

# ROOF REPLACEMENT AND ASSOCIATED WORK AT THE DOROTHEA DIX PSYCHIATRIC CENTER

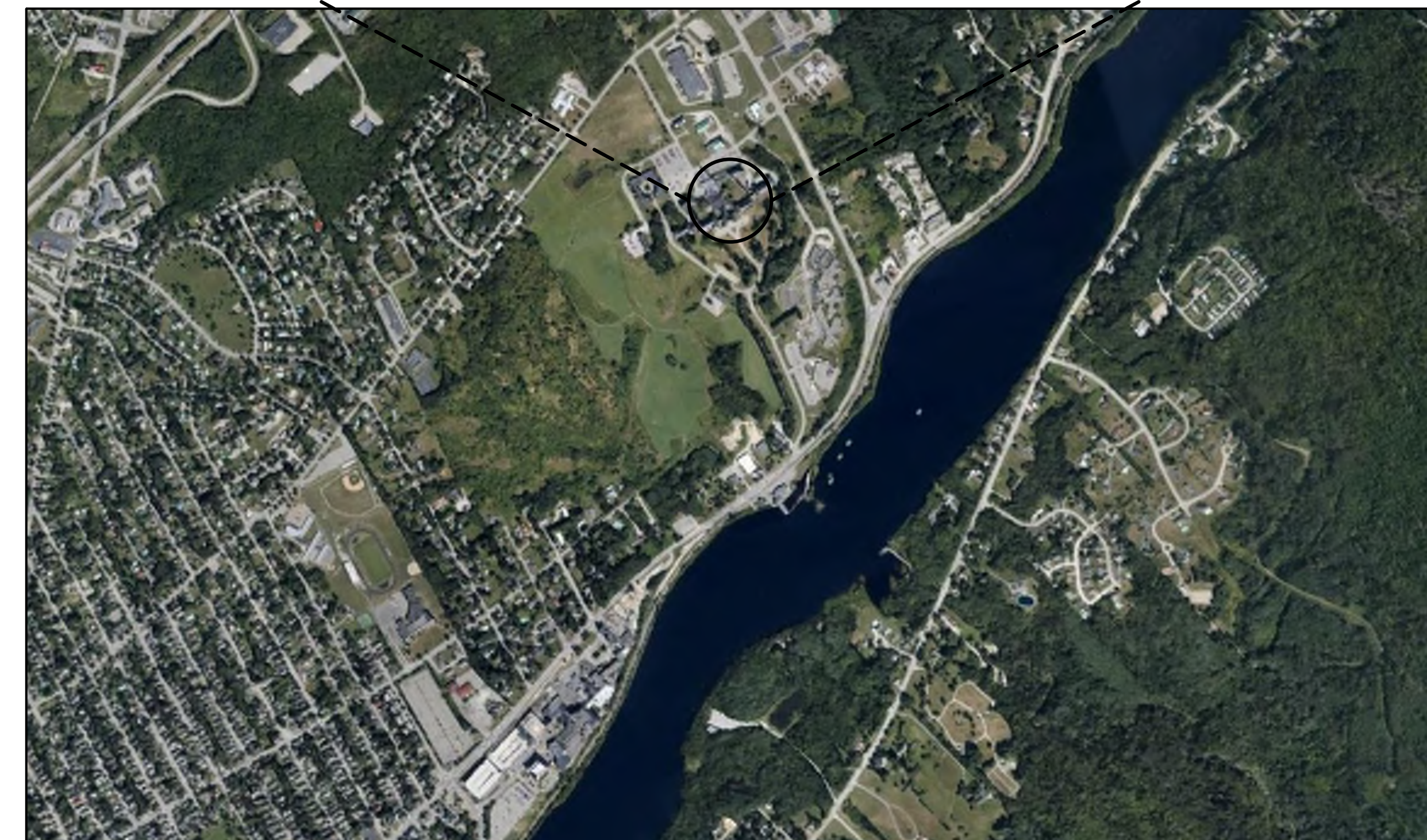
656 STATE STREET  
BANGOR, ME 04402

PREPARED FOR  
DOROTHEA DIX PSYCHIATRIC CENTER  
P.O. BOX 926  
BANGOR, ME 04402

DRAWING NO	TITLE
G100	COVER SHEET
G101	EXISTING AND PROPOSED ROOF CROSS SECTIONS
G102	SITE PLAN AND GENERAL NOTES
A101	ROOF AREAS A, B, AND C PLAN
A102	ROOF AREAS D AND E PLAN
A103	ROOF AREA F PLAN
A104	ROOF AREAS G AND H PLAN
A105	ROOF AREA I PLAN
A201	ELEVATIONS
A202	ELEVATIONS
A203	ELEVATIONS
A204	ELEVATIONS
A205	ELEVATIONS
A206	ELEVATIONS
A501	DETAILS
A502	DETAILS
A503	DETAILS
A504	DETAILS
A505	DETAILS
A506	DETAILS
A507	TYPICAL METAL WALL PANEL DETAILS
A701	MASONRY DETAILS
A702	MASONRY DETAILS
S101	ROOF AREAS D AND E FRAMING PLAN
S501	METAL ROOF DECK DETAILS



SITE MAP  
NOT TO SCALE



LOCATION MAP  
NOT TO SCALE



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PROJECT	ROOF REPLACEMENT AND ASSOCIATED WORK AT THE DOROTHEA DIX PSYCHIATRIC CENTER 656 STATE STREET BANGOR, ME 04402
OWNER	DOROTHEA DIX PSYCHIATRIC CENTER P.O. BOX 926 BANGOR, MAINE 04402

NO.	DATE	DESCRIPTION	BY

PROJECT NO.	838010
CADD FILE	838010 G100
DESIGNED BY	JVL
DRAWN BY	JVL
CHECKED BY	ACP/SRM
DATE	10/20/2022
DRAWING SCALE	NOT TO SCALE

GRAPHIC SCALE

SHEET TITLE

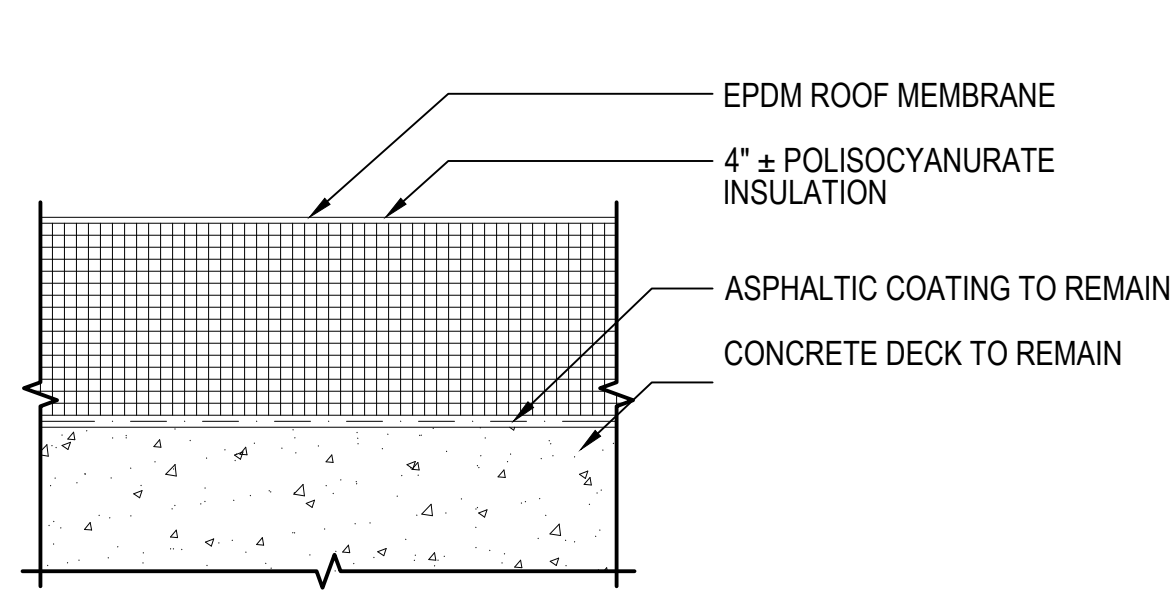
COVER SHEET

DRAWING NO.	G100
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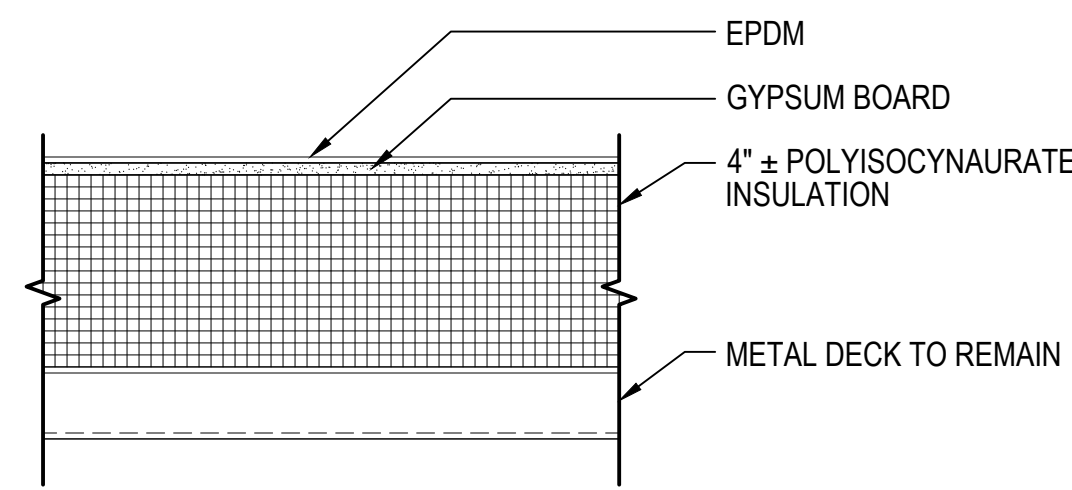


**EXISTING ROOF CROSS SECTIONS**

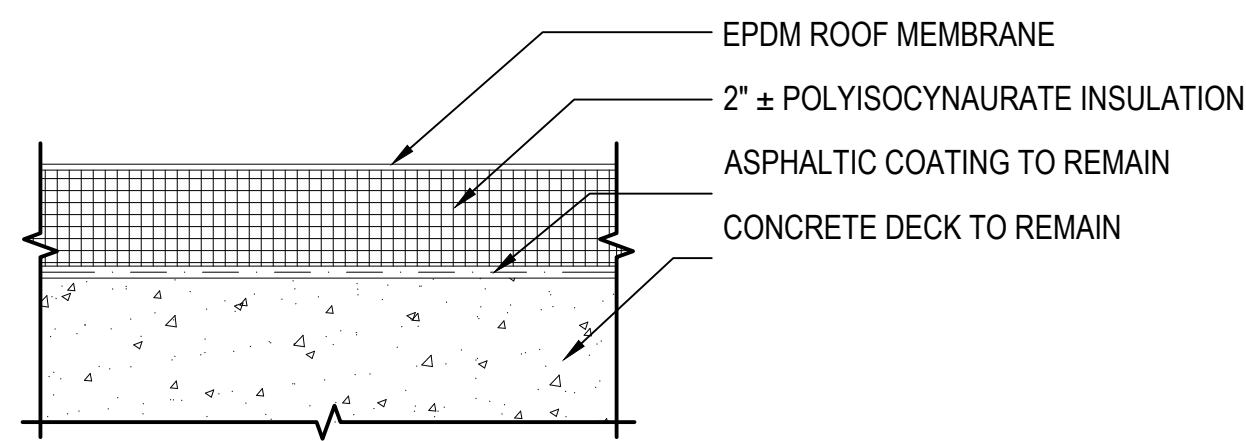
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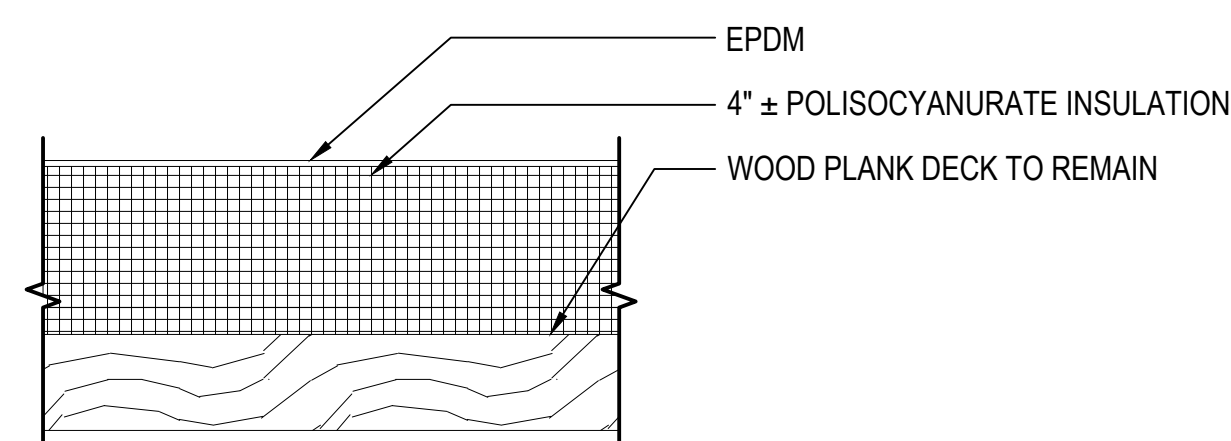
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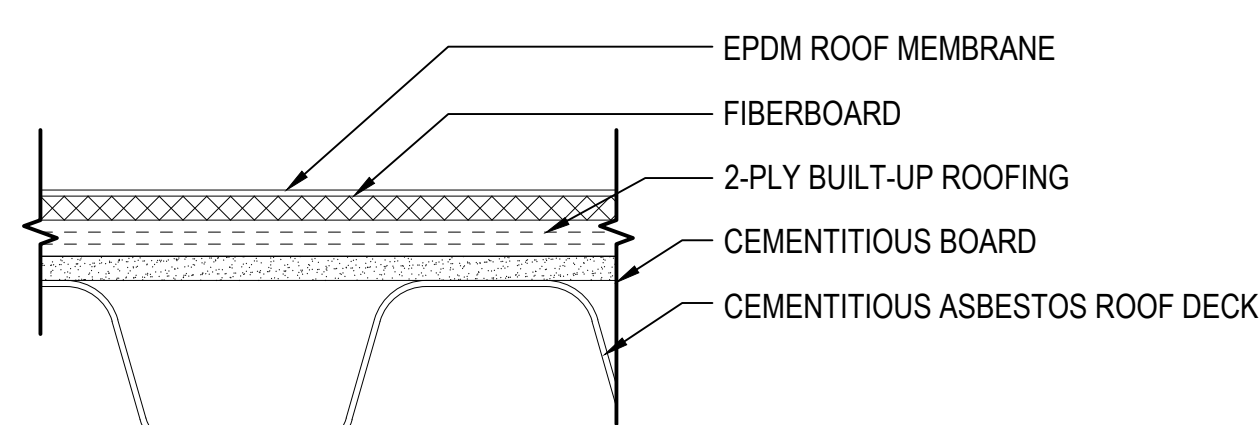
**ROOF AREAS F1, F2 AND F3**



