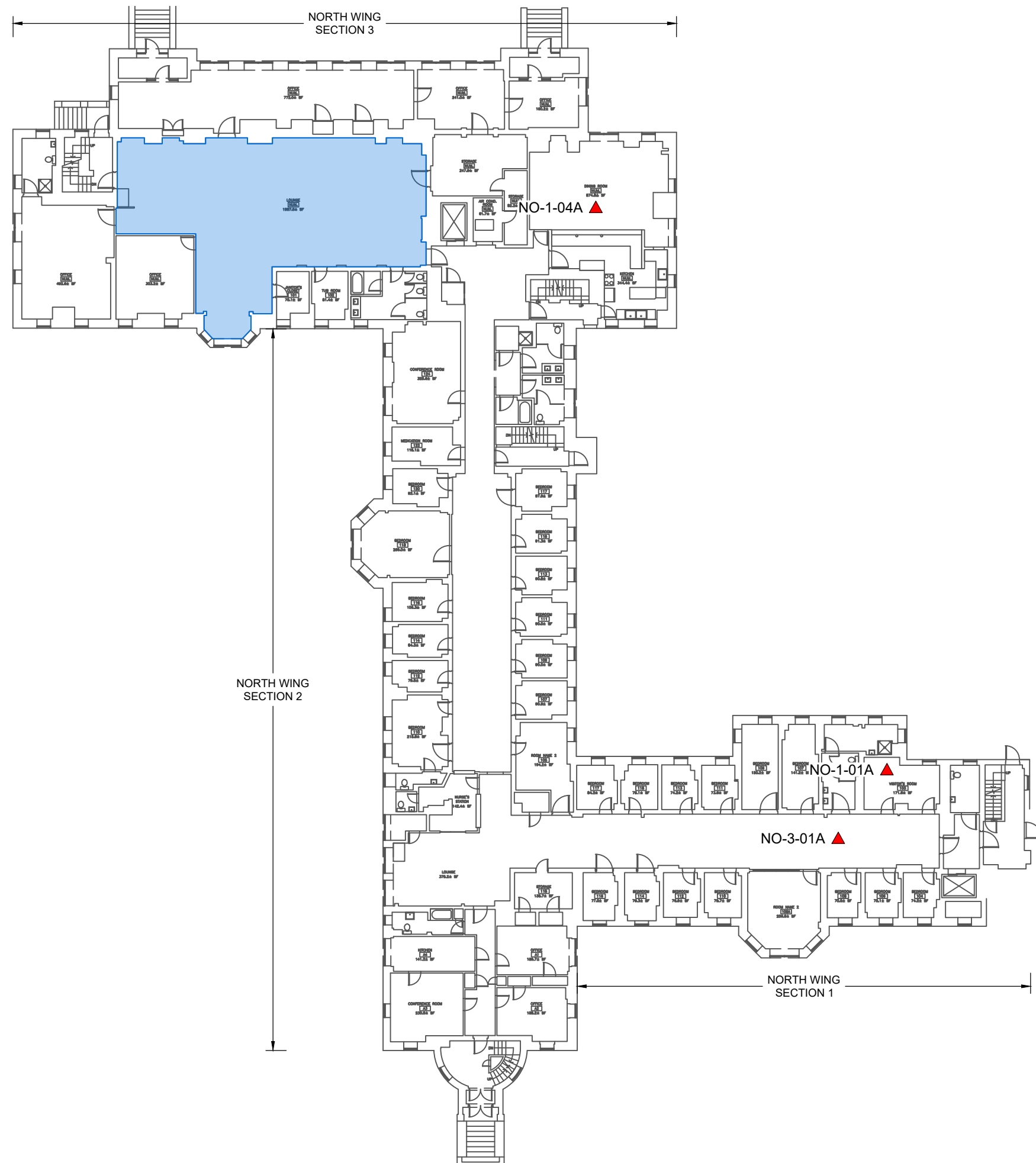
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**Figure 13**  
North Wing  
First Floor



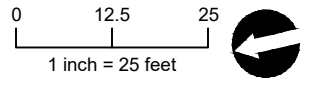
**Legend & Notes**

- ▲ Sample Testing Positive for Asbestos
- Plaster Ceiling  
Wall Height = ± 8'9"
- Drop Gypsum Ceiling  
Wall Height = ± 7'7"