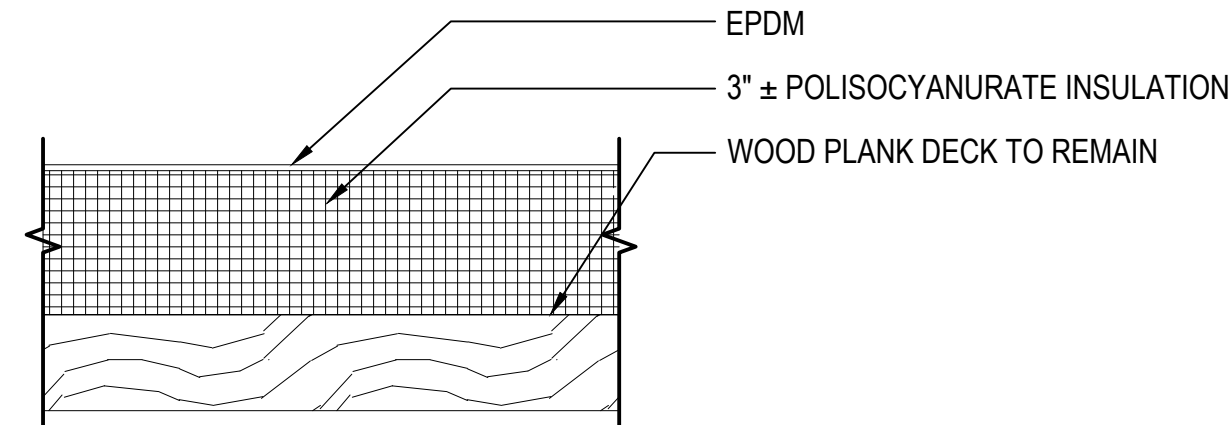
**ROOF AREA B**



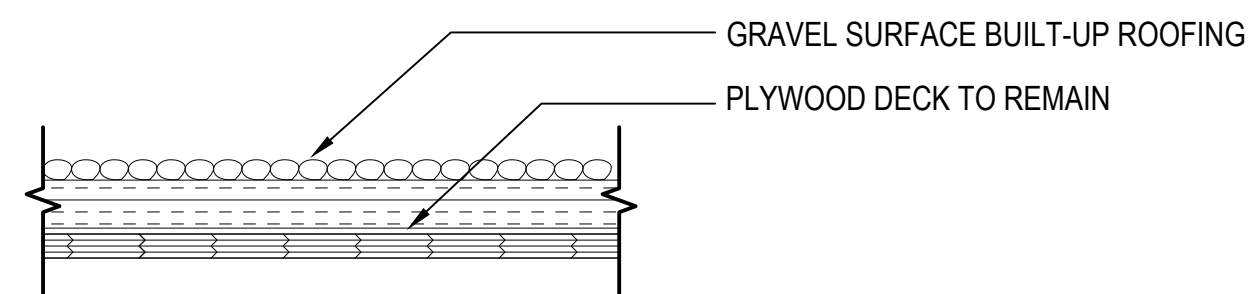
**ROOF AREA G**



**ROOF AREA D (ALTERNATE 1) AND E (ALTERNATE 2)**



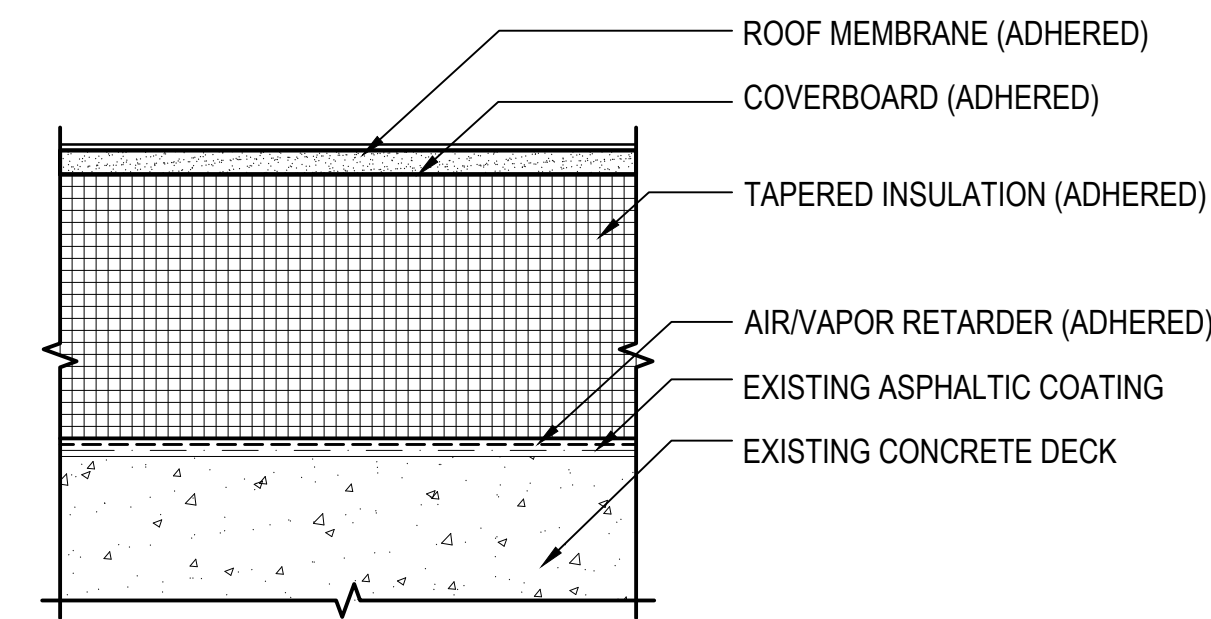
**ROOF AREA H**



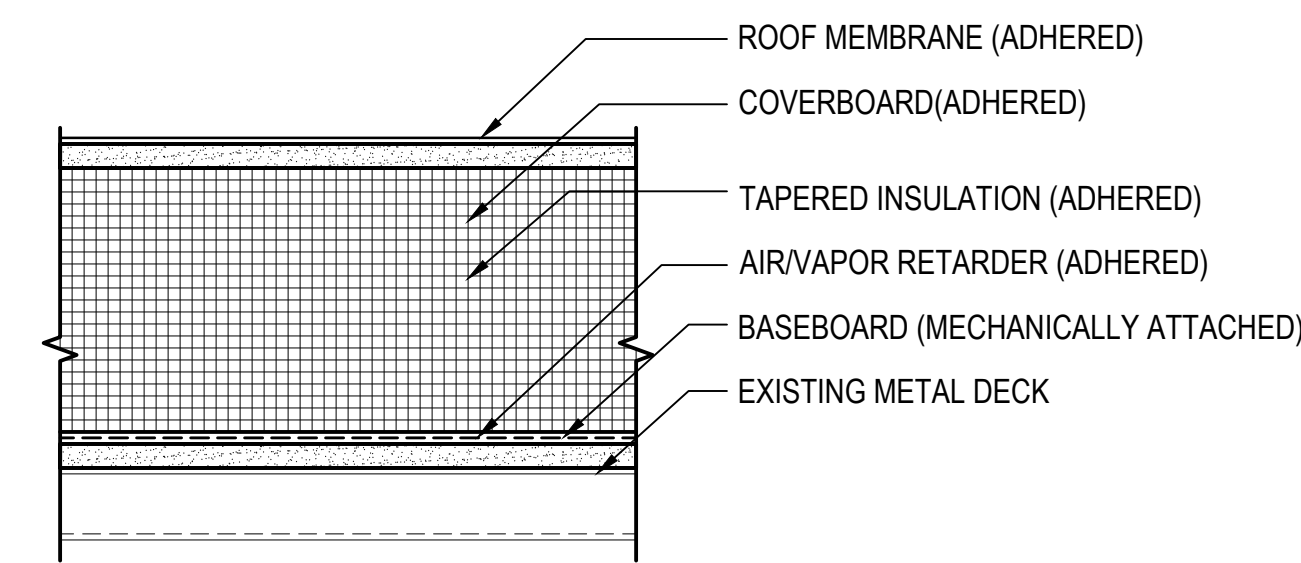
**ROOF AREA I (ALTERNATE 3)**

**NEW CROSS SECTIONS**

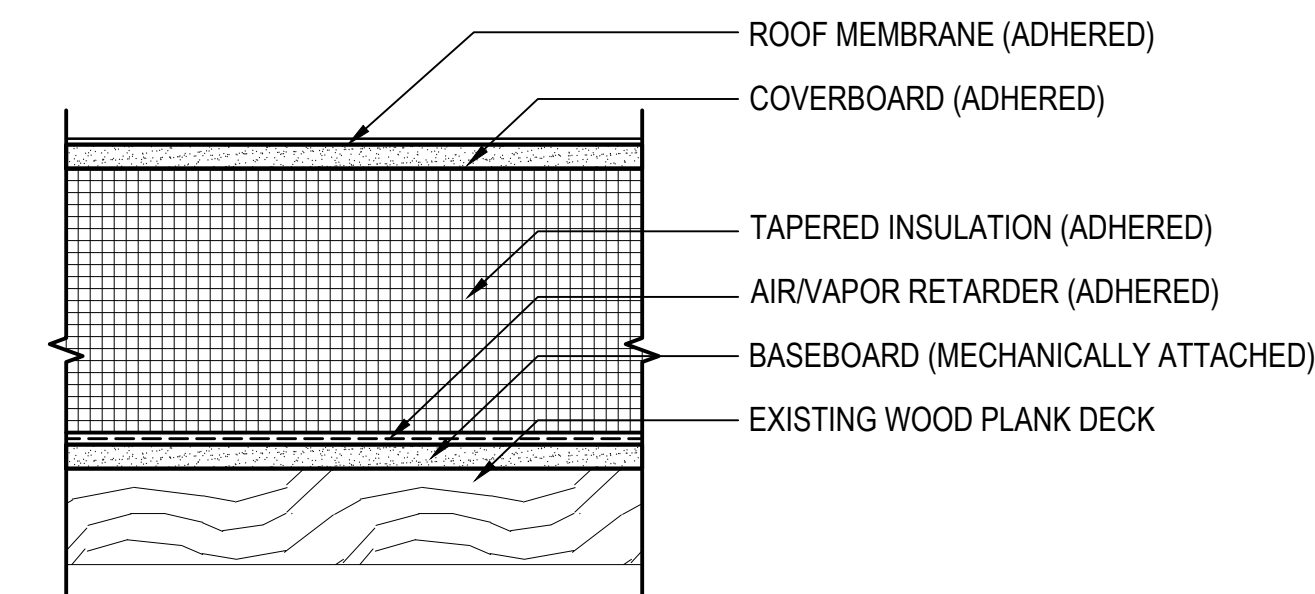
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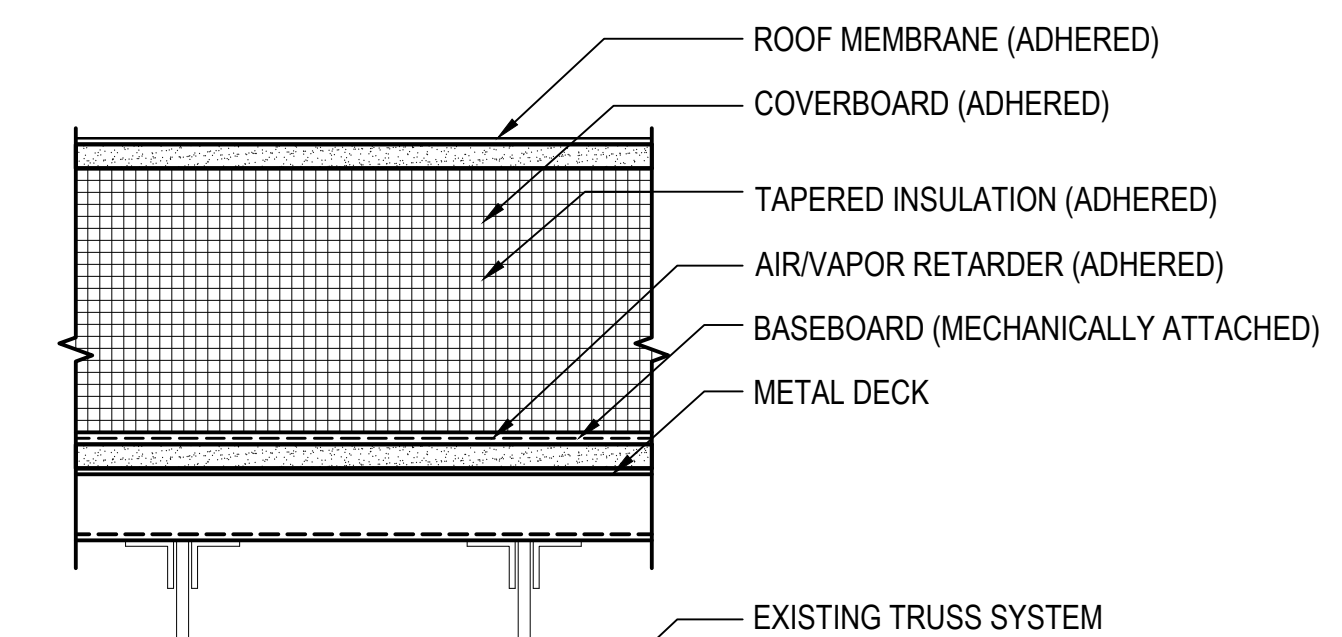
**ROOF AREAS A AND B**



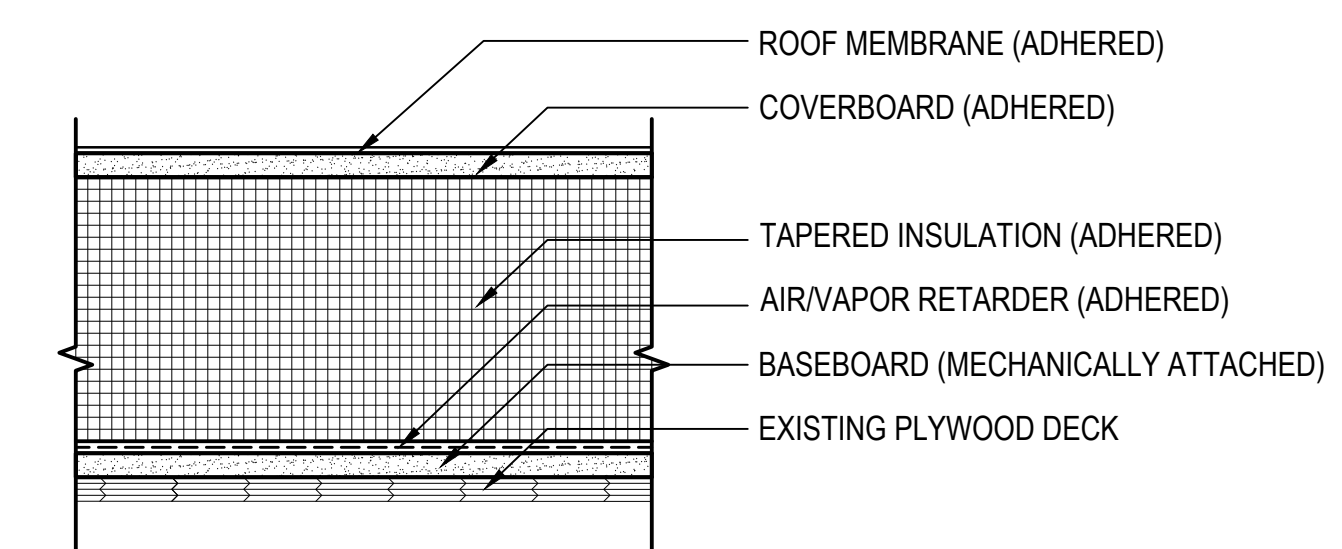
**ROOF AREAS F1, F2 AND F3**



**ROOF AREAS G AND H**



**ROOF AREAS D (ALTERNATE 1) AND E (ALTERNATE 2)**



**ROOF AREA I (ALTERNATE 3)**



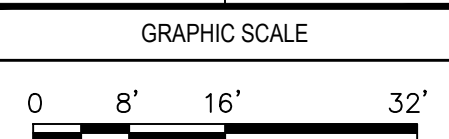
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OWNER  
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DESIGNED BY	JVL		
DRAWN BY	JVL		
CHECKED BY	ACP/SRM		
DATE	10/20/2022		
DRAWING SCALE	3"=1'-0"		



SHEET TITLE

**EXISTING AND  
PROPOSED ROOF  
CROSS SECTIONS**

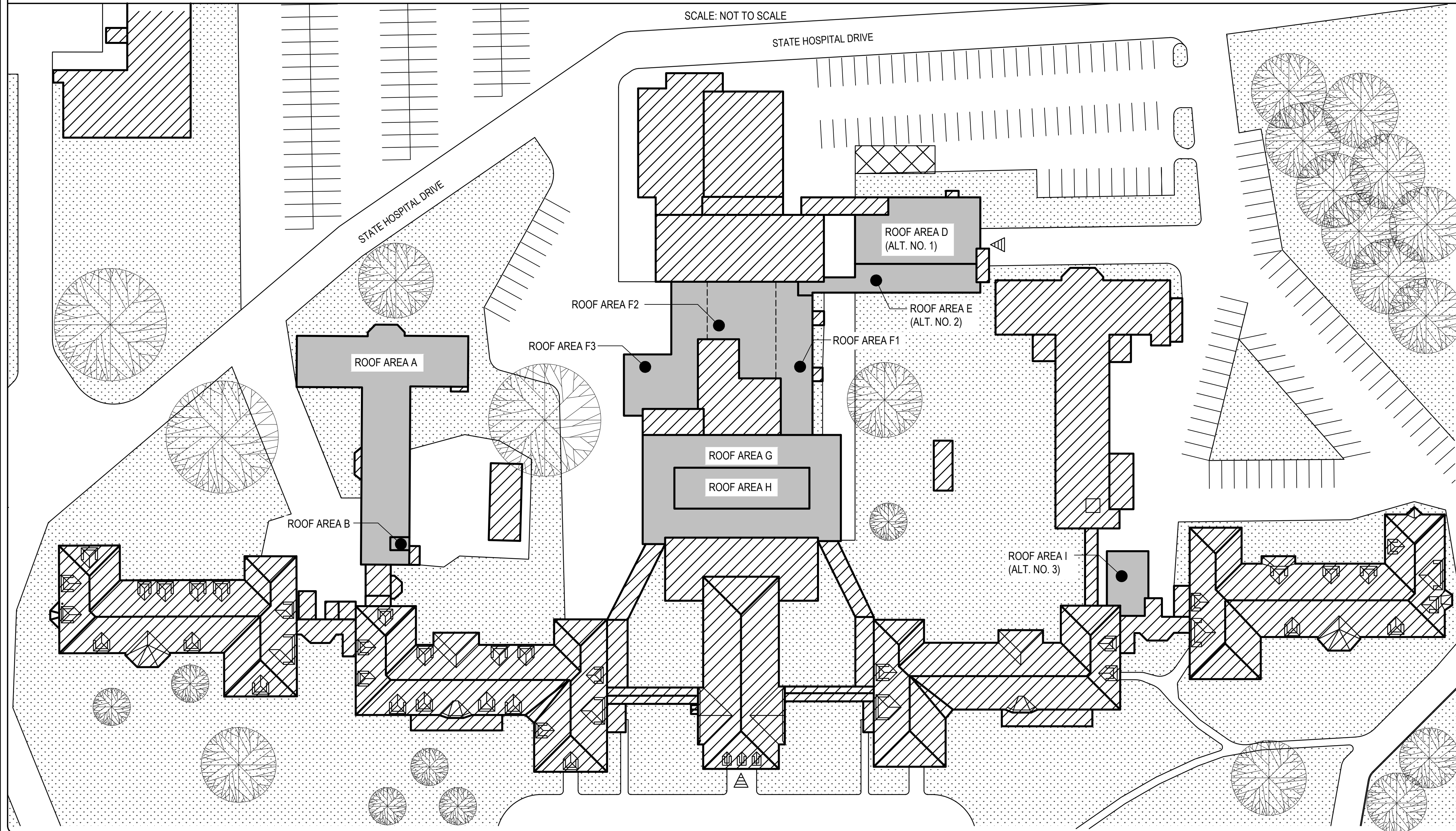
DRAWING NO.

**G101**



**SITE PLAN**

SCALE: NOT TO SCALE



**GENERAL NOTES**

1. THE INFORMATION SHOWN ON THE DRAWING HAS BEEN COMPILED FROM VARIOUS SOURCES, AND MAY NOT REFLECT ACTUAL CONDITIONS AT THE TIME OF CONSTRUCTION.
2. FOR THE SAKE OF CLARITY, EACH INDIVIDUAL DETAIL ON THE ROOF PLAN HAS NOT BEEN INDICATED. INSTALLATION DETAILS HAVE BEEN INDICATED FOR TYPICAL COMPONENTS AT RANDOM LOCATIONS.
3. HATCH PATTERNS ARE FOR REPRESENTATION ONLY AND SHOULD NOT BE USED AS A MEANS FOR QUANTIFYING.
4. DISCREPANCIES NOTED BY THE CONTRACTOR IN THE DRAWINGS OR SPECIFICATIONS MUST BE BROUGHT TO THE OWNER'S AND ENGINEER'S ATTENTION PRIOR TO BID SUBMISSION.
5. ALL ITEMS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS APPLICABLE TO THE PROJECT.
6. THE CONTRACTOR SHALL REPORT DETERIORATED OR UNSUITABLE STRUCTURAL DECK OR SUBSTRATES TO THE OWNER PRIOR TO PERFORMING ROOFING INSTALLATION WORK.
7. THE CONTRACTOR IS CAUTIONED THAT DUE TO BUILDING OCCUPANCY, THE OWNER REQUIRES COMPLIANCE ON WORK HOURS, SCHEDULING, SET-UP, CLEANUP, PARKING, SECURITY, ETC. REFER TO SPECIFICATIONS FOR OWNER REQUIREMENTS.
8. NOTIFY THE OWNER OF WORK LOCATIONS A MINIMUM OF 72 HOURS IN ADVANCE IN ORDER THAT OCCUPANCY ADJACENT THE WORK AREAS MAY BE CONTROLLED.
9. ROOFING AND FLASHING SHALL BE 100% WEATHER TIGHT ON A DAILY BASIS. REMOVE ONLY AS MUCH ROOFING AS CAN BE REPLACED ON THE SAME DAY. PHASED CONSTRUCTION IS NOT PERMITTED.
10. FOR THE SAKE OF CLARITY, SECUREMENT FASTENERS ARE NOT SHOWN ON THE DETAIL DRAWINGS. REFER TO THE SPECIFICATIONS FOR FASTENER TYPES AND SPACING.
11. DETAILS NOT DEPICTED SHALL BE CONSTRUCTED IN A MANNER CONSISTENT WITH THE DETAIL DRAWINGS.
12. THE DEFECTS NOTED INDICATE APPROXIMATE LOCATIONS. THEY ARE NOT INTENDED TO DEFINE LIMITS OF WORK. AREAS NOT NOTED ON THESE DRAWINGS EXHIBITING SIMILAR DEFECTS AS THOSE SHOWN SHALL BE REPAIRED IN A SIMILAR MANNER.
13. REFER TO CONTRACT DOCUMENTS FOR SCHEDULE LIMITATIONS OF EXTERIOR WORK.
14. REFER TO SPECIFICATION FOR HAZARDOUS MATERIAL DEMOLITION AND HANDLING.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND LEGALLY DISPOSING OF ALL MATERIALS LISTED AND/OR INDICATED ON THE DRAWINGS OR NOTED IN THE WRITTEN SPECIFICATIONS - TYPICAL.
16. THE CONTRACTOR IS RESPONSIBLE FOR CHECKING AND VERIFYING ALL DIMENSIONS, CONDITIONS, HEIGHTS, MATERIAL THICKNESSES, ETC., IN THE FIELD PRIOR TO SUBMITTING THEIR BID AND COMMENCING CONSTRUCTION.
17. THE BUILDING SHALL BE MAINTAINED IN A DUST FREE CONDITION. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY PROTECTION TO ENSURE THE INTERIOR OF THE BUILDING REMAINS DUST FREE. NO DEMOLITION CAN PROCEED UNTIL AN APPROVED TEMPORARY PROTECTION SYSTEM IS IN PLACE.
18. DUE TO THE LAYOUT AROUND THE PROJECT SITE THE CONTRACTOR MUST PROVIDE DETAILED TRAFFIC AND SCAFFOLDING PLANS TO THE OWNER FOR REVIEW. THE CONTRACTOR WILL ONLY BE ALLOWED THE AREAS SHOWN FOR SETUP AND STORAGE OF MATERIALS.
19. JOB SITE SAFETY IS THE CONTRACTOR'S RESPONSIBILITY. GALE REPRESENTATIVES INCLUDING SUBCONSULTANTS RETAINED BY GALE, MAY VISIT THE JOB SITE FROM TIME TO TIME. THESE VISITS ARE FOR CLARIFICATIONS OF SPECIFIC DESIGN RELATED ISSUES ONLY AND ARE NOT FOR THE PURPOSES OF JOB SITE SAFETY. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO COMPLY WITH ALL SITE SAFETY APPLICABLE REQUIREMENTS.
20. REFER TO SECTION 01 23 00 - ALTERNATES FOR ADDITIONAL INFORMATION.

**TAPERED INSULATION LAYOUT NOTES**

1. CONCEPTUAL TAPERED INSULATION LAYOUT TO PROVIDE MINIMUM INSULATION HEIGHTS AT ROOF TO WALL AND PERIMETER LOCATIONS. SPECIFIC TAPERED LAYOUT TO BE DEVELOPED BY CONTRACTOR IN CONJUNCTION WITH INSULATION SUPPLIER.
2. ADJUSTMENTS TO WOOD BLOCKING HEIGHTS AND CONFIGURATIONS OF FLASHINGS TO CONFORM TO TAPERED INSULATION LAYOUT IS THE RESPONSIBILITY OF THE CONTRACTOR. NO ADDITIONAL COSTS WILL BE ALLOWED TO THE CONTRACTOR IF PROPOSED DETAIL CONFIGURATIONS ARE ALTERED.
3. ALL ROOF PENETRATIONS ARE NOT SHOWN ON THIS CONCEPTUAL LAYOUT; PROVIDE CRICKETS BEHIND UNITS TO PROMOTE DRAINAGE. CONTRACTOR TO VERIFY EXISTING ROOF DECK SLOPE AS THE WORK PROGRESSES.
4. THE STRUCTURAL SLOPE AT ROOF AREAS TO RECEIVE 1/8" PER FOOT TAPERED INSULATION (ROOF AREAS A, B, D, E, F1, F3, G, H, AND I) IS ASSUMED TO BE 1/8" PER FOOT MINIMUM. FIELD MODIFICATIONS MAY BE REQUIRED TO PREVENT PONDING.
5. THE STRUCTURAL SLOPE AT ROOF AREAS TO RECEIVE FLAT STOCK INSULATION (ROOF AREA F2) IS ASSUMED TO BE 1/4" PER FOOT MINIMUM. FIELD MODIFICATIONS MAY BE REQUIRED TO PREVENT PONDING.
6. ANY PONDING WATER ENCOUNTERED AFTER THE INSTALLATION OF THE NEW ROOF SYSTEM WILL BE ADDRESSED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. PONDING WATER SHALL BE DEFINED AS 1/2" OF STANDING WATER WITHIN A 100 SQUARE FOOT AREA AFTER A 24 HOUR PERIOD.
7. REVIEW OF THE EXPOSED ROOF DECKS BY THE CONTRACTOR WILL BE REQUIRED PRIOR TO PLACEMENT OF THE INSULATION SYSTEM TO DETERMINE POTENTIAL UNFORESEEN LOW AREAS.

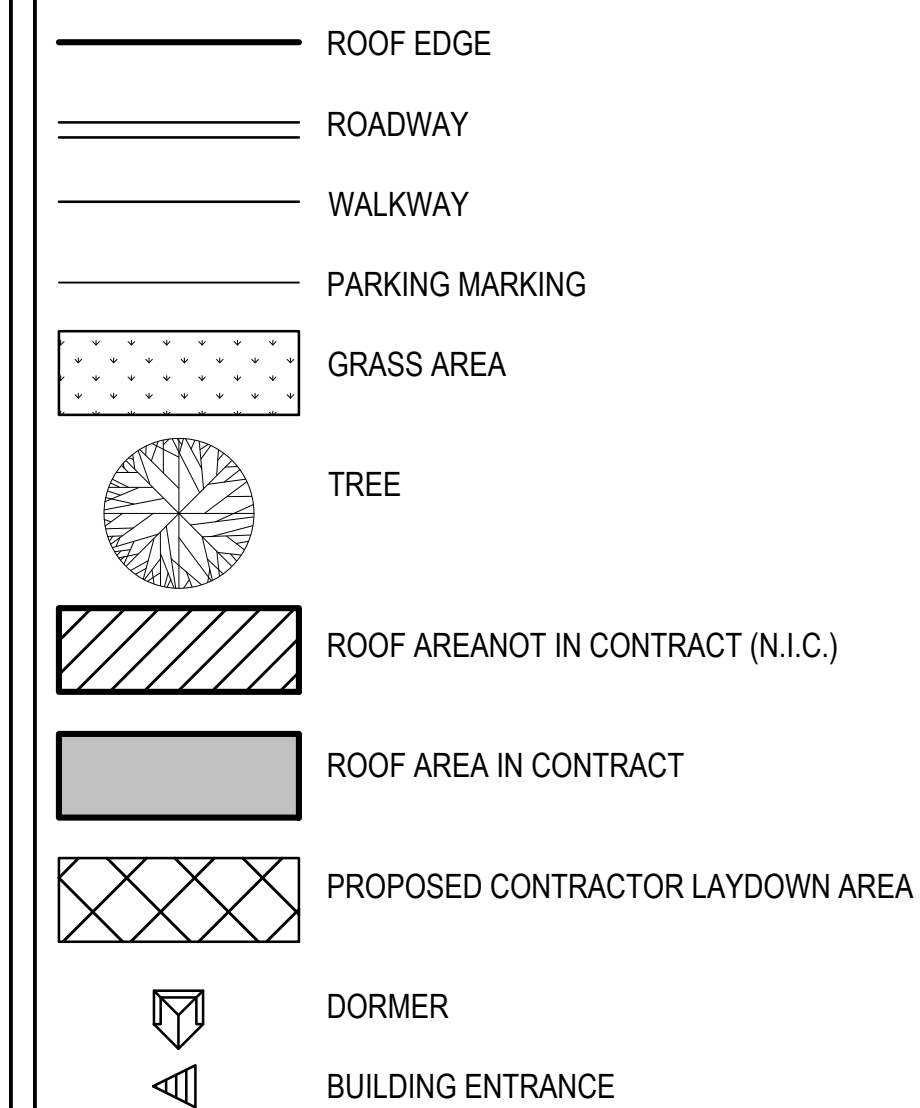
**SITE NOTES**

1. THE CONTRACTOR SHALL BASE STAGING REQUIREMENTS ON THE INFORMATION SHOWN. THE LOCATIONS ARE APPROXIMATE AND MAY BE SUBJECT TO CHANGE.
2. CONTRACTOR SHALL PROVIDE ALL OVERHEAD PROTECTION AT BUILDING ENTRANCE WAYS IN ACCORDANCE WITH OSHA, LOCAL, STATE, AND FEDERAL GUIDELINES.
3. CONTRACTOR SHALL PROVIDE ALL TEMPORARY BARRICADES TO PREVENT PEDESTRIANS FROM ACCESSING THE WORK AREA OR FROM WALKING UNDER WORK LOCATIONS.
4. ALL OVERHEAD PROTECTION SHALL EXTEND A MINIMUM OF 8'-0" BEYOND THE BUILDINGS. BEYOND 8'-0", PROVIDE FENCING TO A POINT BEYOND THE CONTRACT LIMIT LINE.
5. CONTRACTOR SHALL PROVIDE TEMPORARY BARRICADES AT PEDESTRIAN WALKWAYS. CONTRACTOR WILL BE REQUIRED TO PROVIDE A MONITOR AT GROUND LEVEL TO WARN PEDESTRIAN TRAFFIC OF ABOVE ROOF LINE WORK.
6. THE CONTRACTOR IS CAUTIONED THAT THE DRIVES AND WALKWAYS IMMEDIATELY ADJACENT TO THE CONTRACT LIMIT LINE WILL BE ACTIVE AND OCCUPIED DURING CONSTRUCTION. CONTRACTOR SHALL ACCOMMODATE OWNER'S VEHICLE AND PEDESTRIAN REQUIREMENTS AND SHALL COORDINATE ACCESS TO ADJACENT BUILDINGS.

**SCHEDULE OF ALTERNATES**

1. **ALTERNATE NUMBER 1** SHALL INCLUDE THE SCOPE OF WORK ASSOCIATED WITH THE REMOVAL AND REPLACEMENT OF ROOF AREA D, REMOVAL AND REPLACEMENT OF EXISTING TRANSITE ROOF DECK WITH NEW CORRUGATED METAL DECKING, AND ASSOCIATED MASONRY AND RISING WALL REPAIRS.
2. **ALTERNATE NUMBER 2** SHALL INCLUDE THE SCOPE OF WORK ASSOCIATED WITH THE REMOVAL AND REPLACEMENT OF ROOF AREA E, REMOVAL AND REPLACEMENT OF EXISTING TRANSITE ROOF DECK WITH NEW CORRUGATED METAL DECKING, AND ASSOCIATED MASONRY AND RISING WALL REPAIRS.
3. **ALTERNATE NUMBER 3** SHALL INCLUDE THE SCOPE OF WORK ASSOCIATED WITH THE REMOVAL AND REPLACEMENT OF ROOF AREA I AND ASSOCIATED MASONRY REPAIRS.

**SITE PLAN LEGEND**



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DATE	10/20/2022		
DRAWING SCALE	NOT TO SCALE		

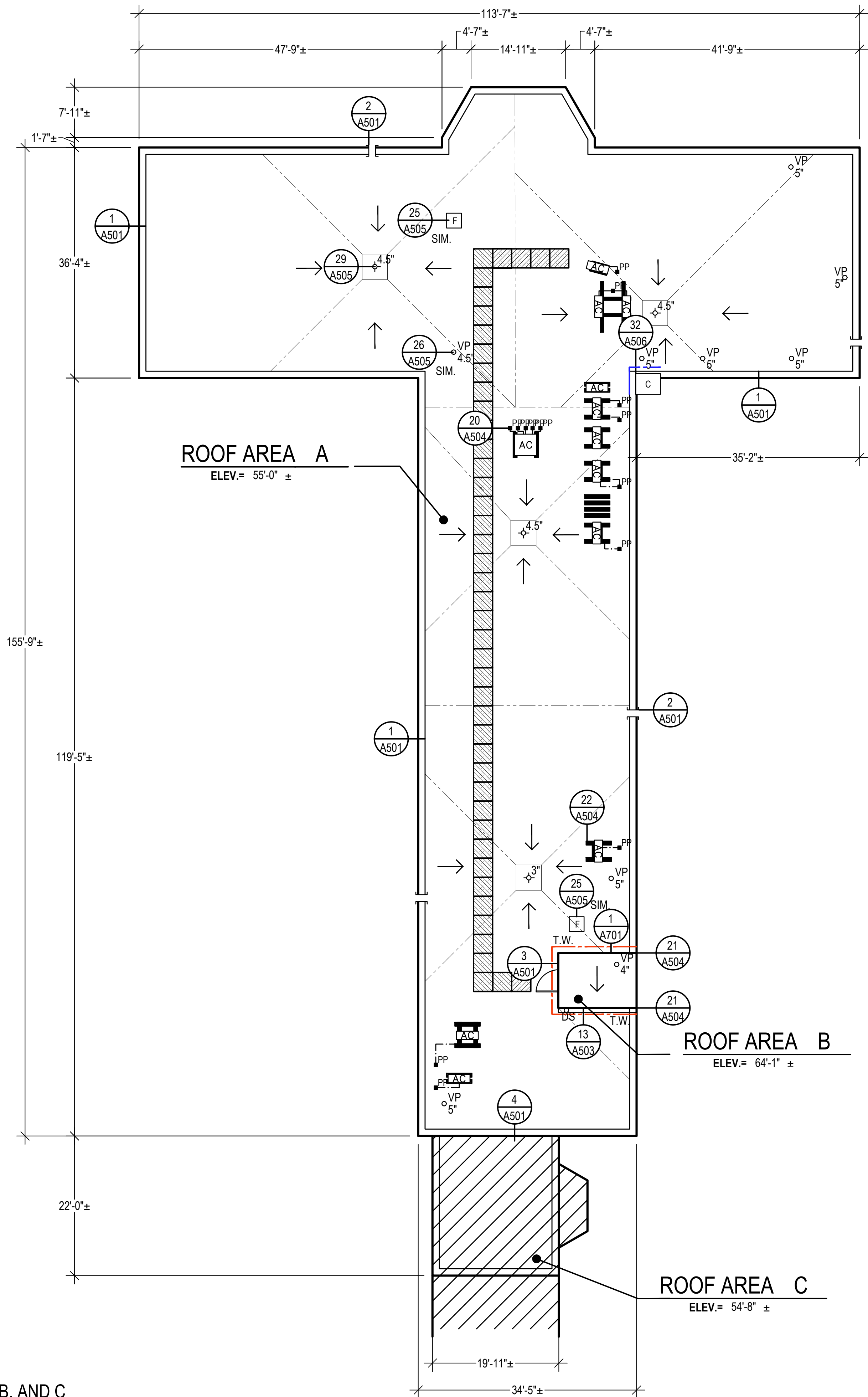
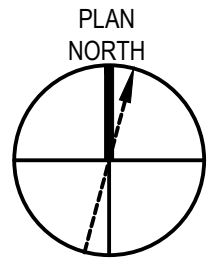
GRAPHIC SCALE

SHEET TITLE

**SITE PLAN AND GENERAL NOTES**

DRAWING NO.	G102
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**1 ROOF AREAS A, B, AND C**  
SCALE: 3/32"=1'-0"

REFER TO SHEET G102 FOR GENERAL NOTES AND TAPERED INSULATION LAYOUT NOTES.

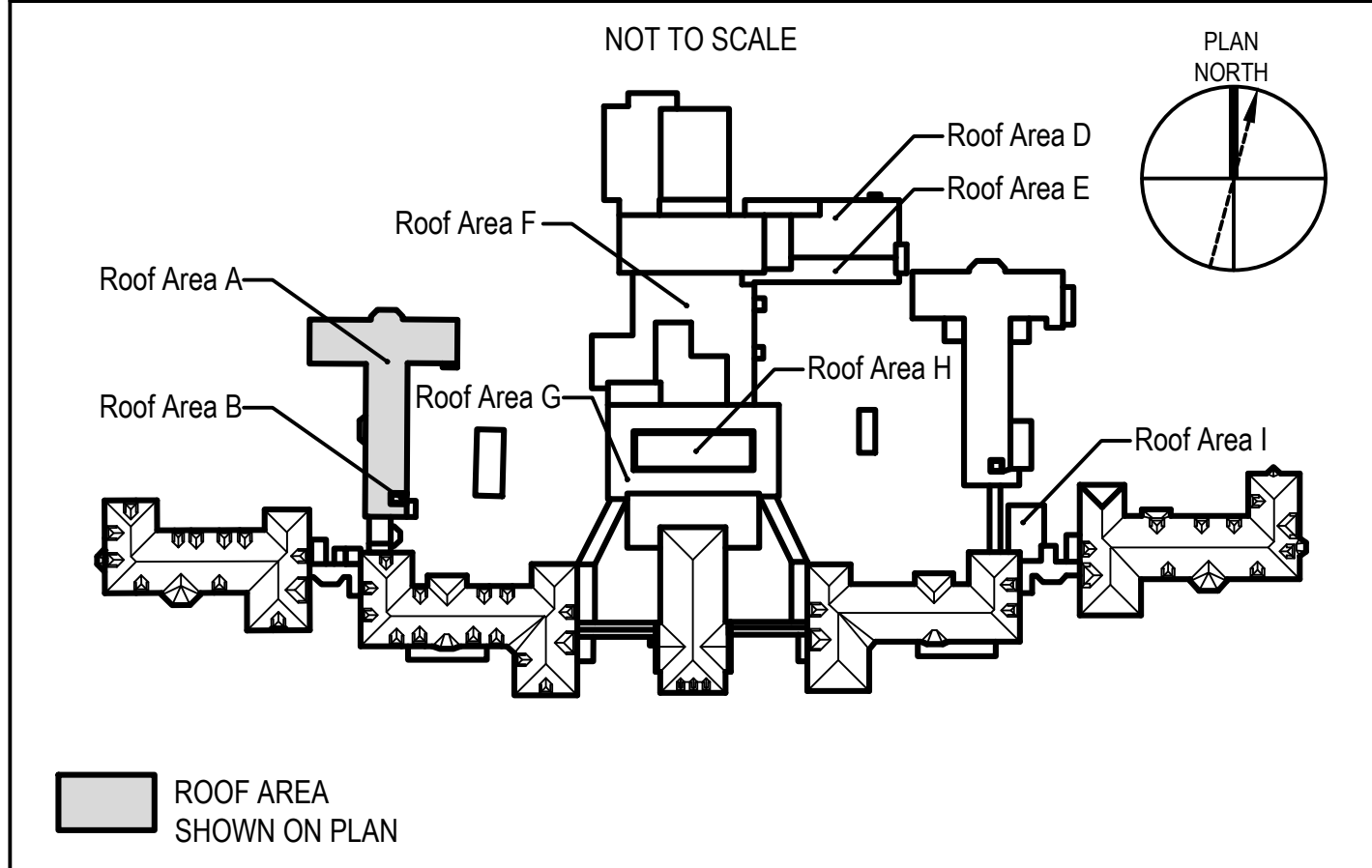
**ROOFING NOTES**

- ROOFING AND FLASHING SHALL BE 100% WEATHER TIGHT ON A DAILY BASIS.
- REMOVE ONLY AS MUCH ROOFING AS CAN BE REPLACED ON THE SAME DAY. NO PHASED CONSTRUCTION IS ALLOWED.
- DISCONNECT, REMOVE, RAISE, REINSTALL AND RECONNECT EXISTING ROOFTOP EQUIPMENT AND ASSOCIATED MECHANICAL/ELECTRICAL PENETRATIONS TO PROVIDE MINIMUM SPECIFIED FLASHING HEIGHTS.
- CONTRACTOR TO VERIFY WITH BUILDING OWNER THE STATUS OF ALL HVAC, MECHANICAL UNITS, AND RELATED ROOFTOP PENETRATIONS. ALL ABANDONED ROOFTOP EQUIPMENT, STACKS, WOOD SLEEPERS, ETC., SHALL BE REMOVED AND LEGALLY DISPOSED OF. ALL ABANDONED CURBS SHALL BE REMOVED - EXISTING ROOF DECK SHALL BE PATCHED AND REPAIRED AND PREPARED TO RECEIVE NEW ROOFING SYSTEM.
- FURNISH AND INSTALL NEW REPLACEMENT ROOF DRAINS ON ALL EXISTING ROOF DRAINS - TYPICAL.
- RESECURE ALL PIPES, CONDUITS, ETC. REPLACE ALL FAILED, DETERIORATING, AND MISSING FASTENERS. REMOVE AND REPLACE ALL DETERIORATED SLEEPERS WITH NEW PRESSURE TREATED WOOD SLEEPERS. RELOCATE PIPE SUPPORTS AND SLEEPERS AS REQUIRED TO PROVIDE PROPER ATTACHMENT OF THE FASTENERS AND SUPPORT TO THE PIPES - TYPICAL.
- NEW COPING AND FASCIA SYSTEM SHALL BE PRE FINISHED (COLOR TO BE SELECTED FROM MANUFACTURER'S STANDARD FINISH COLORS - TO MATCH EXISTING) AND SHALL BE .040" ALUMINUM IN LENGTHS OF 10'-0", STANDARD WIDTHS AND HEIGHTS, AND SHALL MEET ALL WALL CONDITIONS AS INDICATED AND ENCOUNTERED - TYPICAL.

**LEGEND**

- ALL ITEMS ARE EXISTING UNLESS INDICATED OTHERWISE.
- ROOF EDGE
  - PARAPET
  - CONDUIT
  - NEW CRICKET/RIDGE LINE IN INSULATION
  - NEW GUTTER AND DOWNSPOUT
  - T.W. APPROXIMATE LOCATION OF NEW THROUGHWALL FLASHING; REFER TO SHEET A701
  - APPROXIMATE LOCATION OF NEW REGLET FLASHING; REFER TO SHEET A701
  - AIR CONDITIONING UNIT
  - CHIMNEY
  - VENT PIPE; # INDICATES DIAMETER
  - NEW ROOF DRAIN; # INDICATES DIAMETER
  - SLEEPER
  - FAN
  - OVERFLOW SCUPPER
  - NEW POURABLE SEALER POCKET
  - NEW TAPERED INSULATION SLOPE
  - NOT IN CONTRACT
  - MANUFACTURER'S WALKWAY PAD

**KEY PLAN**



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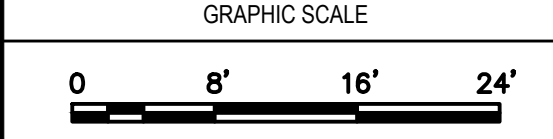
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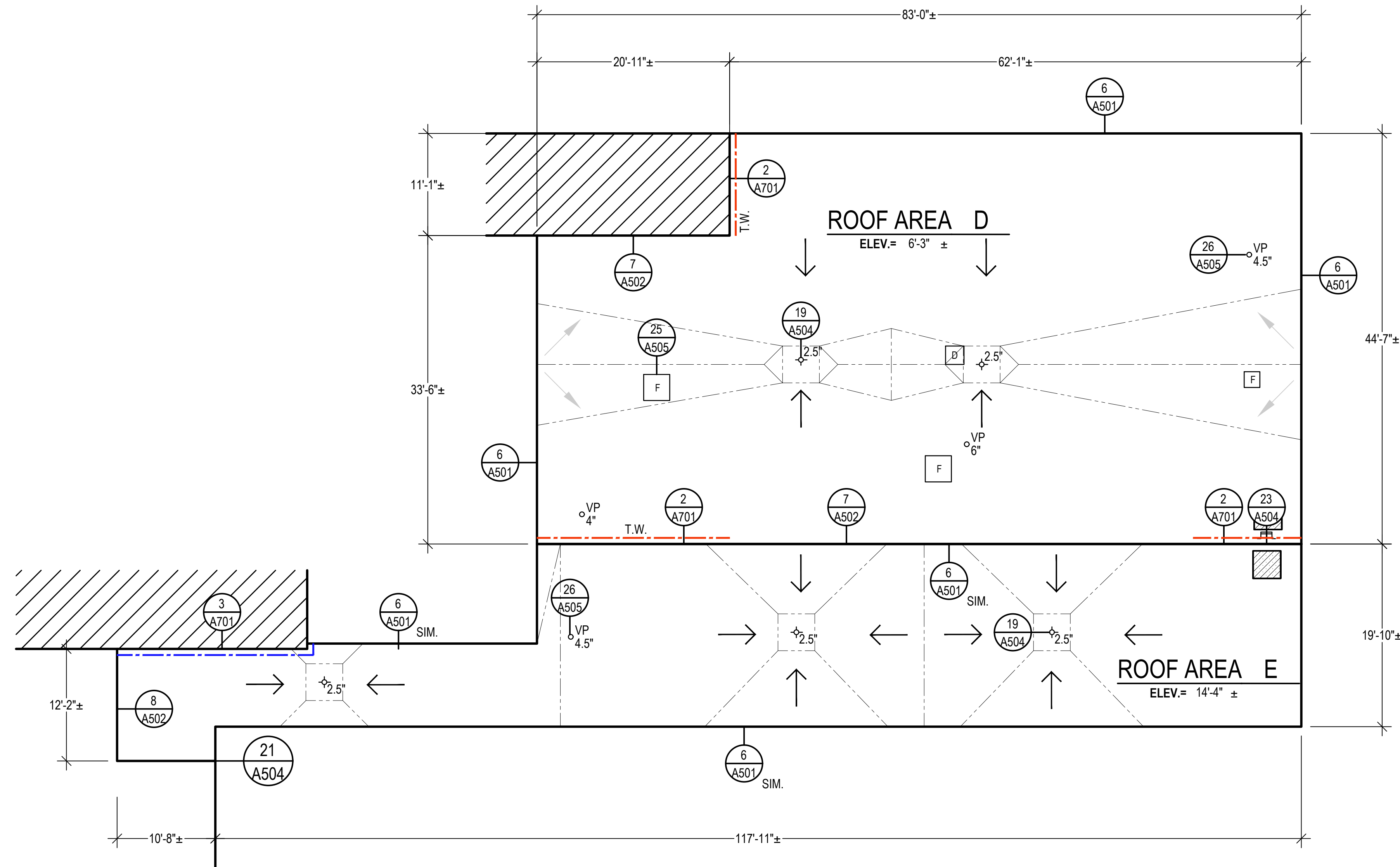
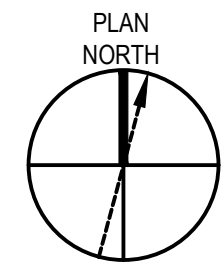
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DRAWING SCALE	3/32"=1'-0"



SHEET TITLE  
**ROOF AREAS A, B, AND C  
PLAN**

DRAWING NO.  
**A101**



1 ROOF AREAS D (ALTERNATE 1) AND E (ALTERNATE 2)  
SCALE: 1/8"=1'-0"

### ROOFING NOTES

- ROOFING AND FLASHING SHALL BE 100% WEATHER TIGHT ON A DAILY BASIS.
- REMOVE ONLY AS MUCH ROOFING AS CAN BE REPLACED ON THE SAME DAY. NO PHASED CONSTRUCTION IS ALLOWED.
- DISCONNECT, REMOVE, RAISE, REINSTALL AND RECONNECT EXISTING ROOFTOP EQUIPMENT AND ASSOCIATED MECHANICAL/ELECTRICAL PENETRATIONS TO PROVIDE MINIMUM SPECIFIED FLASHING HEIGHTS.
- CONTRACTOR TO VERIFY WITH BUILDING OWNER THE STATUS OF ALL HVAC, MECHANICAL UNITS, AND RELATED ROOFTOP PENETRATIONS. ALL ABANDONED ROOFTOP EQUIPMENT, STACKS, WOOD SLEEPERS, ETC., SHALL BE REMOVED AND LEGALLY DISPOSED OF. ALL ABANDONED CURBS SHALL BE REMOVED - EXISTING ROOF DECK SHALL BE PATCHED AND REPAIRED AND PREPARED TO RECEIVE NEW ROOFING SYSTEM.
- FURNISH AND INSTALL NEW REPLACEMENT ROOF DRAINS ON ALL EXISTING ROOF DRAINS - TYPICAL.
- RESECURE ALL PIPES, CONDUITS, ETC. REPLACE ALL FAILED, DETERIORATING, AND MISSING FASTENERS, REMOVE AND REPLACE ALL DETERIORATED SLEEPERS WITH NEW PRESSURE TREATED WOOD SLEEPERS. RELOCATE PIPE SUPPORTS AND SLEEPERS AS REQUIRED TO PROVIDE PROPER ATTACHMENT OF THE FASTENERS AND SUPPORT TO THE PIPES - TYPICAL.
- NEW COPING AND FASCIA SYSTEM SHALL BE PRE FINISHED (COLOR TO BE SELECTED FROM MANUFACTURER'S STANDARD FINISH COLORS - TO MATCH EXISTING) AND SHALL BE .040" ALUMINUM IN LENGTHS OF 10'-0", STANDARD WIDTHS AND HEIGHTS, AND SHALL MEET ALL WALL CONDITIONS AS INDICATED AND ENCOUNTERED - TYPICAL.

### LEGEND

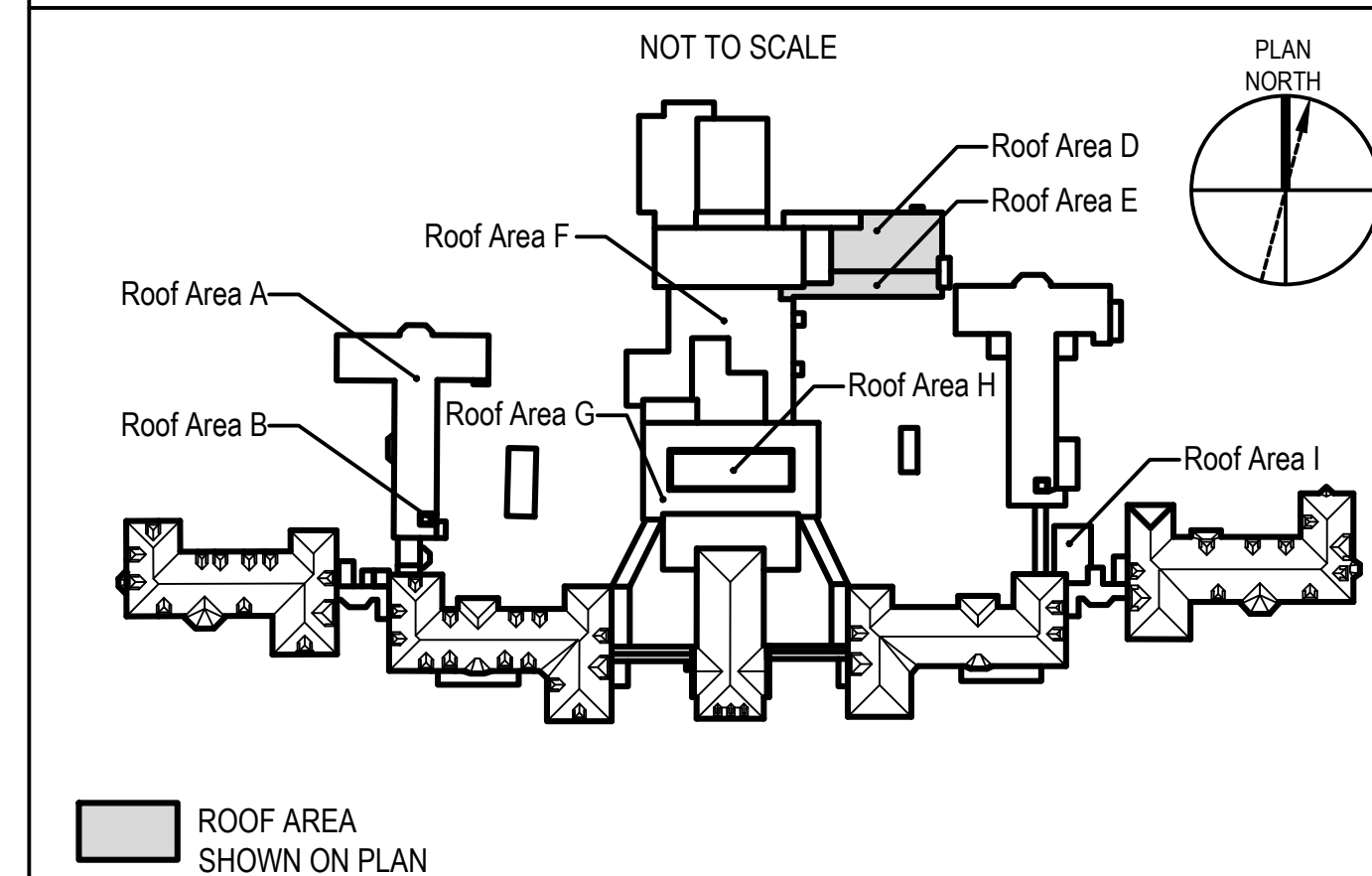
- ALL ITEMS ARE EXISTING UNLESS INDICATED OTHERWISE.
- ROOF EDGE
  - - - NEW CRICKET/RIDGE LINE IN INSULATION
  - - - T.W. APPROXIMATE LOCATION OF NEW THROUGHWALL FLASHING; REFER TO SHEET A701
  - - - APPROXIMATE LOCATION OF NEW REGLET FLASHING; REFER TO SHEET A701
  - D DUCT
  - F FAN
  - o VP VENT PIPE; # INDICATES DIAMETER
  - o-# NEW ROOF DRAIN; # INDICATES DIAMETER
  - II OVERFLOW SCUPPER
  - NEW TAPERED INSULATION SLOPE
  - ↔ NEW CRICKET SLOPE
  - ▨ NOT IN CONTRACT
  - ▩ MANUFACTURER'S WALKWAY PAD

REFER TO SHEET G102 FOR GENERAL NOTES AND TAPERED INSULATION LAYOUT NOTES.

ROOF AREAS D AND E ARE TO RECEIVE NEW CORRUGATED METAL DECKING. PLEASE REFER TO SHEETS S101 AND S501 FOR ADDITIONAL INFORMATION.

REFER TO SPECIFICATION SECTION 01 23 00 - ALTERNATES FOR SCHEDULE OF ALTERNATES.