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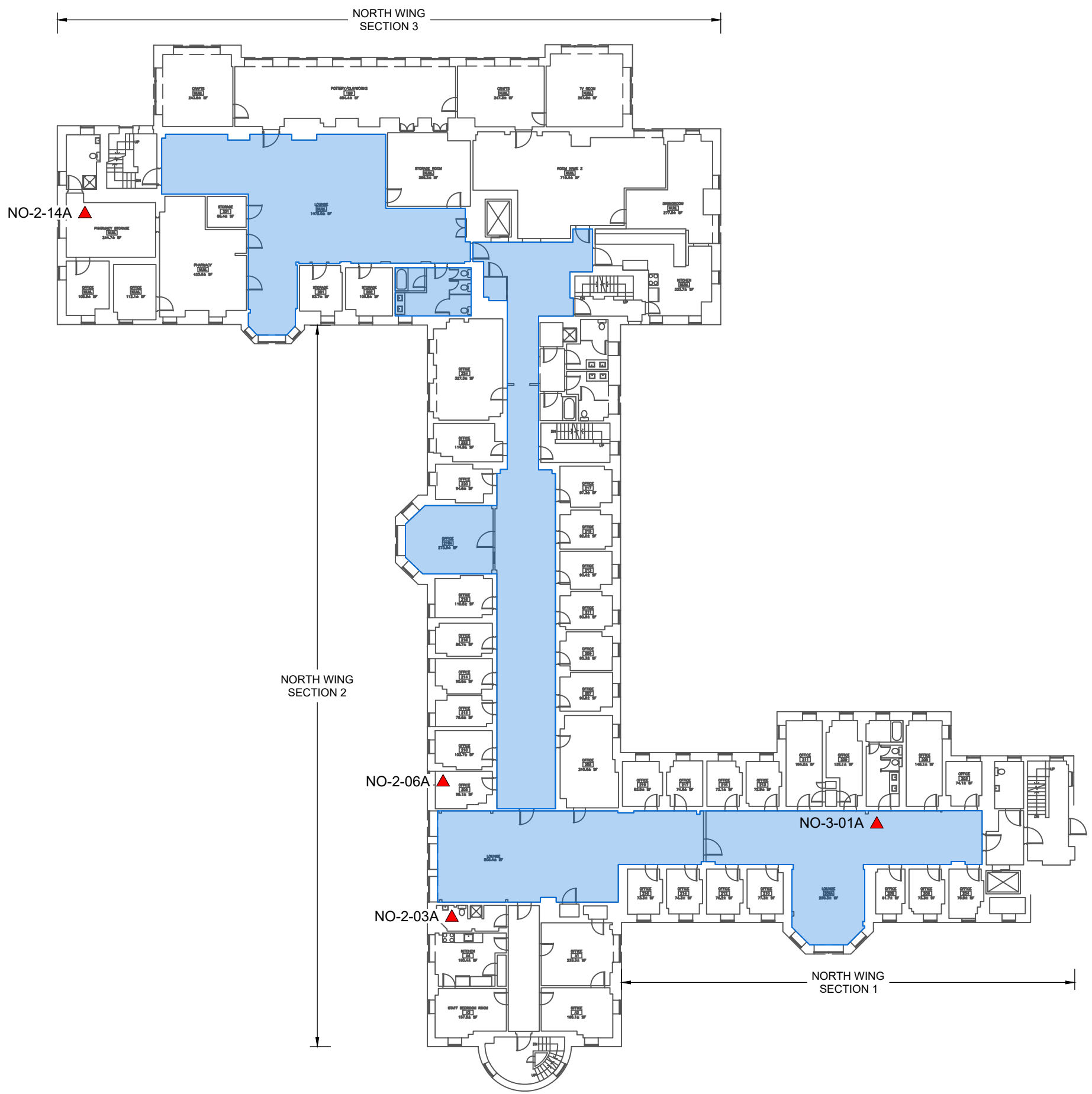
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**Figure 14**  
North Wing  
Second Floor



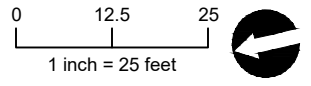
**Legend & Notes**

- ▲ Sample Testing Positive for Asbestos
- Plaster Ceiling  
Wall Height = ± 10'1"
- Drop Gypsum Ceiling  
Wall Height = ± 8'10"

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**Figure 15**  
North Wing  
Third Floor