### KEY PLAN



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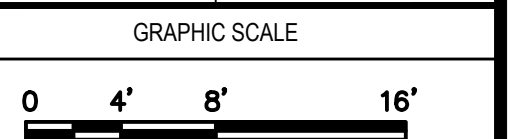
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PROJECT  
ROOF REPLACEMENT AND ASSOCIATED WORK  
AT THE DOROTHEA DIX PSYCHIATRIC CENTER  
656 STATE STREET  
BANGOR, ME 04402

OWNER  
DOROTHEA DIX PSYCHIATRIC CENTER  
P.O. BOX 926  
BANGOR, MAINE 04402

NO.	DATE	DESCRIPTION	BY

PROJECT NO.	838010
CADD FILE	838010 A100s
DESIGNED BY	JVL
DRAWN BY	JVL
CHECKED BY	ACP/ISM
DATE	10/20/2022
DRAWING SCALE	1/8"=1'-0"

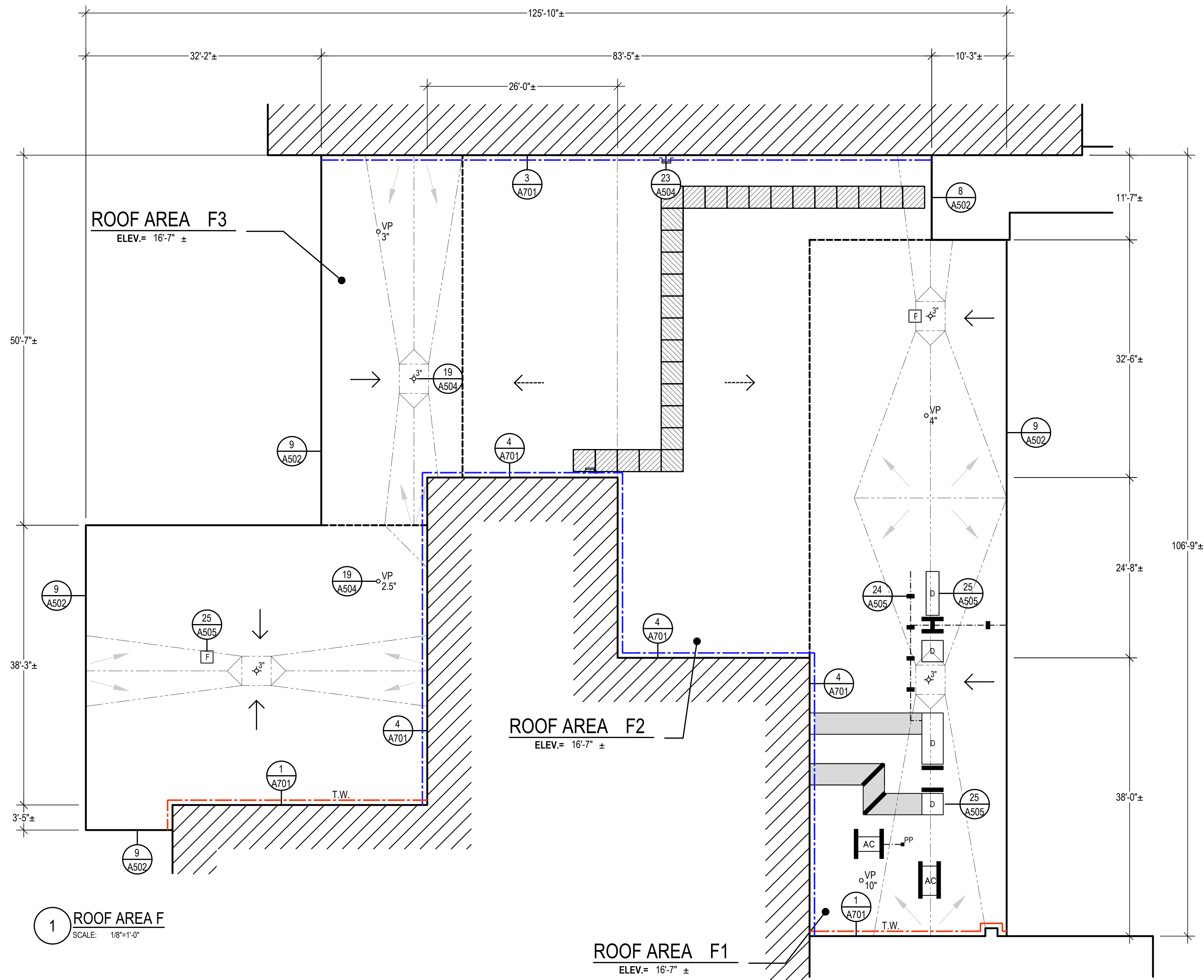
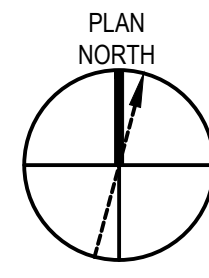


SHEET TITLE

ROOF AREAS D AND E  
PLANS

DRAWING NO.  
A102





1 ROOF AREA F  
SCALE: 1/8"=1'-0"

ROOF AREA F2  
ELEV.= 16'-7" ±

ROOF AREA F1  
ELEV.= 16'-7" ±

REFER TO SHEET G102 FOR GENERAL NOTES AND TAPERED INSULATION LAYOUT NOTES.

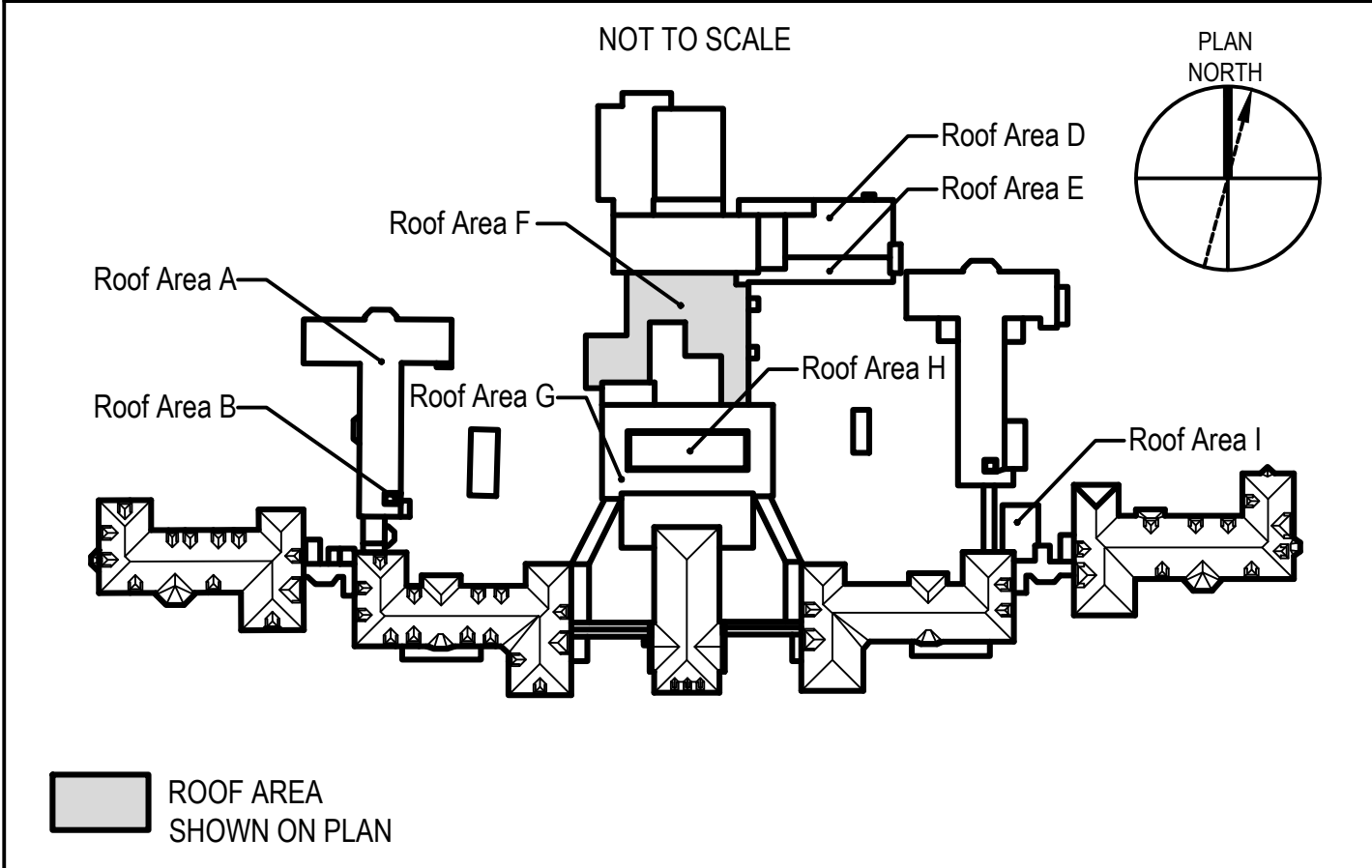
ROOFING NOTES

1. ROOFING AND FLASHING SHALL BE 100% WEATHER TIGHT ON A DAILY BASIS.
2. REMOVE ONLY AS MUCH ROOFING AS CAN BE REPLACED ON THE SAME DAY. NO PHASED CONSTRUCTION IS ALLOWED.
3. DISCONNECT, REMOVE, RAISE, REINSTALL AND RECONNECT EXISTING ROOFTOP EQUIPMENT AND ASSOCIATED MECHANICAL/ELECTRICAL PENETRATIONS TO PROVIDE MINIMUM SPECIFIED FLASHING HEIGHTS.
4. CONTRACTOR TO VERIFY WITH BUILDING OWNER THE STATUS OF ALL HVAC, MECHANICAL UNITS, AND RELATED ROOFTOP PENETRATIONS. ALL ABANDONED ROOFTOP EQUIPMENT, STACKS, WOOD SLEEPERS, ETC., SHALL BE REMOVED AND LEGALLY DISPOSED OF. ALL ABANDONED CURBS SHALL BE REMOVED - EXISTING ROOF DECK SHALL BE PATCHED AND REPAIRED AND PREPARED TO RECEIVE NEW ROOFING SYSTEM.
5. FURNISH AND INSTALL NEW REPLACEMENT ROOF DRAINS ON ALL EXISTING ROOF DRAINS - TYPICAL.
6. RESECURE ALL PIPES, CONDUITS, ETC. REPLACE ALL FAILED, DETERIORATING, AND MISSING FASTENERS, REMOVE AND REPLACE ALL DETERIORATED SLEEPERS WITH NEW PRESSURE TREATED WOOD SLEEPERS. RELOCATE PIPE SUPPORTS AND SLEEPERS AS REQUIRED TO PROVIDE PROPER ATTACHMENT OF THE FASTENERS AND SUPPORT TO THE PIPES - TYPICAL.
7. NEW COPING AND FASCIA SYSTEM SHALL BE PRE FINISHED (COLOR TO BE SELECTED FROM MANUFACTURER'S STANDARD FINISH COLORS - TO MATCH EXISTING) AND SHALL BE .040" ALUMINUM IN LENGTHS OF 10'-0", STANDARD WIDTHS AND HEIGHTS, AND SHALL MEET ALL WALL CONDITIONS AS INDICATED AND ENCOUNTERED - TYPICAL.

LEGEND

- ALL ITEMS ARE EXISTING UNLESS INDICATED OTHERWISE.
- ROOF EDGE
  - - - CONDUIT
  - - - NEW CRICKET/ RIDGE LINE IN INSULATION
  - - - ROOF DECK TRANSITION
  - - - T.W. APPROXIMATE LOCATION OF NEW THROUGHWALL FLASHING; REFER TO SHEET A701
  - - - APPROXIMATE LOCATION OF NEW REGLET FLASHING; REFER TO SHEET A701
  - AC AIR CONDITIONING UNIT
  - VP # VENT PIPE; # INDICATES DIAMETER
  - R# ROOF DRAIN; # INDICATES DIAMETER
  - SLEEPER
  - F FAN
  - PP NEW POURABLE SEALER POCKET
  - NEW ACCESS LADDER
  - D DUCT
  - DUCTWORK ABOVE ROOF
  - RTU RTU
  - NOT IN CONTRACT (N.I.C.)
  - NEW TAPERED INSULATION SLOPE
  - EXISTING STRUCTURAL SLOPE
  - NEW CRICKET SLOPE
  - MANUFACTURER'S WALKWAY PAD

KEY PLAN



Gale Associates, Inc.  
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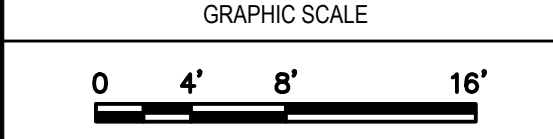
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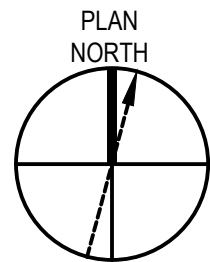
NO.	DATE	DESCRIPTION	BY

PROJECT NO.	838010
CADD FILE	838010 A100s
DESIGNED BY	JVL
DRAWN BY	ERS/NCB
CHECKED BY	ACP/SRM
DATE	10/20/2022
DRAWING SCALE	1/8"=1'-0"



SHEET TITLE  
ROOF AREA F  
PLAN

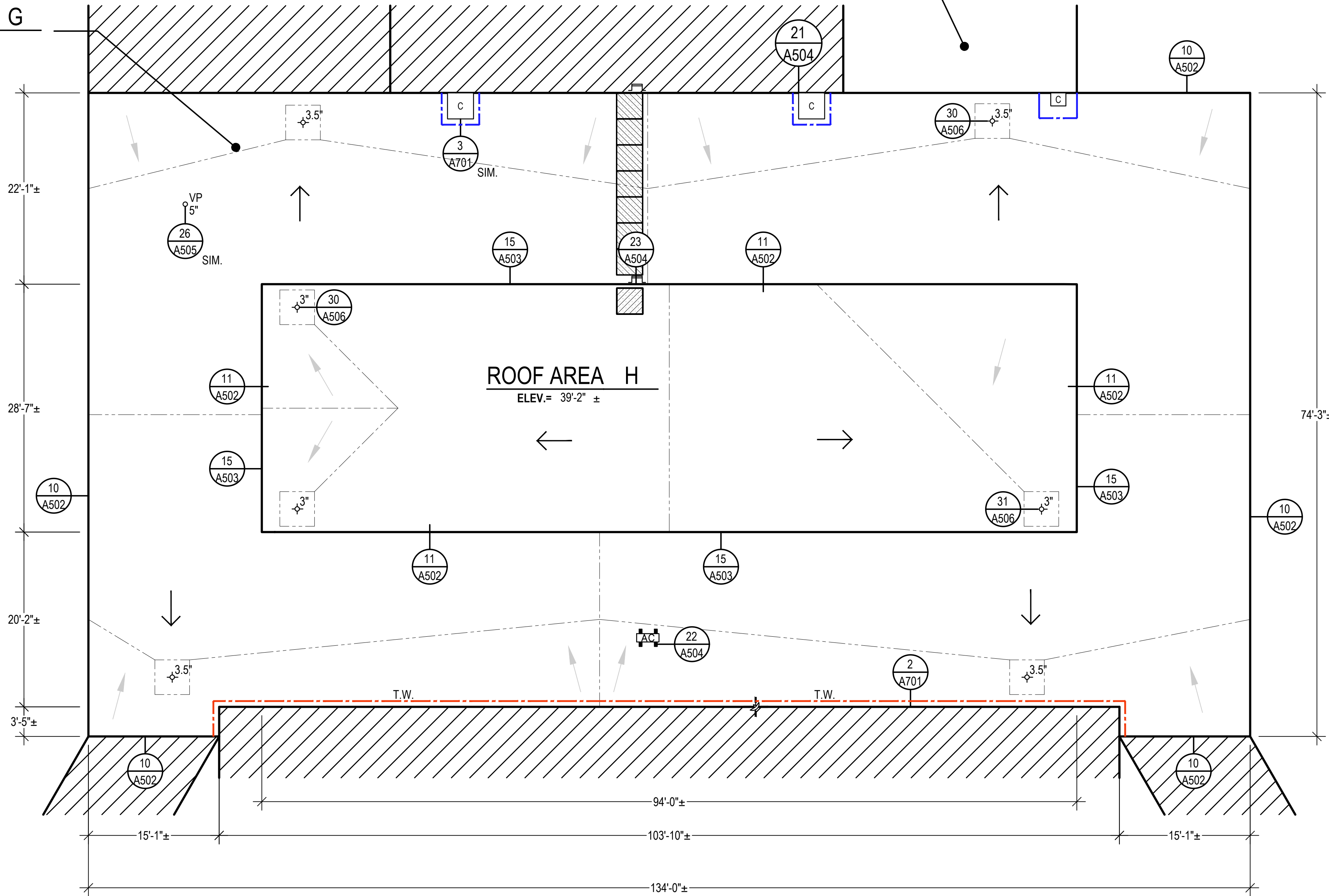
DRAWING NO.  
A103



**ROOF AREA G**  
ELEV.= 28'-6" ±

**ROOF AREA F1**  
ELEV.= 16'-7" ±

**ROOF AREA H**  
ELEV.= 39'-2" ±



**1 ROOF AREAS G AND H**  
SCALE: 1/8"=1'-0"

**ROOFING NOTES**

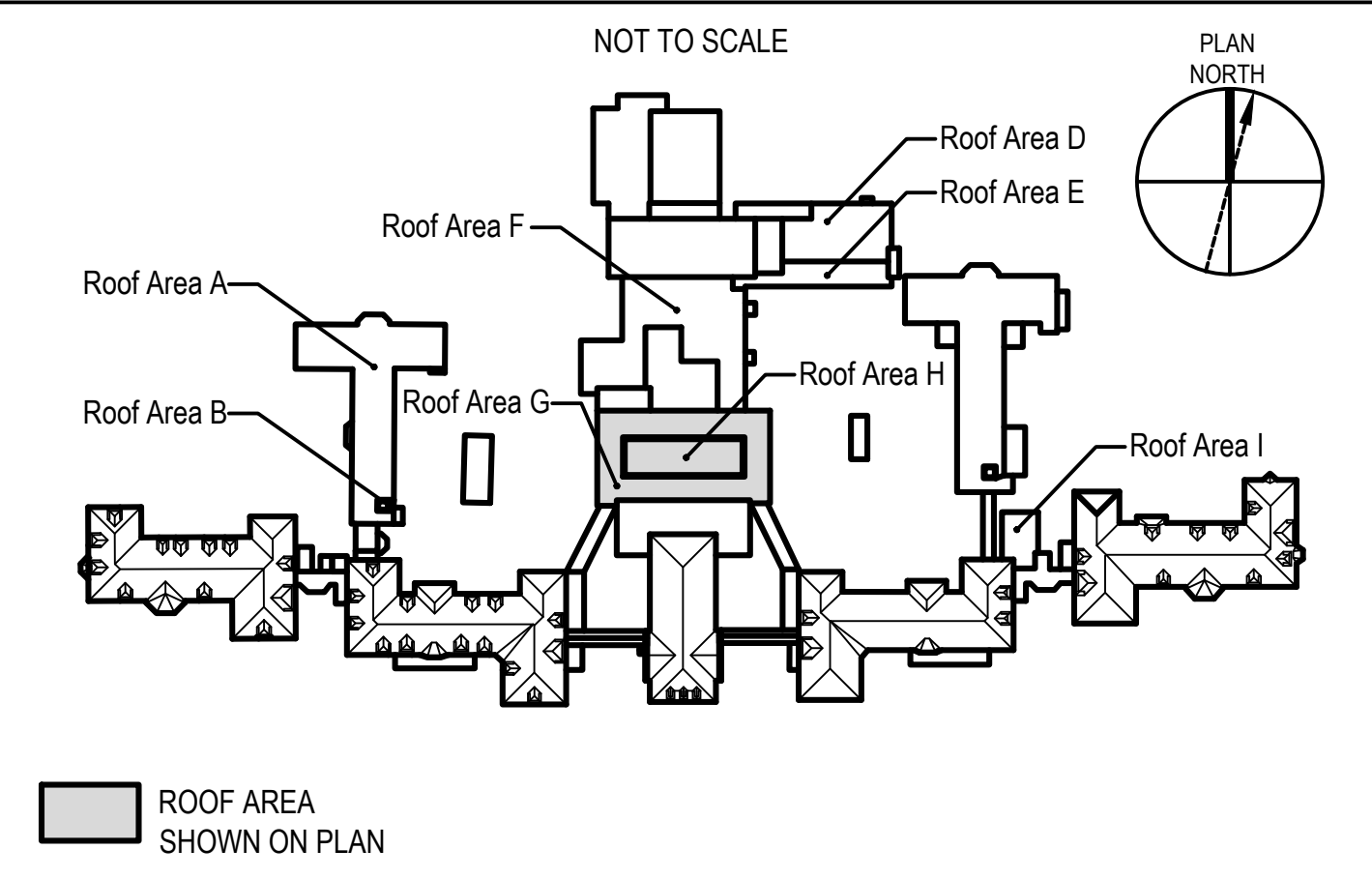
1. ROOFING AND FLASHING SHALL BE 100% WEATHER TIGHT ON A DAILY BASIS.
2. REMOVE ONLY AS MUCH ROOFING AS CAN BE REPLACED ON THE SAME DAY. NO PHASED CONSTRUCTION IS ALLOWED.
3. DISCONNECT, REMOVE, RAISE, REINSTALL AND RECONNECT EXISTING ROOFTOP EQUIPMENT AND ASSOCIATED MECHANICAL/ELECTRICAL PENETRATIONS TO PROVIDE MINIMUM SPECIFIED FLASHING HEIGHTS.
4. CONTRACTOR TO VERIFY WITH BUILDING OWNER THE STATUS OF ALL HVAC, MECHANICAL UNITS, AND RELATED ROOFTOP PENETRATIONS. ALL ABANDONED ROOFTOP EQUIPMENT, STACKS, WOOD SLEEPERS, ETC., SHALL BE REMOVED AND LEGALLY DISPOSED OF. ALL ABANDONED CURBS SHALL BE REMOVED - EXISTING ROOF DECK SHALL BE PATCHED AND REPAIRED AND PREPARED TO RECEIVE NEW ROOFING SYSTEM.
5. FURNISH AND INSTALL NEW REPLACEMENT ROOF DRAINS ON ALL EXISTING ROOF DRAINS - TYPICAL.
6. RESECURE ALL PIPES, CONDUITS, ETC. REPLACE ALL FAILED, DETERIORATING, AND MISSING FASTENERS, REMOVE AND REPLACE ALL DETERIORATED SLEEPERS WITH NEW PRESSURE TREATED WOOD SLEEPERS. RELOCATE PIPE SUPPORTS AND SLEEPERS AS REQUIRED TO PROVIDE PROPER ATTACHMENT OF THE FASTENERS AND SUPPORT TO THE PIPES - TYPICAL.
7. NEW COPING AND FASCIA SYSTEM SHALL BE PRE FINISHED (COLOR TO BE SELECTED FROM MANUFACTURER'S STANDARD FINISH COLORS - TO MATCH EXISTING) AND SHALL BE .040" ALUMINUM IN LENGTHS OF 10'-0", STANDARD WIDTHS AND HEIGHTS, AND SHALL MEET ALL WALL CONDITIONS AS INDICATED AND ENCOUNTERED - TYPICAL.

**LEGEND**

- ALL ITEMS ARE EXISTING UNLESS INDICATED OTHERWISE.
- ROOF EDGE
  - - - NEW CRICKET/ RIDGE LINE IN INSULATION
  - - - T.W. APPROXIMATE LOCATION OF NEW THROUGHWALL FLASHING; REFER TO SHEET A701
  - - - APPROXIMATE LOCATION OF NEW REGLET FLASHING; REFER TO SHEET A701
  - [A/C] AIR CONDITIONING UNIT
  - [C] CHIMNEY
  - VP # VENT PIPE; # INDICATES DIAMETER
  - [L] NEW ACCESS LADDER
  - [R] NEW ROOF DRAIN; # INDICATES DIAMETER
  - [S] WALL MOUNTED SATELLITE DISH; TO BE REMOVED
  - SLEEPER
  - NEW TAPERED SLOPE
  - ↗ NEW CRICKET SLOPE
  - [Hatched] NOT IN CONTRACT
  - [Diagonal Lines] MANUFACTURER'S WALKWAY PAD

REFER TO SHEET G102 FOR GENERAL NOTES AND TAPERED INSULATION LAYOUT NOTES.

**KEY PLAN**



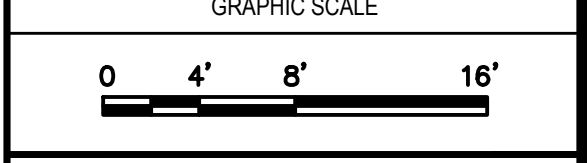
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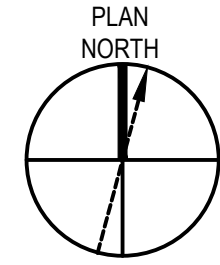
NO.	DATE	DESCRIPTION	BY
PROJECT NO.	838010		
CADD FILE	838010 A100s		
DESIGNED BY	JVL		
DRAWN BY	ERS/NCB		
CHECKED BY	ACP/SRM		
DATE	10/20/2022		
DRAWING SCALE	1/8"=1'-0"		



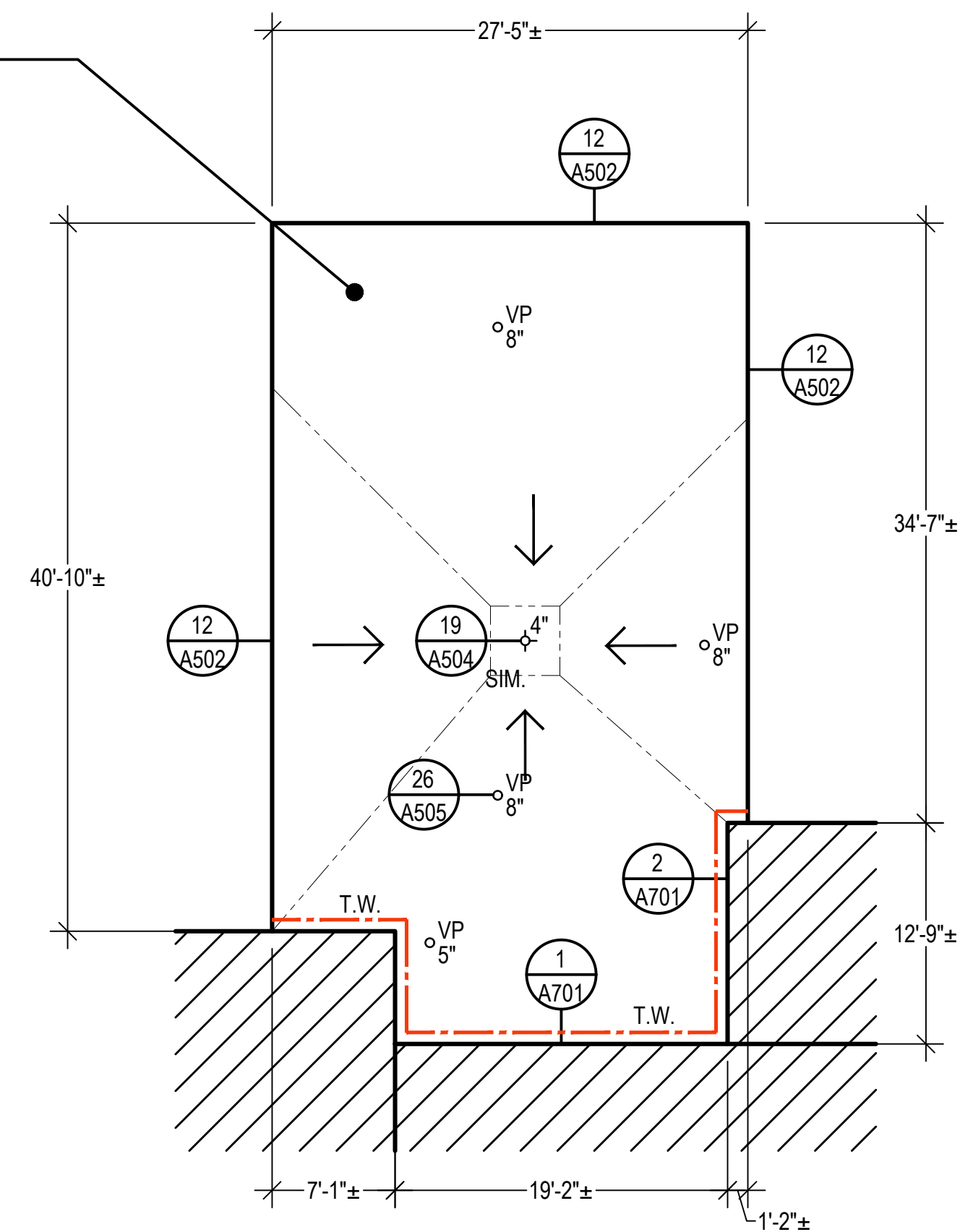
**ROOF AREAS G AND H PLAN**

DRAWING NO. **A104**





**ROOF AREA I**  
ELEV.= 19'-11" ±



**1** ROOF AREA I (ALTERNATE 3)  
SCALE: 1/8"=1'-0"

**ROOFING NOTES**

1. ROOFING AND FLASHING SHALL BE 100% WEATHER TIGHT ON A DAILY BASIS.
2. REMOVE ONLY AS MUCH ROOFING AS CAN BE REPLACED ON THE SAME DAY. NO PHASED CONSTRUCTION IS ALLOWED.
3. DISCONNECT, REMOVE, RAISE, REINSTALL AND RECONNECT EXISTING ROOFTOP EQUIPMENT AND ASSOCIATED MECHANICAL/ELECTRICAL PENETRATIONS TO PROVIDE MINIMUM SPECIFIED FLASHING HEIGHTS.
4. CONTRACTOR TO VERIFY WITH BUILDING OWNER THE STATUS OF ALL HVAC, MECHANICAL UNITS, AND RELATED ROOFTOP PENETRATIONS. ALL ABANDONED ROOFTOP EQUIPMENT, STACKS, WOOD SLEEPERS, ETC., SHALL BE REMOVED AND LEGALLY DISPOSED OF. ALL ABANDONED CURBS SHALL BE REMOVED - EXISTING ROOF DECK SHALL BE PATCHED AND REPAIRED AND PREPARED TO RECEIVE NEW ROOFING SYSTEM.
5. FURNISH AND INSTALL NEW REPLACEMENT ROOF DRAINS ON ALL EXISTING ROOF DRAINS - TYPICAL.
6. RESECURE ALL PIPES, CONDUITS, ETC. REPLACE ALL FAILED, DETERIORATING, AND MISSING FASTENERS, REMOVE AND REPLACE ALL DETERIORATED SLEEPERS WITH NEW PRESSURE TREATED WOOD SLEEPERS. RELOCATE PIPE SUPPORTS AND SLEEPERS AS REQUIRED TO PROVIDE PROPER ATTACHMENT OF THE FASTENERS AND SUPPORT TO THE PIPES - TYPICAL.
7. NEW COPING AND FASCIA SYSTEM SHALL BE PRE FINISHED (COLOR TO BE SELECTED FROM MANUFACTURER'S STANDARD FINISH COLORS - TO MATCH EXISTING) AND SHALL BE .040" ALUMINUM IN LENGTHS OF 10'-0", STANDARD WIDTHS AND HEIGHTS, AND SHALL MEET ALL WALL CONDITIONS AS INDICATED AND ENCOUNTERED - TYPICAL.

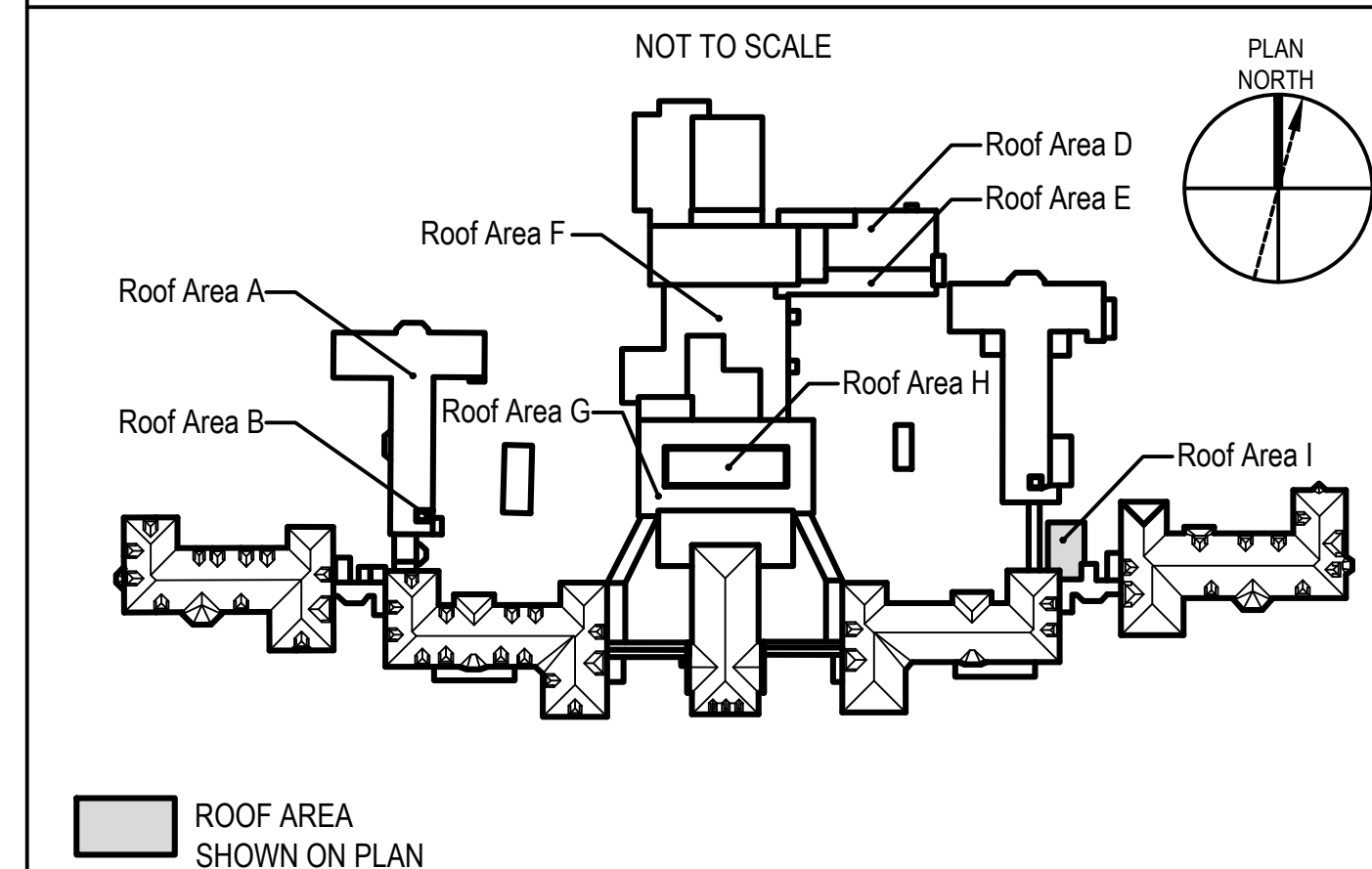
**LEGEND**

- ALL ITEMS ARE EXISTING UNLESS INDICATED OTHERWISE.
- ROOF EDGE
  - - - NEW CRICKET/RIDGE LINE IN INSULATION
  - - - T.W. APPROXIMATE LOCATION OF NEW THROUGHWALL FLASHING; REFER TO SHEET A701
  - - - APPROXIMATE LOCATION OF NEW REGLET FLASHING; REFER TO SHEET A701
  - VP # VENT PIPE; # INDICATES DIAMETER
  - RD # NEW ROOF DRAIN; # INDICATES DIAMETER
  - NEW TAPERED SLOPE
  - ↗ NEW CRICKET SLOPE
  - ▨ NOT IN CONTRACT

REFER TO SPECIFICATION SECTION 01 23 00 - ALTERNATES FOR SCHEDULE OF ALTERNATES.

REFER TO SHEET G102 FOR GENERAL NOTES AND TAPERED INSULATION LAYOUT NOTES.

**KEY PLAN**



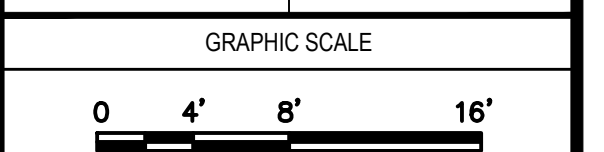
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NO.	DATE	DESCRIPTION	BY
PROJECT NO.	838010		
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CHECKED BY	ACP/SRM		
DATE	10/20/2022		
DRAWING SCALE	1/8"=1'-0"		

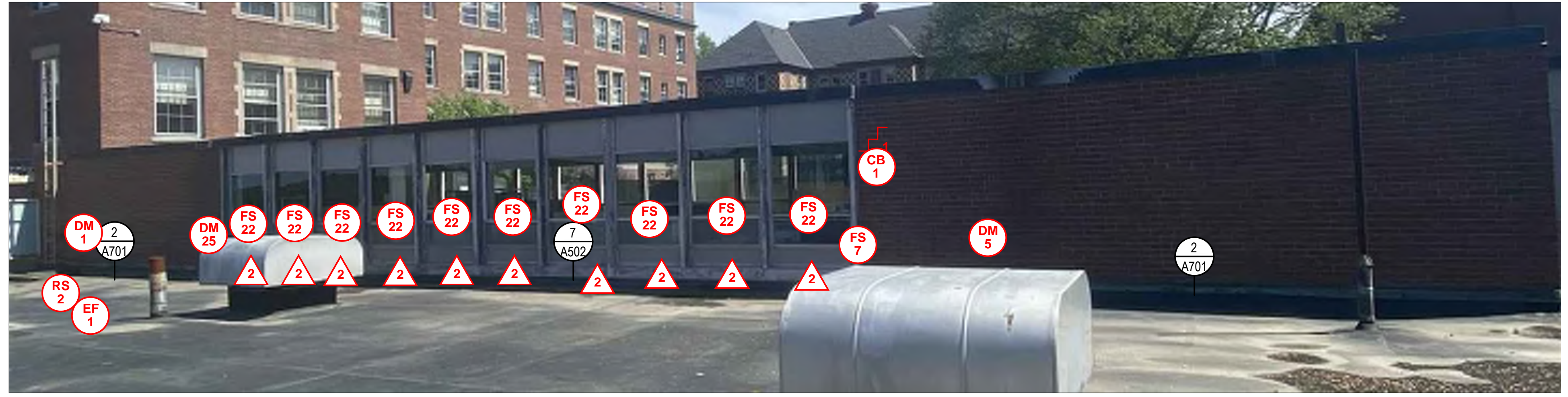


SHEET TITLE

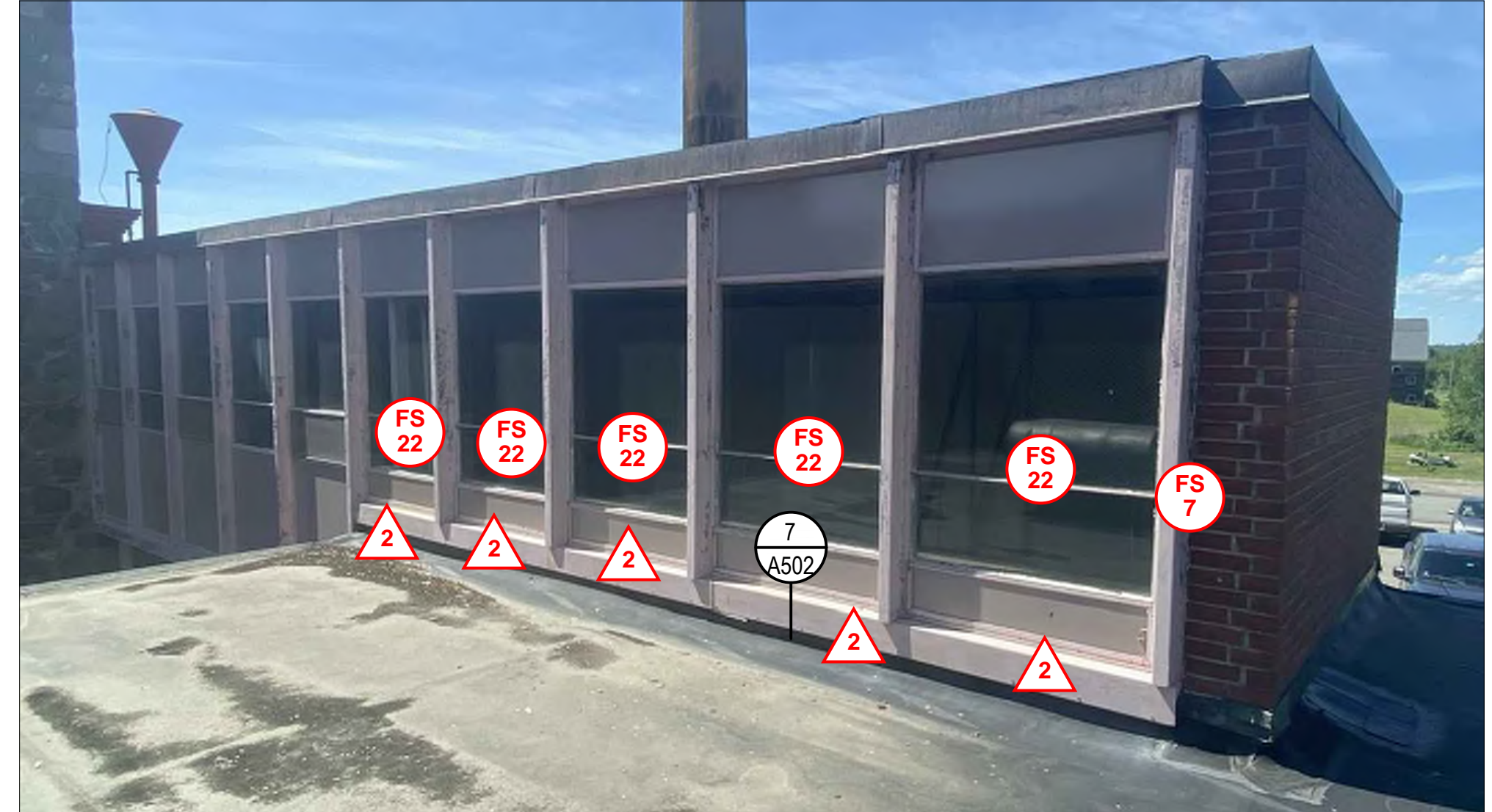
**ROOF AREA I  
PLAN**

DRAWING NO.  
**A105**





**1 ALTERNATE 1 ROOF AREA D RISING WALL ELEVATION**  
SCALE: N.T.S.



**2 ALTERNATE 1 ROOF AREA D RISING WALL ELEVATION**  
SCALE: N.T.S.



**3 ALTERNATE 1 ROOF AREA D RISING WALL ELEVATION**  
SCALE: N.T.S.



**4 ROOF AREA F RISING WALL ELEVATION**  
SCALE: N.T.S.

**ELEVATION NOTES**

1. THE INFORMATION SHOWN ON THE DRAWING HAS BEEN COMPILED FROM VARIOUS SOURCES, AND MAY NOT REFLECT THE ACTUAL CONDITIONS AT THE TIME OF CONSTRUCTION.
2. DISCREPANCIES NOTED BY THE CONTRACTOR IN THE DRAWINGS OR SPECIFICATIONS MUST BE BROUGHT TO THE OWNER'S ATTENTION PRIOR TO BID SUBMISSION.
3. THE ELEVATIONS ARE PROVIDED TO SHOW APPROXIMATE QUANTITIES AND CONFIGURATIONS. THE ACTUAL SIZES AND CONFIGURATION WILL VARY FROM THOSE SHOWN. THE CONTRACTOR SHALL BASE THE BID AND CONTRACT AMOUNTS ON ACTUAL FIELD CONDITIONS.
4. GRAPHIC HATCHING AND SYMBOLS ARE USED ON THE ELEVATION DRAWINGS TO INDICATE AREAS INCLUDED IN THE SCOPE OF WORK. ACTUAL DIMENSIONS AND QUANTITIES SHALL BE FIELD VERIFIED. REFER TO THE LEGEND ON THIS SHEET FOR THE CORRESPONDING SCOPE OF WORK ASSOCIATED WITH A PARTICULAR HATCH OR SYMBOL.
5. CONTRACTOR IS RESPONSIBLE FOR DESTROYING AND REMOVING BEES/HORNETS/WASPS WHICH INFEST WALLS IN VARIOUS LOCATIONS.
6. THE DEFECTS NOTED INDICATE APPROXIMATE LOCATIONS. THEY ARE NOT INTENDED TO DEFINE LIMITS OF WORK. AREAS NOT NOTED ON THESE DRAWINGS EXHIBITING SIMILAR DEFECTS AS THOSE SHOWN SHALL BE REPAIRED IN A SIMILAR MANNER. REFER TO SECTION 01 20 00 - UNIT PRICES FOR ESTIMATED QUANTITIES.
7. HATCH PATTERNS ARE FOR REPRESENTATION ONLY AND SHOULD NOT BE USED AS A MEANS FOR QUANTIFYING.

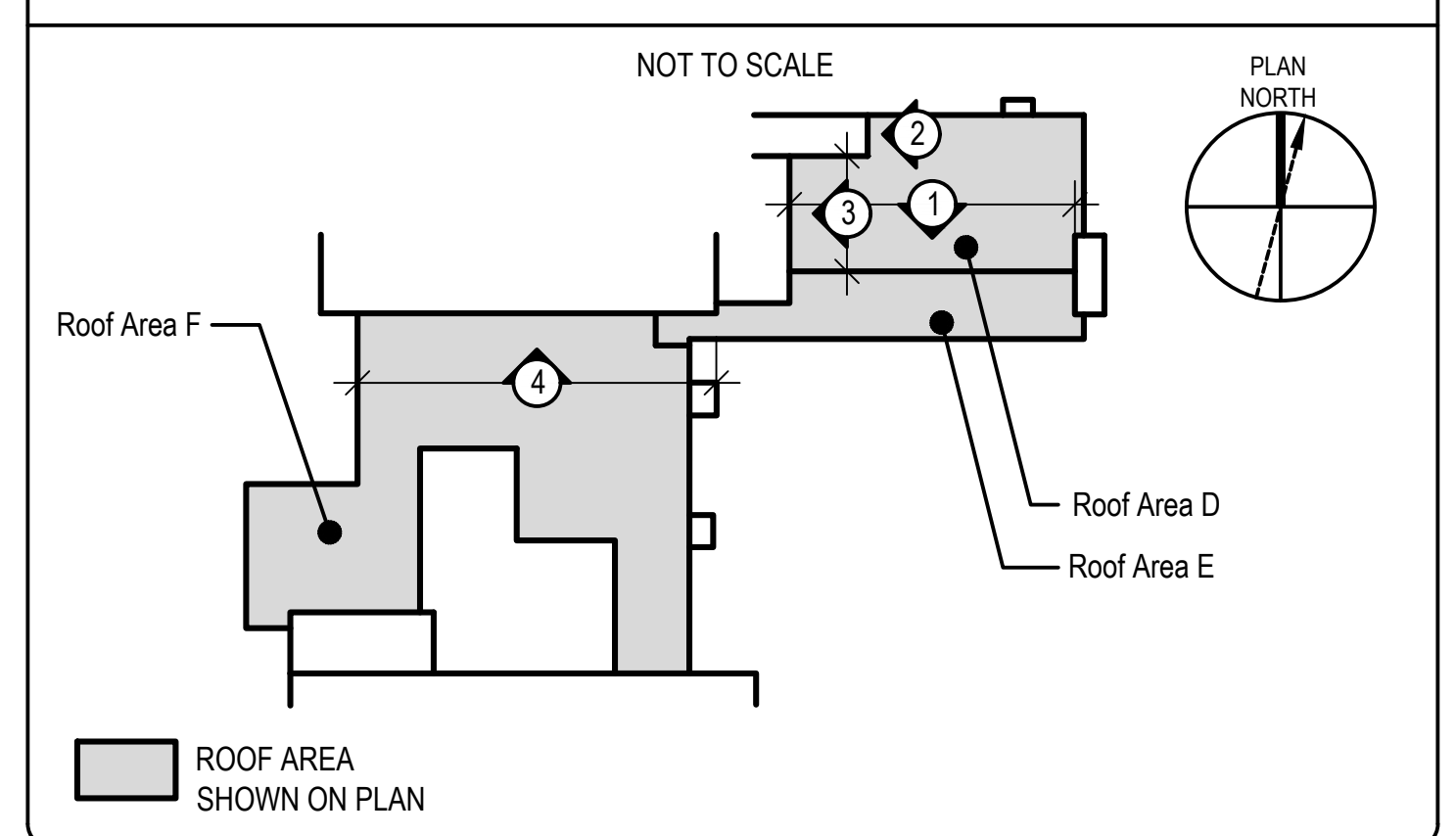
**REPAIR LEGEND**

MASONRY	WOOD AND PAINT
<p>CB # CRACKED BRICK TO BE REPLACED; # INDICATES UNITS</p> <p>SB # SPALLED BRICK TO BE REPLACED; # INDICATES UNITS</p> <p>DM # DETERIORATED MORTAR JOINT TO BE REPOINTED, REFER TO DETAIL 5/A701; # INDICATES SQUARE FEET</p> <p>MJ # DETERIORATED MORTAR JOINT TO BE REPOINTED, REFER TO DETAIL 5/A701; # INDICATES LINEAR FEET</p> <p>SC STEP CRACK TO BE REPAIRED (APPROXIMATE SCALE); # INDICATES LINEAR FEET</p> <p>AM EXISTING ANCHOR/METAL STUB TO BE REMOVED AND VOID IN BRICK OR MORTAR TO BE PATCHED</p> <p>EF # EFFLORESCENCE TO BE CLEANED; # INDICATES SQUARE FEET</p> <p>RS # RUST STAINING TO BE CLEANED; # INDICATES SQUARE FEET</p> <p>VG # VEGETATIVE GROWTH TO BE CLEANED; # INDICATES SQUARE FEET</p> <p>AS # ATMOSPHERIC STAINING TO BE CLEANED; # INDICATES SQUARE FEET</p> <p>RJ # RUST JACKING TO BE REPAIRED; # INDICATES LINEAR FEET</p> <p>RL # RUST STAINING ON LINTEL, LINTEL TO BE SCRAPPED, PRIMED, AND PAINTED; # INDICATES LINEAR FEET</p>	<p>△ CLASS 1 PAINT DEFECT (MOLD, STAINING, ALGAE); SCRAPE, PRIME, AND PAINT SUBSTRATE</p> <p>△ CLASS 2 PAINT DEFECT (CRACKED/WRINKLED PAINTED SURFACE); SCRAPE, PRIME, AND PAINT SUBSTRATE</p> <p>△ CLASS 3 PAINT DEFECT (PEELING PAINT/EXPOSED WOOD); SCRAPE, PRIME, AND PAINT SUBSTRATE</p>
	SEALANTS
	<p>PS # FAILED PERIMETER SEALANT TO BE REPAIRED, REFER TO DETAIL 7/A702; # INDICATES LINEAR FEET</p> <p>FS # FAILED SEALANT TO BE REPAIRED, REFER TO DETAIL 7/A702; # INDICATES LINEAR FEET</p>
	GLAZING
	<p>CG # CRACKED GLAZING TO BE REPAIRED; # INDICATES LINEAR FEET</p>
NOTE: NOT ALL DEFECTS IN THE LEGEND ARE SHOWN ON THIS SHEET.	

**REPAIR NOTES**

GRANITE MASONRY WALLS AT ROOF AREA F1, F2, AND F3 RISING WALLS SHALL BE REPOINTED 100%

**KEY PLAN**



**GALE**  
Engineers and Planners  
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CADD FILE	838010 A200s		
DESIGNED BY	JVL		
DRAWN BY	JVL		
CHECKED BY	ACP/SRM		
DATE	10/20/2022		
DRAWING SCALE	NOT TO SCALE		

GRAPHIC SCALE

SHEET TITLE

**ELEVATIONS**

DRAWING NO. **A201**





1 ROOF AREA F RISING WALL ELEVATION  
SCALE: N.T.S.



2 ROOF AREA F RISING WALL ELEVATION  
SCALE: N.T.S.



3 ROOF AREA F RISING WALL ELEVATION  
SCALE: N.T.S.

ELEVATION NOTES

1. THE INFORMATION SHOWN ON THE DRAWING HAS BEEN COMPILED FROM VARIOUS SOURCES, AND MAY NOT REFLECT THE ACTUAL CONDITIONS AT THE TIME OF CONSTRUCTION.
2. DISCREPANCIES NOTED BY THE CONTRACTOR IN THE DRAWINGS OR SPECIFICATIONS MUST BE BROUGHT TO THE OWNER'S ATTENTION PRIOR TO BID SUBMISSION.
3. THE ELEVATIONS ARE PROVIDED TO SHOW APPROXIMATE QUANTITIES AND CONFIGURATIONS. THE ACTUAL SIZES AND CONFIGURATION WILL VARY FROM THOSE SHOWN. THE CONTRACTOR SHALL BASE THE BID AND CONTRACT AMOUNTS ON ACTUAL FIELD CONDITIONS.
4. GRAPHIC HATCHING AND SYMBOLS ARE USED ON THE ELEVATION DRAWINGS TO INDICATE AREAS INCLUDED IN THE SCOPE OF WORK. ACTUAL DIMENSIONS AND QUANTITIES SHALL BE FIELD VERIFIED. REFER TO THE LEGEND ON THIS SHEET FOR THE CORRESPONDING SCOPE OF WORK ASSOCIATED WITH A PARTICULAR HATCH OR SYMBOL.
5. CONTRACTOR IS RESPONSIBLE FOR DESTROYING AND REMOVING BEES/HORNETS/WASPS WHICH INFEST WALLS IN VARIOUS LOCATIONS.
6. THE DEFECTS NOTED INDICATE APPROXIMATE LOCATIONS. THEY ARE NOT INTENDED TO DEFINE LIMITS OF WORK. AREAS NOT NOTED ON THESE DRAWINGS EXHIBITING SIMILAR DEFECTS AS THOSE SHOWN SHALL BE REPAIRED IN A SIMILAR MANNER. REFER TO SECTION 01 20 00 - UNIT PRICES FOR ESTIMATED QUANTITIES.
7. HATCH PATTERNS ARE FOR REPRESENTATION ONLY AND SHOULD NOT BE USED AS A MEANS FOR QUANTIFYING.

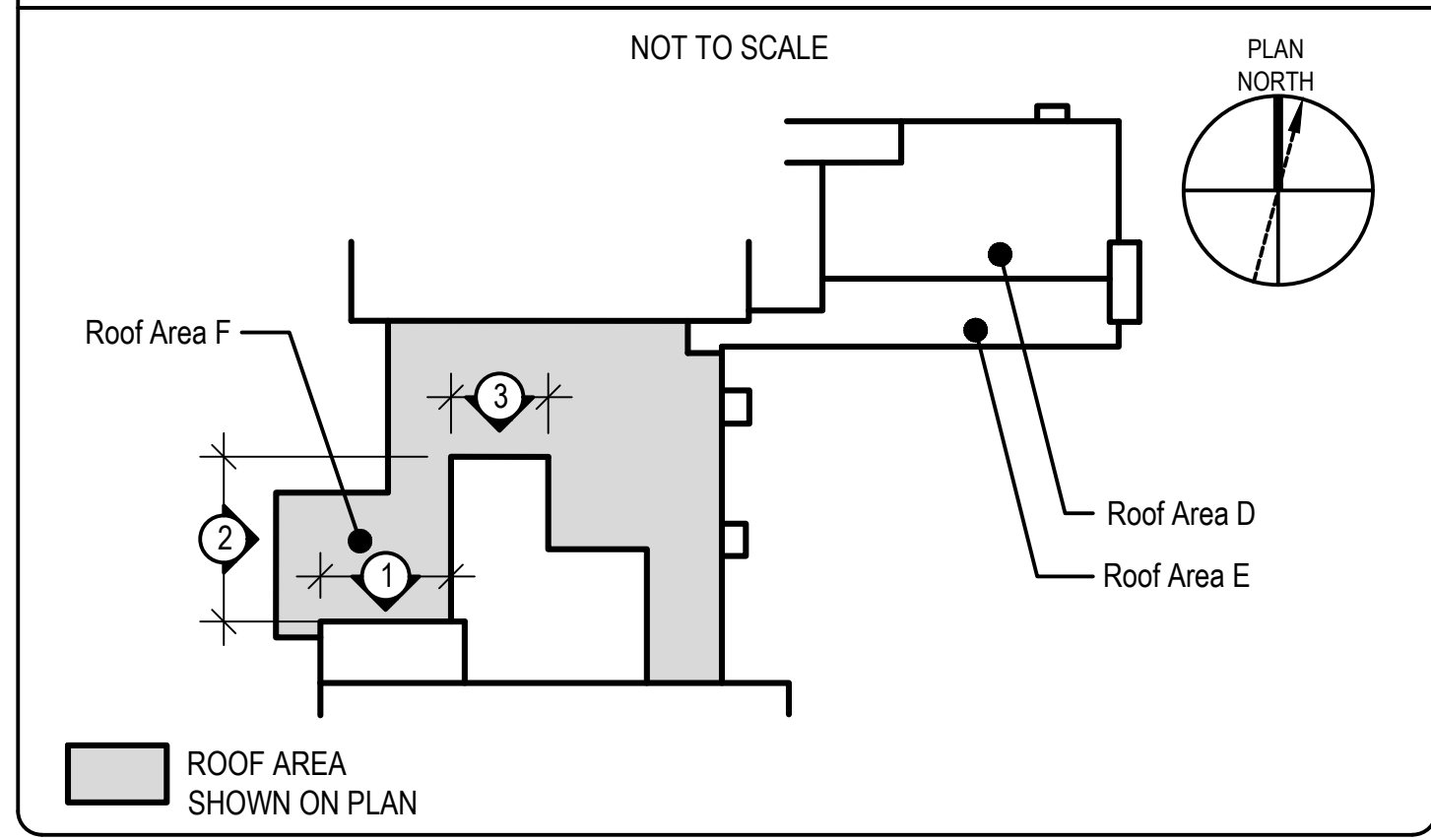
REPAIR LEGEND

MASONRY	WOOD AND PAINT
<p>CB # CRACKED BRICK TO BE REPLACED; # INDICATES UNITS</p> <p>SB # SPALLED BRICK TO BE REPLACED; # INDICATES UNITS</p> <p>DM # DETERIORATED MORTAR JOINT TO BE REPOINTED, REFER TO DETAIL 5/A701; # INDICATES SQUARE FEET</p> <p>MJ # DETERIORATED MORTAR JOINT TO BE REPOINTED, REFER TO DETAIL 5/A701; # INDICATES LINEAR FEET</p> <p>— STEP CRACK TO BE REPAIRED (APPROXIMATE SCALE); # INDICATES LINEAR FEET</p> <p>✕ EXISTING ANCHOR/METAL STUB TO BE REMOVED AND VOID IN BRICK OR MORTAR TO BE PATCHED</p> <p>EF # EFFLORESCENCE TO BE CLEANED; # INDICATES SQUARE FEET</p> <p>RS # RUST STAINING TO BE CLEANED; # INDICATES SQUARE FEET</p> <p>VG # VEGETATIVE GROWTH TO BE CLEANED; # INDICATES SQUARE FEET</p> <p>AS # ATMOSPHERIC STAINING TO BE CLEANED; # INDICATES SQUARE FEET</p> <p>RJ # RUST JACKING TO BE REPAIRED; # INDICATES LINEAR FEET</p> <p>RL # RUST STAINING ON LINTEL, LINTEL TO BE SCRAPPED, PRIMED, AND PAINTED; # INDICATES LINEAR FEET</p>	<p>△ CLASS 1 PAINT DEFECT (MOLD, STAINING, ALGAE); SCRAPE, PRIME, AND PAINT SUBSTRATE</p> <p>△ CLASS 2 PAINT DEFECT (CRACKED/WRINKLED PAINTED SURFACE); SCRAPE, PRIME, AND PAINT SUBSTRATE</p> <p>△ CLASS 3 PAINT DEFECT (PEELING PAINT/EXPOSED WOOD); SCRAPE, PRIME, AND PAINT SUBSTRATE</p>
	SEALANTS
	<p>PS # FAILED PERIMETER SEALANT TO BE REPAIRED, REFER TO DETAIL 7/A702; # INDICATES LINEAR FEET</p> <p>FS # FAILED SEALANT TO BE REPAIRED, REFER TO DETAIL 7/A702; # INDICATES LINEAR FEET</p>
	GLAZING
	<p>CG # CRACKED GLAZING TO BE REPAIRED; # INDICATES LINEAR FEET</p>
NOTE: NOT ALL DEFECTS IN THE LEGEND ARE SHOWN ON THIS SHEET.	

REPAIR NOTES

GRANITE MASONRY WALLS AT ROOF AREA F1, F2, AND F3 RISING WALLS SHALL BE REPOINTED 100%

KEY PLAN



**GALE**  
Engineers and Planners  
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Boston Baltimore Orlando Hartford  
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PROJECT: ROOF REPLACEMENT AND ASSOCIATED WORK AT THE DOROTHEA DIX PSYCHIATRIC CENTER  
656 STATE STREET  
BANGOR, ME 04402

OWNER: DOROTHEA DIX PSYCHIATRIC CENTER  
P.O. BOX 926  
BANGOR, MAINE 04402

NO.	DATE	DESCRIPTION	BY
PROJECT NO.	838010		
CADD FILE	838010 A200s		
DESIGNED BY	JVL		
DRAWN BY	JVL		
CHECKED BY	ACP/SRM		
DATE	10/20/2022		
DRAWING SCALE	NOT TO SCALE		

GRAPHIC SCALE

SHEET TITLE

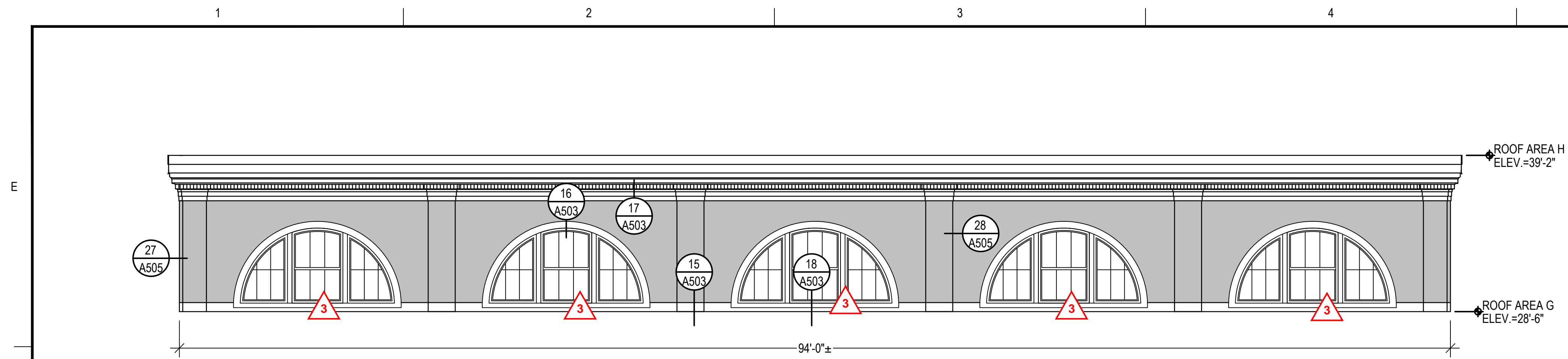
ELEVATIONS

DRAWING NO. A202

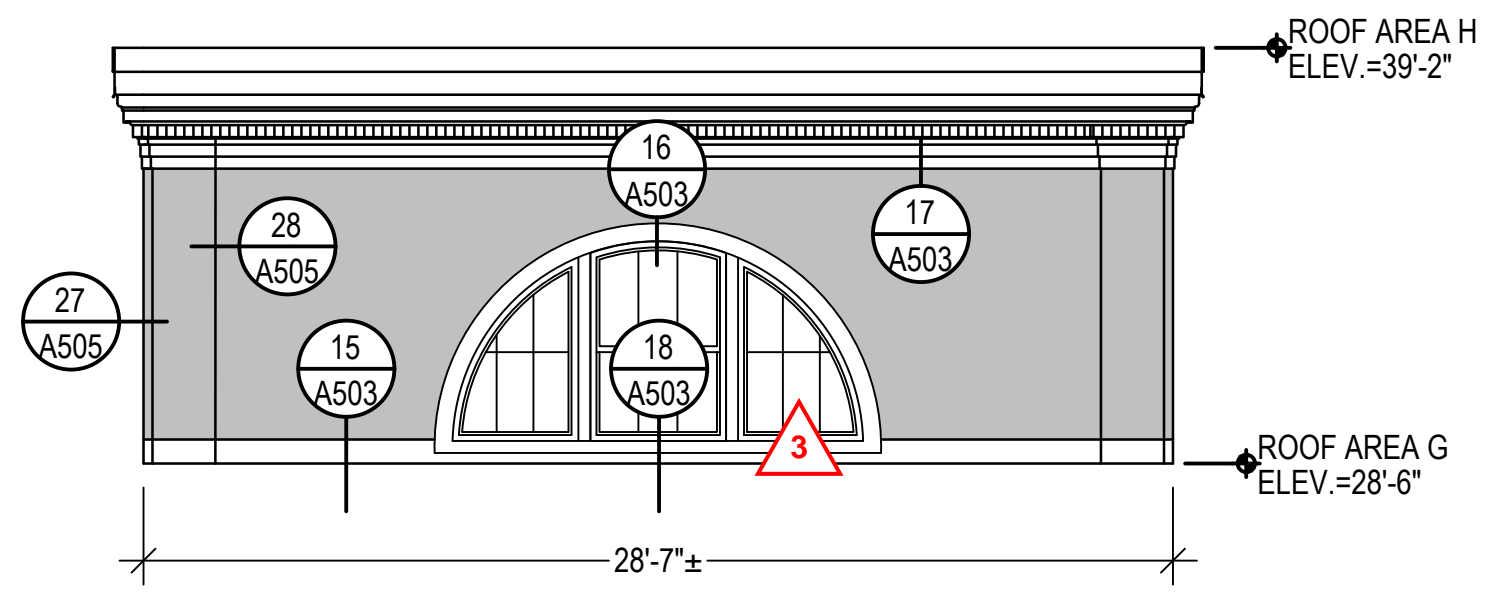








1 ROOF AREA G RISING WALL NORTH AND SOUTH ELEVATION  
A204 SCALE: 1/4"=1'-0"



2 ROOF AREA G RISING WALL EAST AND WEST ELEVATION  
A204 SCALE: 1/4"=1'-0"



3 ROOF AREA G RISING WALL ELEVATION  
A204 SCALE: N.T.S.

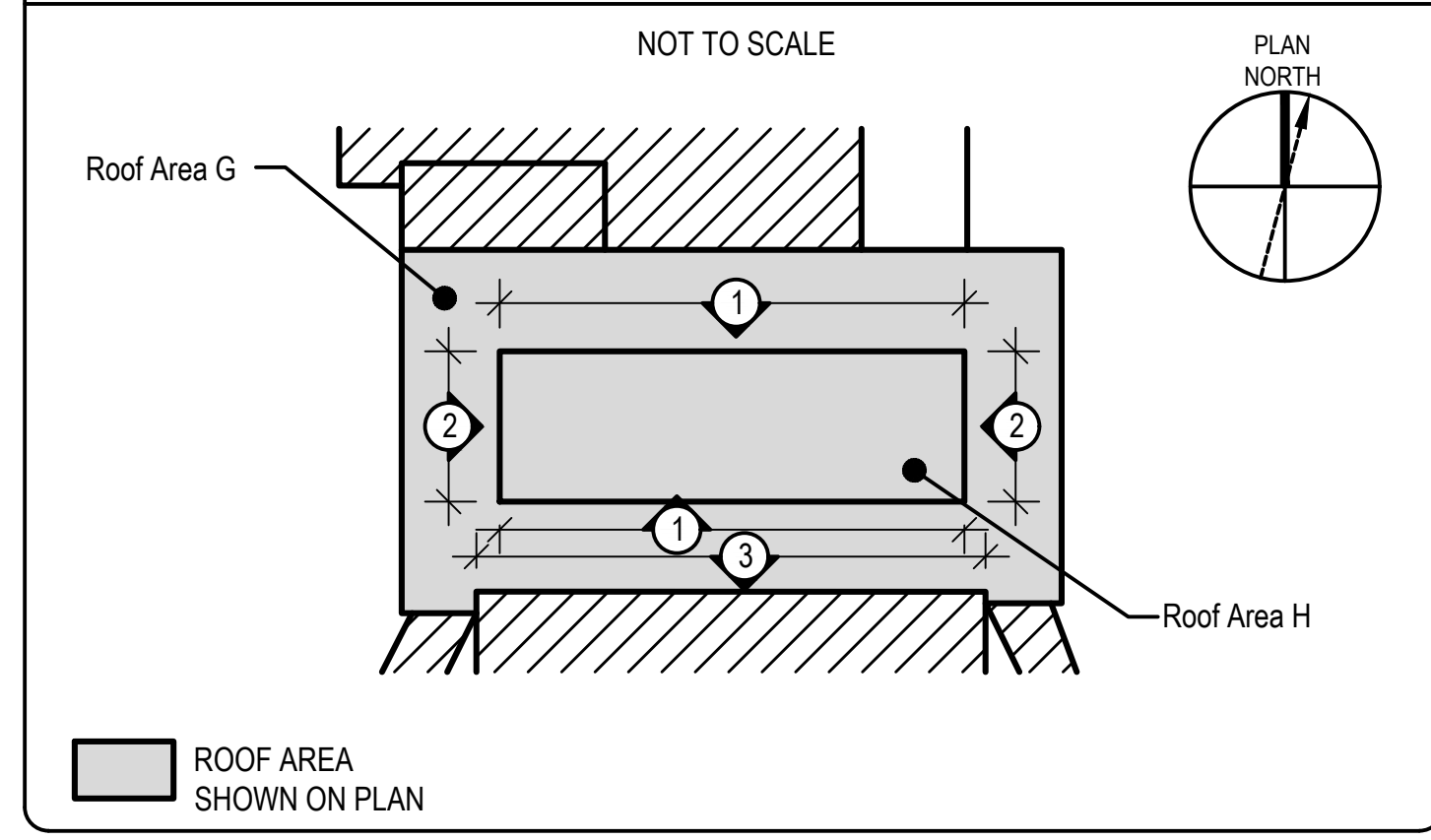
ELEVATION NOTES

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2. DISCREPANCIES NOTED BY THE CONTRACTOR IN THE DRAWINGS OR SPECIFICATIONS MUST BE BROUGHT TO THE OWNER'S ATTENTION PRIOR TO BID SUBMISSION.
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5. CONTRACTOR IS RESPONSIBLE FOR DESTROYING AND REMOVING BEES/HORNETS/WASPS WHICH INFEST WALLS IN VARIOUS LOCATIONS.
6. THE DEFECTS NOTED INDICATE APPROXIMATE LOCATIONS. THEY ARE NOT INTENDED TO DEFINE LIMITS OF WORK. AREAS NOT NOTED ON THESE DRAWINGS EXHIBITING SIMILAR DEFECTS AS THOSE SHOWN SHALL BE REPAIRED IN A SIMILAR MANNER. REFER TO SECTION 01 20 00 - UNIT PRICES FOR ESTIMATED QUANTITIES.
7. HATCH PATTERNS ARE FOR REPRESENTATION ONLY AND SHOULD NOT BE USED AS A MEANS FOR QUANTIFYING.

REPAIR LEGEND

MASONRY	WOOD AND PAINT
<p>CB # CRACKED BRICK TO BE REPLACED; # INDICATES UNITS</p> <p>SB # SPALLED BRICK TO BE REPLACED; # INDICATES UNITS</p> <p>DM # DETERIORATED MORTAR JOINT TO BE REPOINTED, REFER TO DETAIL 5/A701; # INDICATES SQUARE FEET</p> <p>MJ # DETERIORATED MORTAR JOINT TO BE REPOINTED, REFER TO DETAIL 5/A701; # INDICATES LINEAR FEET</p> <p>— STEP CRACK TO BE REPAIRED (APPROXIMATE SCALE); # INDICATES LINEAR FEET</p> <p>✕ EXISTING ANCHOR/METAL STUB TO BE REMOVED AND VOID IN BRICK OR MORTAR TO BE PATCHED</p> <p>EF # EFFLORESCENCE TO BE CLEANED; # INDICATES SQUARE FEET</p> <p>RS # RUST STAINING TO BE CLEANED; # INDICATES SQUARE FEET</p> <p>VG # VEGETATIVE GROWTH TO BE CLEANED; # INDICATES SQUARE FEET</p> <p>AS # ATMOSPHERIC STAINING TO BE CLEANED; # INDICATES SQUARE FEET</p> <p>RJ # RUST JACKING TO BE REPAIRED; # INDICATES LINEAR FEET</p> <p>RL # RUST STAINING ON LINTEL, LINTEL TO BE SCRAPPED, PRIMED, AND PAINTED; # INDICATES LINEAR FEET</p>	<p>△ CLASS 1 PAINT DEFECT (MOLD, STAINING, ALGAE); SCRAPE, PRIME, AND PAINT SUBSTRATE</p> <p>△ CLASS 2 PAINT DEFECT (CRACKED/WRINKLED PAINTED SURFACE); SCRAPE, PRIME, AND PAINT SUBSTRATE</p> <p>△ CLASS 3 PAINT DEFECT (PEELING PAINT/EXPOSED WOOD); SCRAPE, PRIME, AND PAINT SUBSTRATE</p>
	SEALANTS
	<p>PS # FAILED PERIMETER SEALANT TO BE REPAIRED, REFER TO DETAIL 7/A702; # INDICATES LINEAR FEET</p> <p>FS # FAILED SEALANT TO BE REPAIRED, REFER TO DETAIL 7/A702; # INDICATES LINEAR FEET</p>
	GLAZING
	<p>CG # CRACKED GLAZING TO BE REPAIRED; # INDICATES LINEAR FEET</p>
NOTE: NOT ALL DEFECTS IN THE LEGEND ARE SHOWN ON THIS SHEET.	

KEY PLAN



**GALE**  
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PROJECT  
**ROOF REPLACEMENT AND ASSOCIATED WORK AT THE DOROTHEA DIX PSYCHIATRIC CENTER**  
656 STATE STREET  
BANGOR, ME 04402

OWNER  
DOROTHEA DIX PSYCHIATRIC CENTER  
P.O. BOX 926  
BANGOR, MAINE 04402

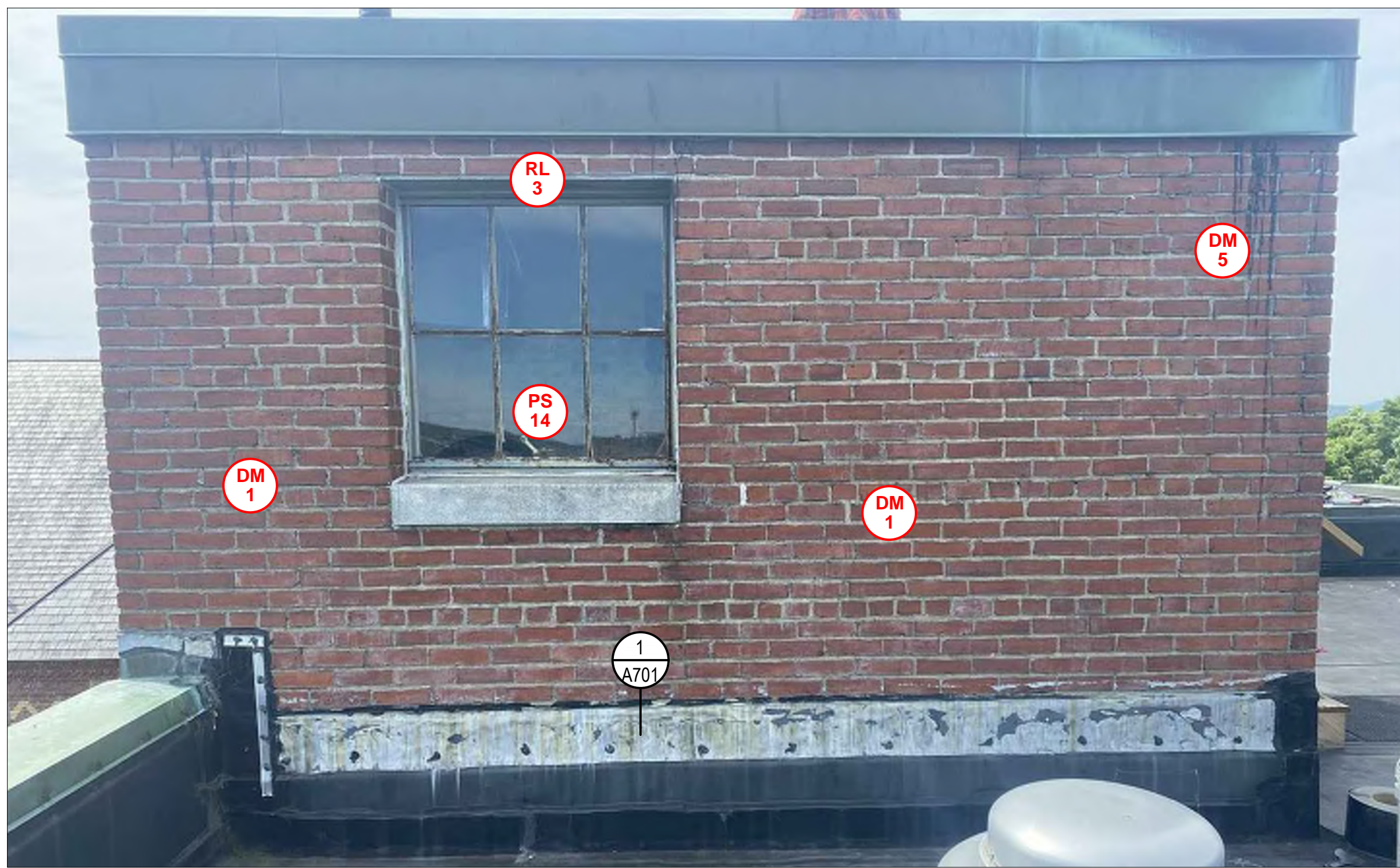
NO.	DATE	DESCRIPTION	BY
PROJECT NO.	838010		
CADD FILE	838010 A200s		
DESIGNED BY	JVL		
DRAWN BY	JVL		
CHECKED BY	ACP/SRM		
DATE	10/20/2022		
DRAWING SCALE	AS NOTED		

GRAPHIC SCALE

SHEET TITLE  
**ELEVATIONS**

DRAWING NO.  
**A204**

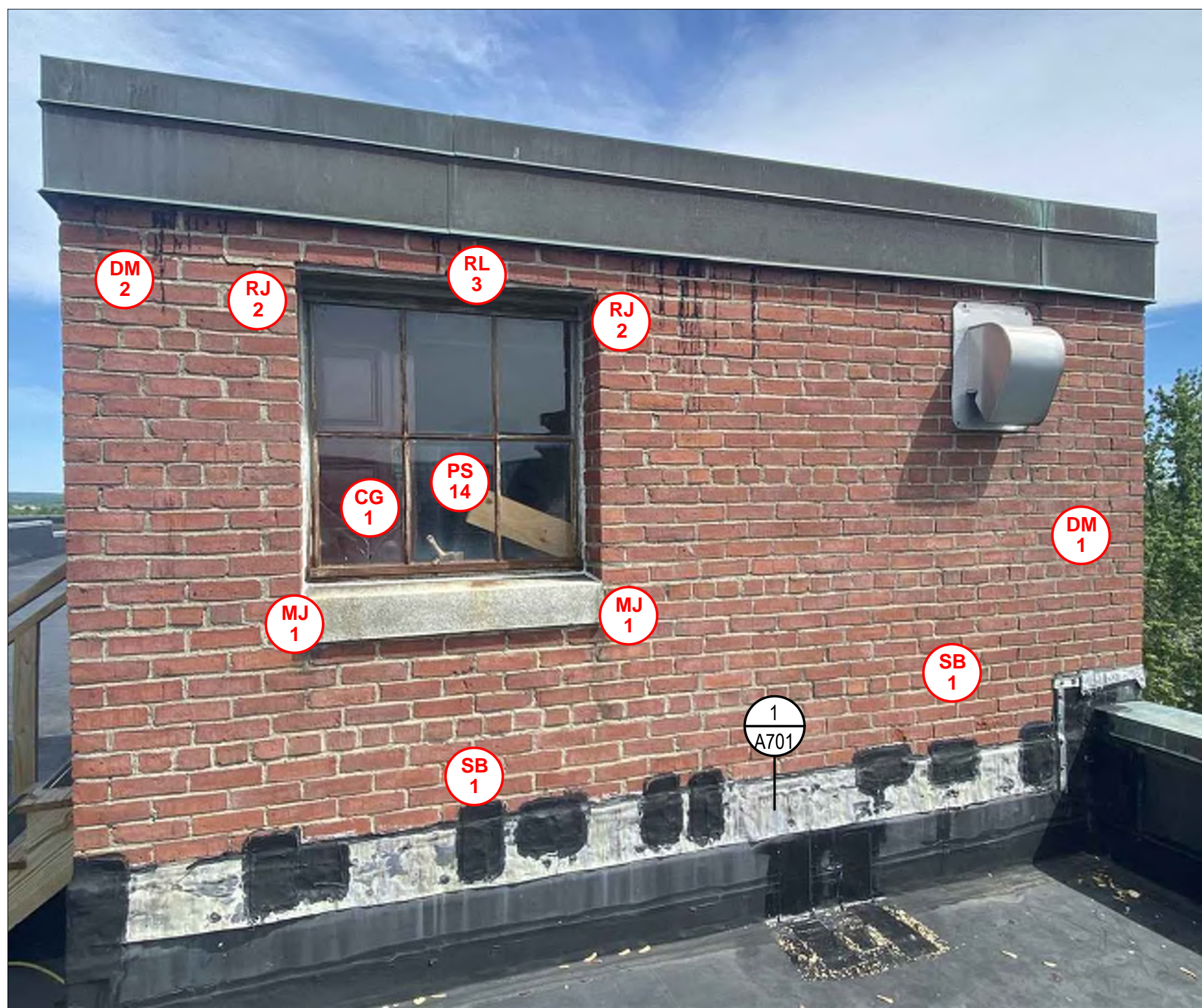




1 ROOF AREA A RISING WALL ELEVATION  
SCALE: N.T.S.



2 ROOF AREA A RISING WALL ELEVATION  
SCALE: N.T.S.



3 ROOF AREA A RISING WALL ELEVATION  
SCALE: N.T.S.

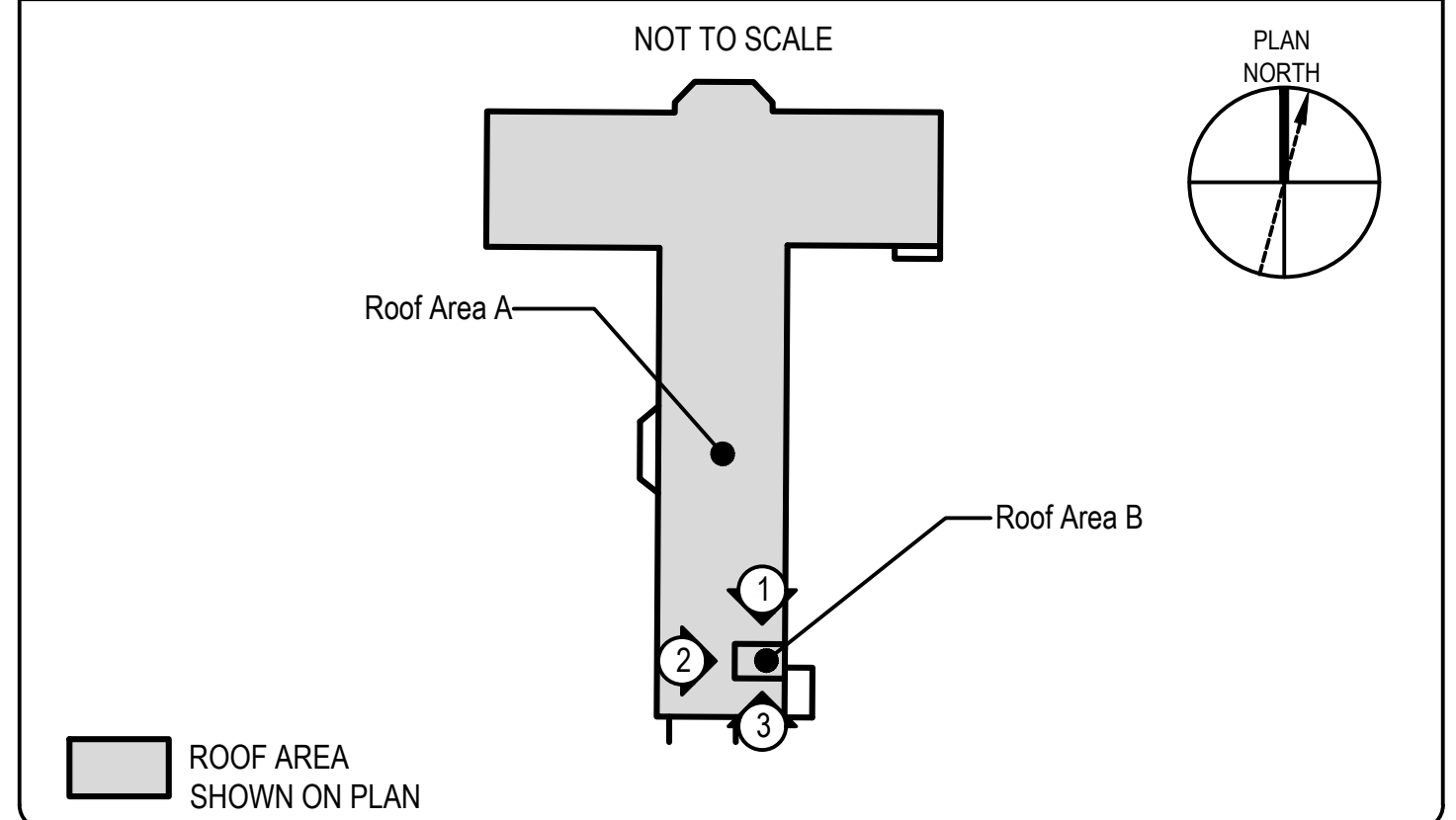
ELEVATION NOTES

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REPAIR LEGEND

MASONRY	WOOD AND PAINT
<p>CB # CRACKED BRICK TO BE REPLACED; # INDICATES UNITS</p> <p>SB SPALLED BRICK TO BE REPLACED; # INDICATES UNITS</p> <p>DM # DETERIORATED MORTAR JOINT TO BE REPOINTED, REFER TO DETAIL 5/A701; # INDICATES SQUARE FEET</p> <p>MJ # DETERIORATED MORTAR JOINT TO BE REPOINTED, REFER TO DETAIL 5/A701; # INDICATES LINEAR FEET</p> <p>— STEP CRACK TO BE REPAIRED (APPROXIMATE SCALE); # INDICATES LINEAR FEET</p> <p>x EXISTING ANCHOR/METAL STUB TO BE REMOVED AND VOID IN BRICK OR MORTAR TO BE PATCHED</p> <p>EF # EFFLORESCENCE TO BE CLEANED; # INDICATES SQUARE FEET</p> <p>RS # RUST STAINING TO BE CLEANED; # INDICATES SQUARE FEET</p> <p>VG # VEGETATIVE GROWTH TO BE CLEANED; # INDICATES SQUARE FEET</p> <p>AS # ATMOSPHERIC STAINING TO BE CLEANED; # INDICATES SQUARE FEET</p> <p>RJ # RUST JACKING TO BE REPAIRED; # INDICATES LINEAR FEET</p> <p>RL # RUST STAINING ON LINTEL, LINTEL TO BE SCRAPPED, PRIMED, AND PAINTED; # INDICATES LINEAR FEET</p>	<p>△ CLASS 1 PAINT DEFECT (MOLD, STAINING, ALGAE); SCRAPE, PRIME, AND PAINT SUBSTRATE</p> <p>△ CLASS 2 PAINT DEFECT (CRACKED/WRINKLED PAINTED SURFACE); SCRAPE, PRIME, AND PAINT SUBSTRATE</p> <p>△ CLASS 3 PAINT DEFECT (PEELING PAINT/EXPOSED WOOD); SCRAPE, PRIME, AND PAINT SUBSTRATE</p>
	SEALANTS
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	GLAZING
	<p>CG # CRACKED GLAZING TO BE REPAIRED; # INDICATES LINEAR FEET</p>
NOTE: NOT ALL DEFECTS IN THE LEGEND ARE SHOWN ON THIS SHEET.	

KEY PLAN



**GALE**  
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656 STATE STREET  
BANGOR, ME 04402  
OWNER: DOROTHEA DIX PSYCHIATRIC CENTER  
P.O. BOX 926  
BANGOR, MAINE 04402

NO.	DATE	DESCRIPTION	BY
PROJECT NO.	838010		
CADD FILE	838010 A200s		
DESIGNED BY	JVL		
DRAWN BY	JVL		
CHECKED BY	ACP/SRM		
DATE	10/20/2022		
DRAWING SCALE	NOT TO SCALE		

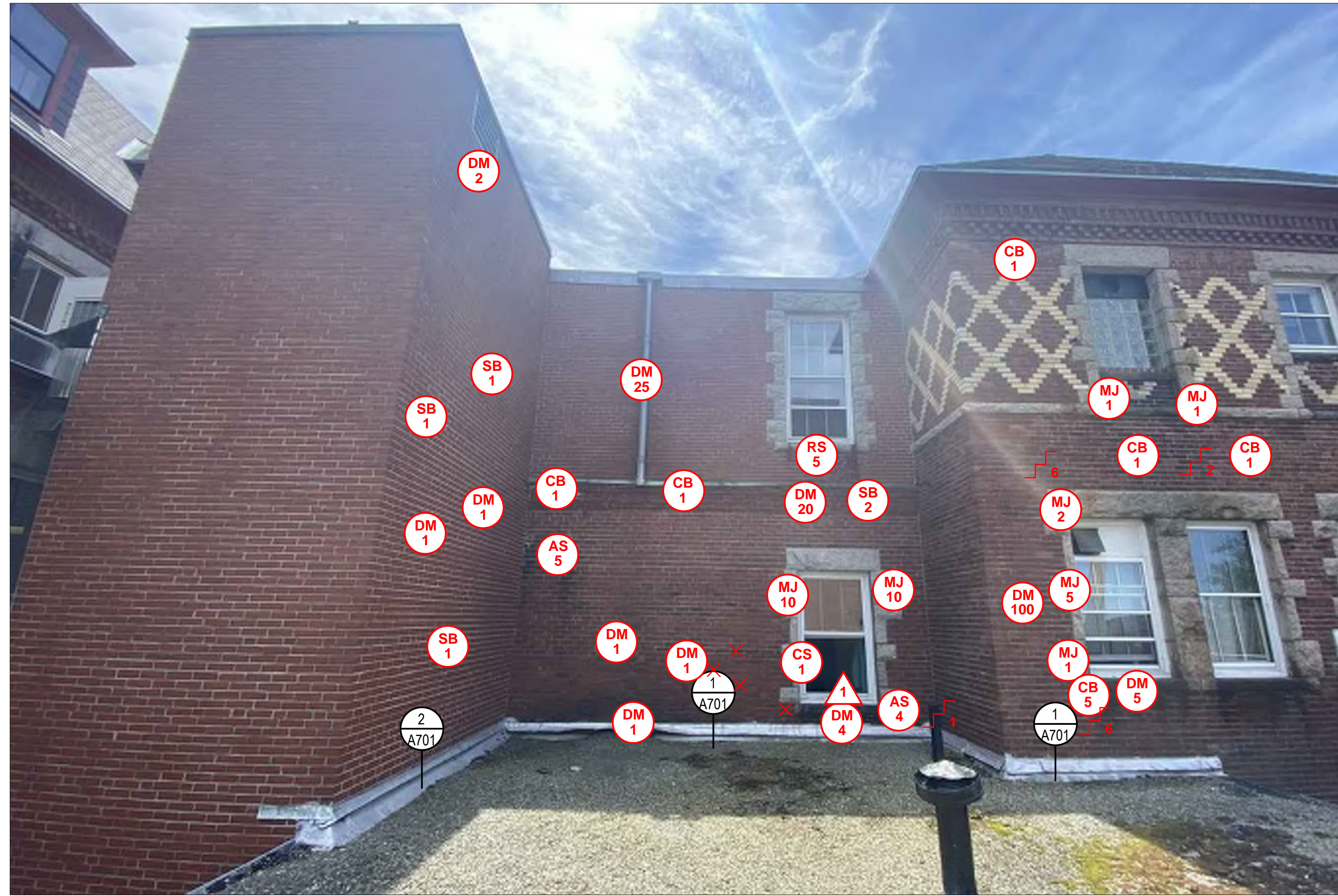
GRAPHIC SCALE

SHEET TITLE

ELEVATIONS

DRAWING NO. A205





**1**  
**A206** SCALE: N.T.S.  
**ALTERNATE 3**  
**ROOF AREA I RISING WALL ELEVATION**



**2**  
**A206** SCALE: N.T.S.  
**ALTERNATE 3**  
**ROOF AREA I RISING WALL ELEVATION**

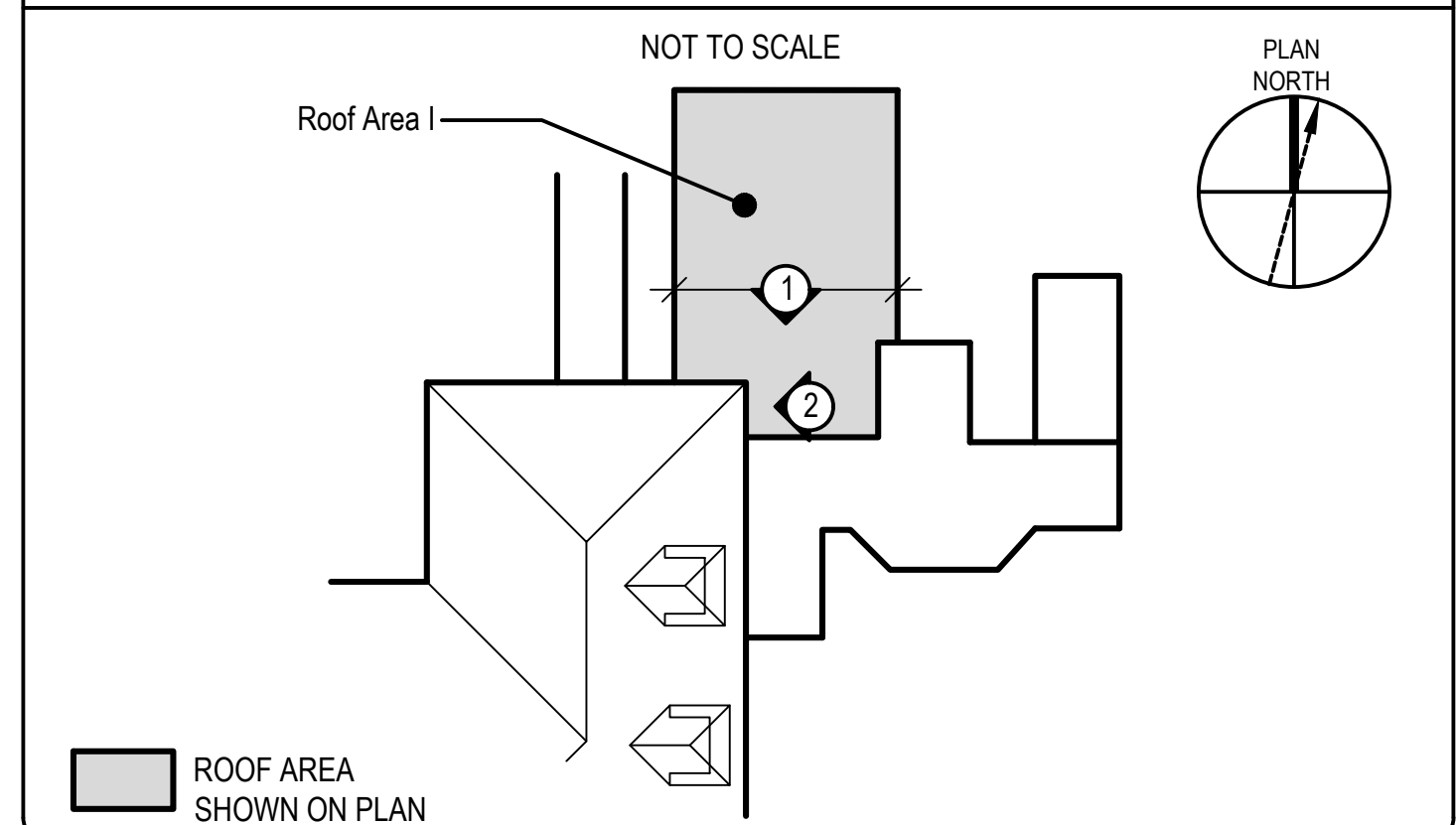
**ELEVATION NOTES**

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**REPAIR LEGEND**

MASONRY	WOOD AND PAINT
<p>CB # CRACKED BRICK TO BE REPLACED; # INDICATES UNITS</p> <p>SB # SPALLED BRICK TO BE REPLACED; # INDICATES UNITS</p> <p>DM # DETERIORATED MORTAR JOINT TO BE REPOINTED, REFER TO DETAIL 5/A701; # INDICATES SQUARE FEET</p> <p>MJ # DETERIORATED MORTAR JOINT TO BE REPOINTED, REFER TO DETAIL 5/A701; # INDICATES LINEAR FEET</p> <p>STEP CRACK TO BE REPAIRED (APPROXIMATE SCALE); # INDICATES LINEAR FEET</p> <p>✕ EXISTING ANCHOR/METAL STUB TO BE REMOVED AND VOID IN BRICK OR MORTAR TO BE PATCHED</p> <p>EF # EFFLORESCENCE TO BE CLEANED; # INDICATES SQUARE FEET</p> <p>RS # RUST STAINING TO BE CLEANED; # INDICATES SQUARE FEET</p> <p>VG # VEGETATIVE GROWTH TO BE CLEANED; # INDICATES SQUARE FEET</p> <p>AS # ATMOSPHERIC STAINING TO BE CLEANED; # INDICATES SQUARE FEET</p> <p>RJ # RUST JACKING TO BE REPAIRED; # INDICATES LINEAR FEET</p> <p>RL # RUST STAINING ON LINTEL, LINTEL TO BE SCRAPPED, PRIMED, AND PAINTED; # INDICATES LINEAR FEET</p>	<p>CLASS 1 PAINT DEFECT (MOLD, STAINING, ALGAE); SCRAPE, PRIME, AND PAINT SUBSTRATE</p> <p>CLASS 2 PAINT DEFECT (CRACKED/WRINKLED PAINTED SURFACE); SCRAPE, PRIME, AND PAINT SUBSTRATE</p> <p>CLASS 3 PAINT DEFECT (PEELING PAINT/EXPOSED WOOD); SCRAPE, PRIME, AND PAINT SUBSTRATE</p>
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	GLAZING
	<p>CG # CRACKED GLAZING TO BE REPAIRED; # INDICATES LINEAR FEET</p>
NOTE: NOT ALL DEFECTS IN THE LEGEND ARE SHOWN ON THIS SHEET.	

**KEY PLAN**



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PROJECT  
**ROOF REPLACEMENT AND ASSOCIATED WORK AT THE DOROTHEA DIX PSYCHIATRIC CENTER**  
 656 STATE STREET  
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OWNER  
 DOROTHEA DIX PSYCHIATRIC CENTER  
 P.O. BOX 926  
 BANGOR, MAINE 04402

NO.	DATE	DESCRIPTION	BY
PROJECT NO.	838010		
CADD FILE	838010 A206s		
DESIGNED BY	JVL		
DRAWN BY	JVL		
CHECKED BY	ACP/SRM		
DATE	10/20/2022		
DRAWING SCALE	NOT TO SCALE		

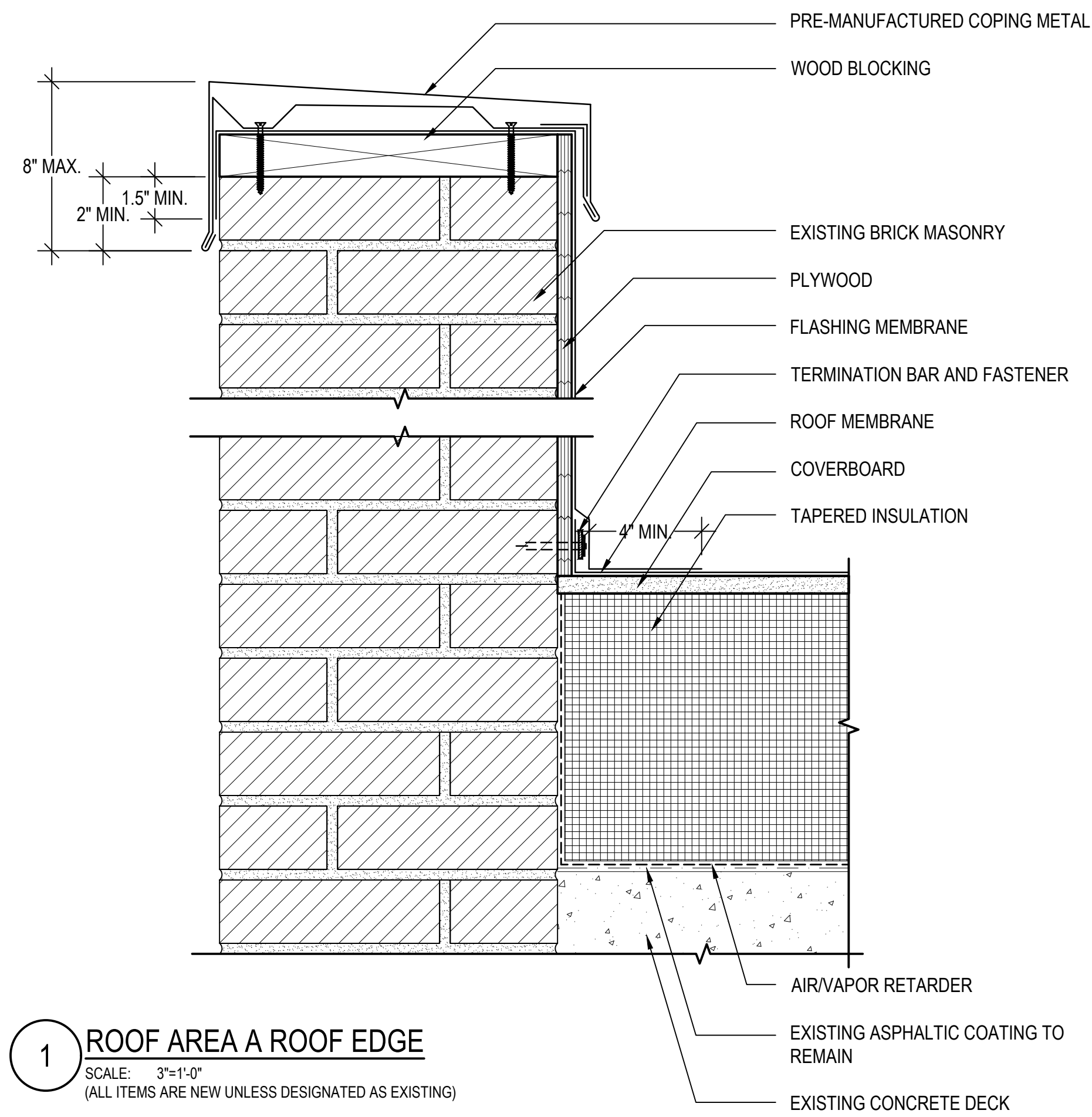
GRAPHIC SCALE

SHEET TITLE  
**ELEVATIONS**

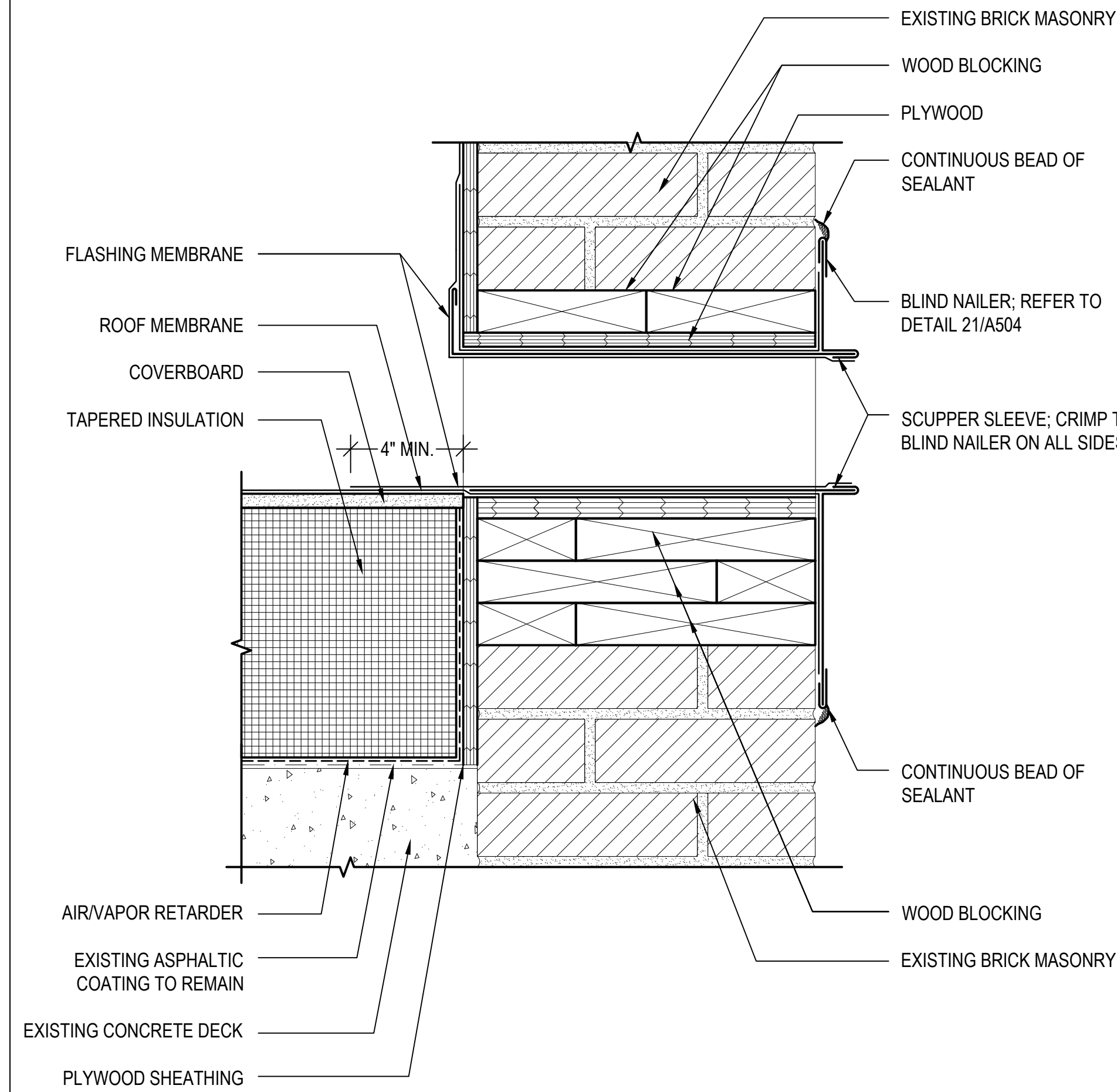
DRAWING NO.  
**A206**



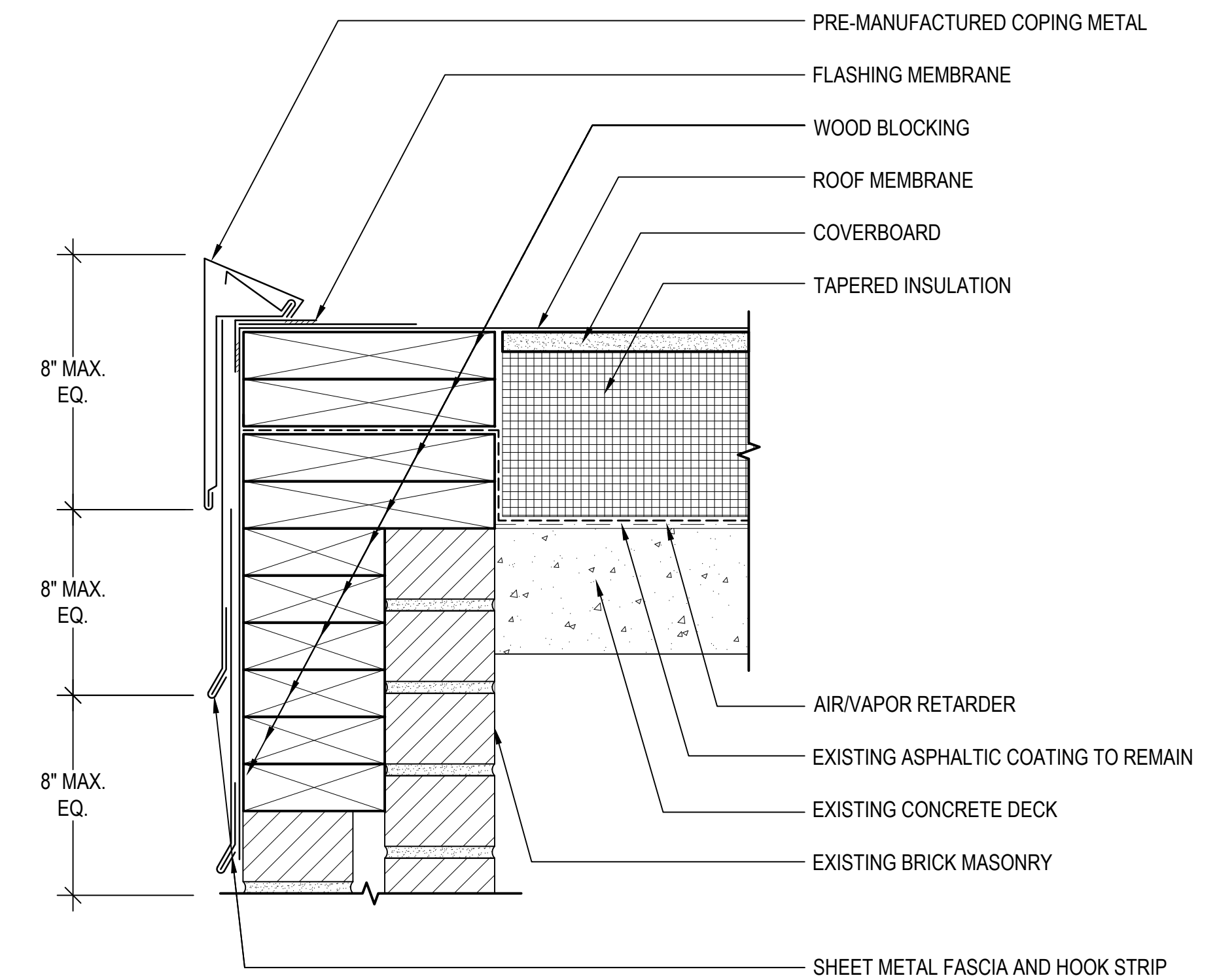
PARAPET HEIGHT VARIES;  
COORDINATE IN FIELD.



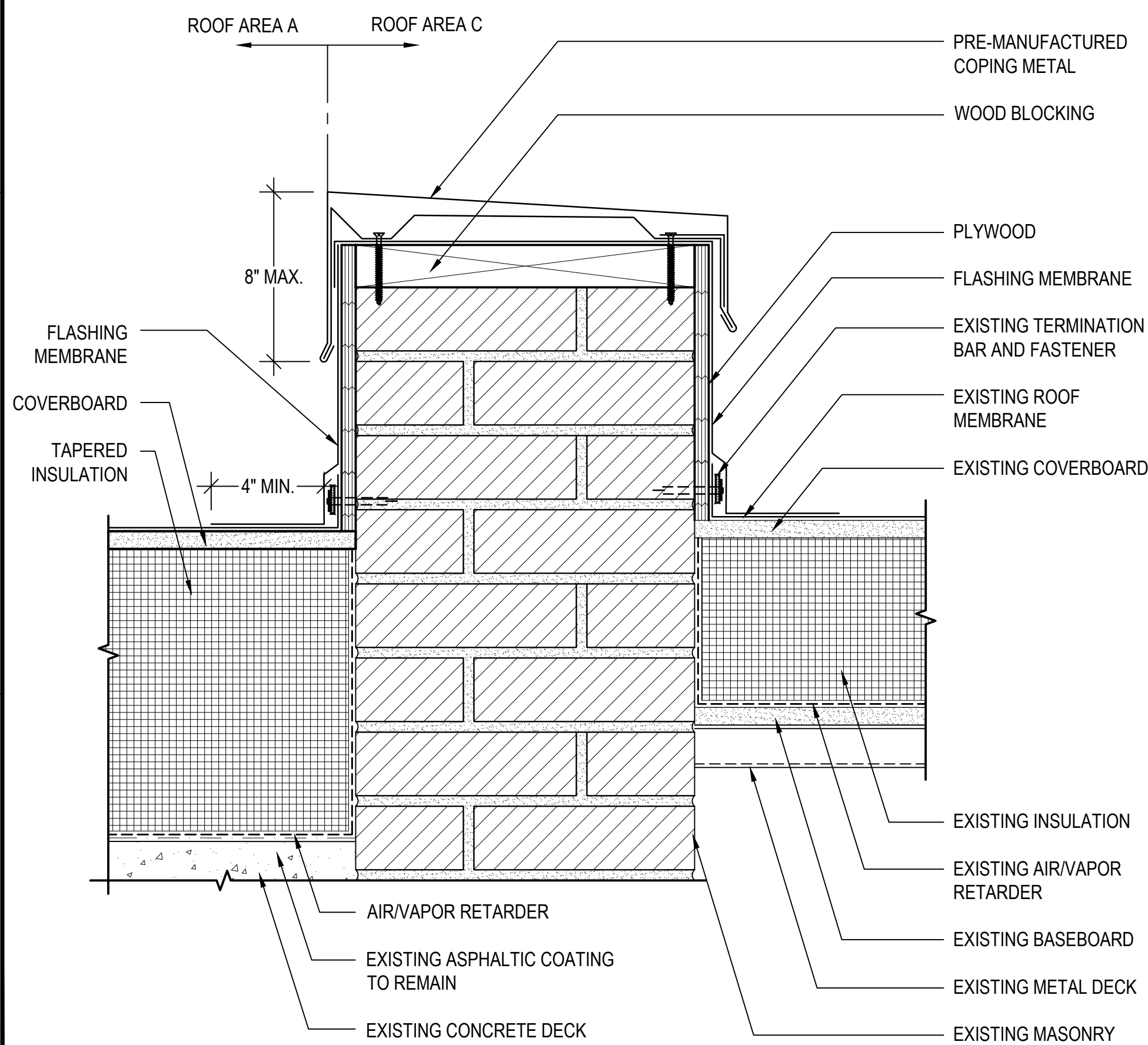
**1 ROOF AREA A ROOF EDGE**  
SCALE: 3"=1'-0"  
(ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)



**2 ROOF AREA A OVERFLOW SCUPPER**  
SCALE: 3"=1'-0"  
(ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)

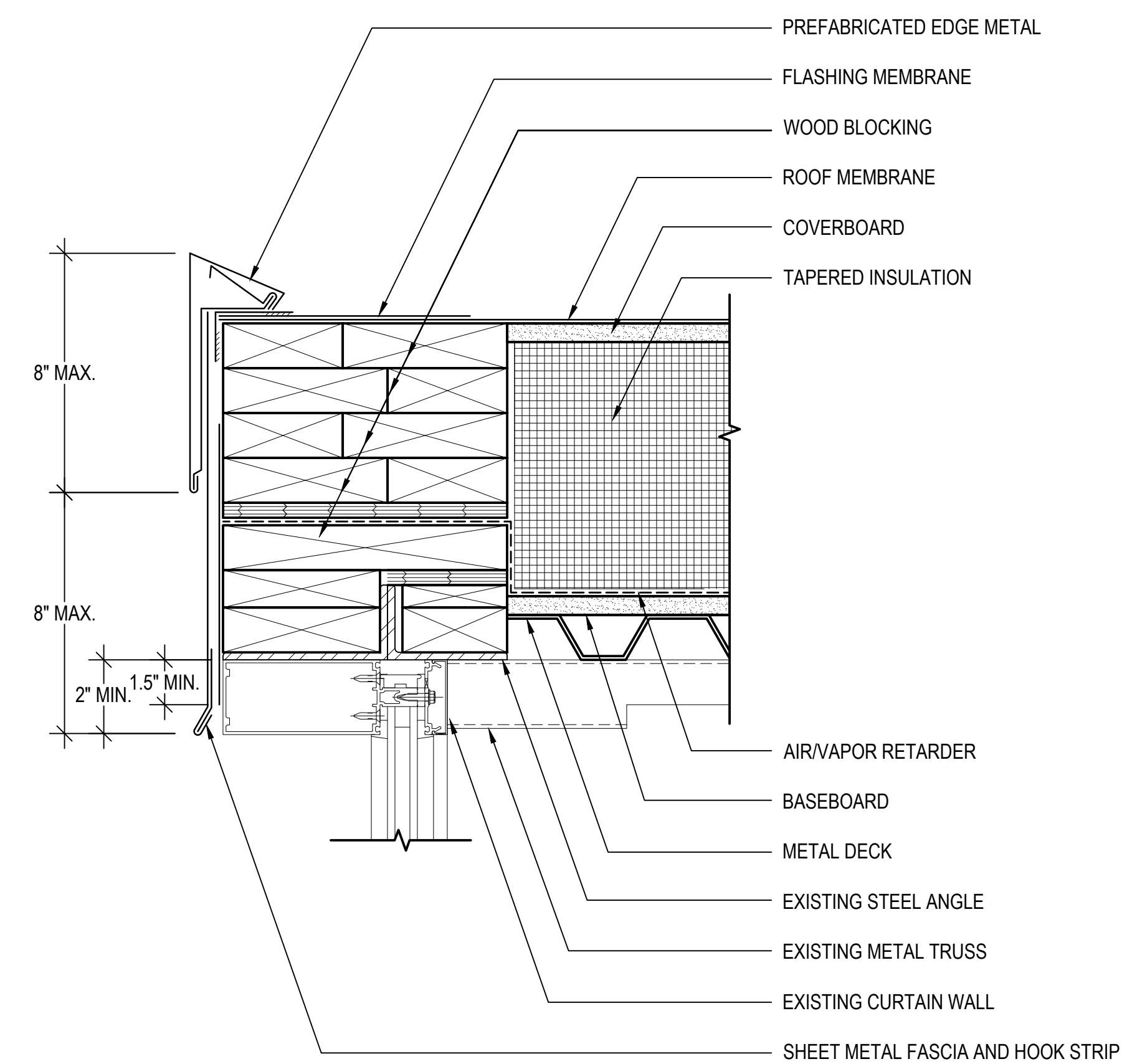


**3 ROOF AREA B ROOF EDGE**  
SCALE: 3"=1'-0"  
(ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)



**4 CURB FLASHING AT ROOF AREA A TO C**  
SCALE: 3"=1'-0"  
(ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)

**THIS SPACE IS  
INTENTIONALLY  
LEFT BLANK**

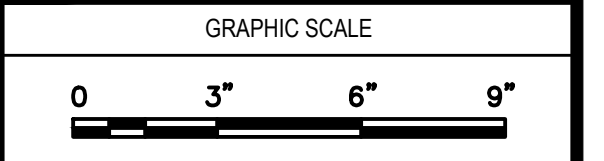


**6 ROOF AREA D ROOF EDGE**  
SCALE: 3"=1'-0"  
(ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)

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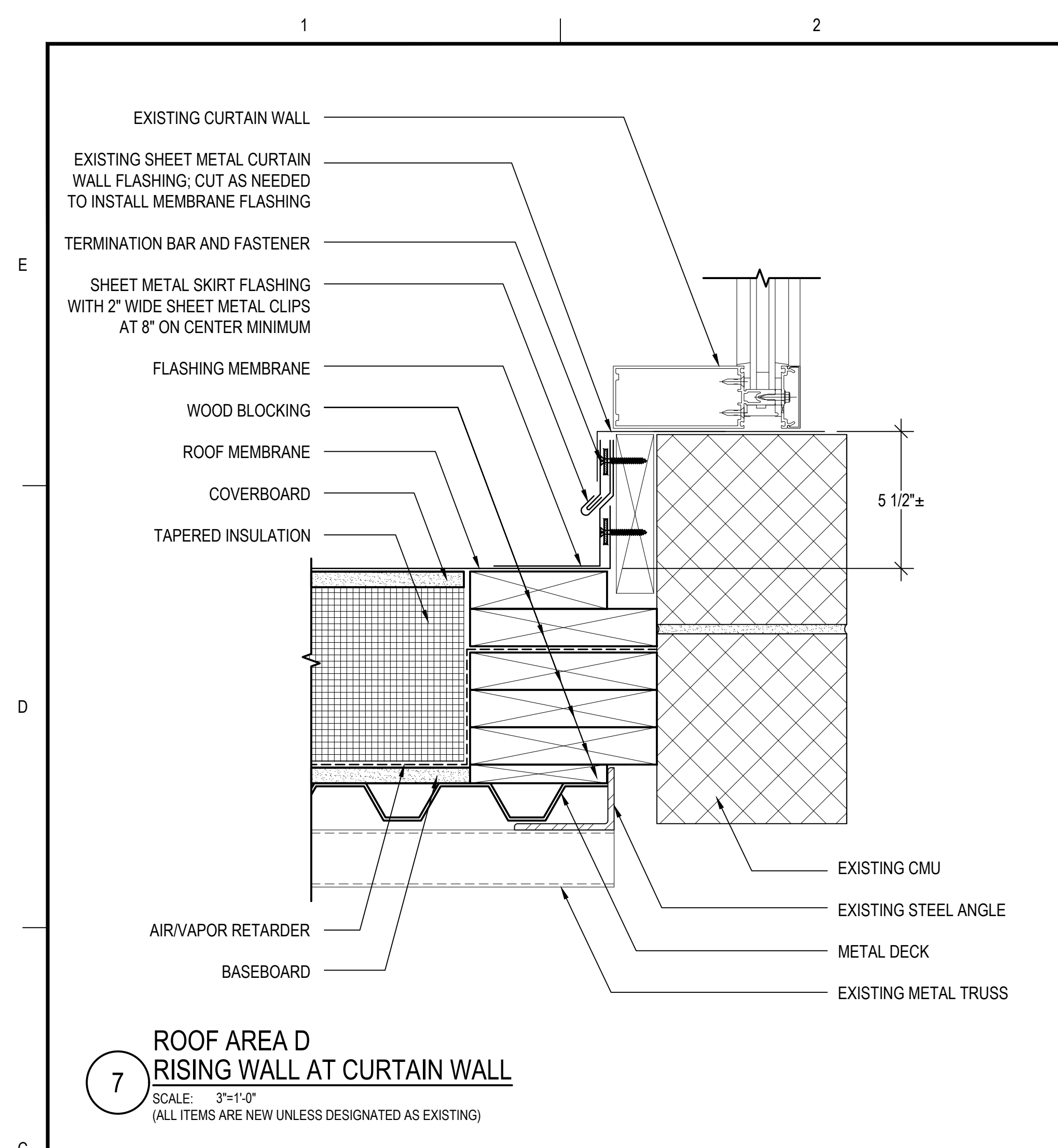
NO.	DATE	DESCRIPTION	BY
PROJECT NO.	838010		
CADD FILE	838010 A500s		
DESIGNED BY	JVL		
DRAWN BY	JVL		
CHECKED BY	ACP/SRM		
DATE	10/20/2022		
DRAWING SCALE	3"=1'-0"		



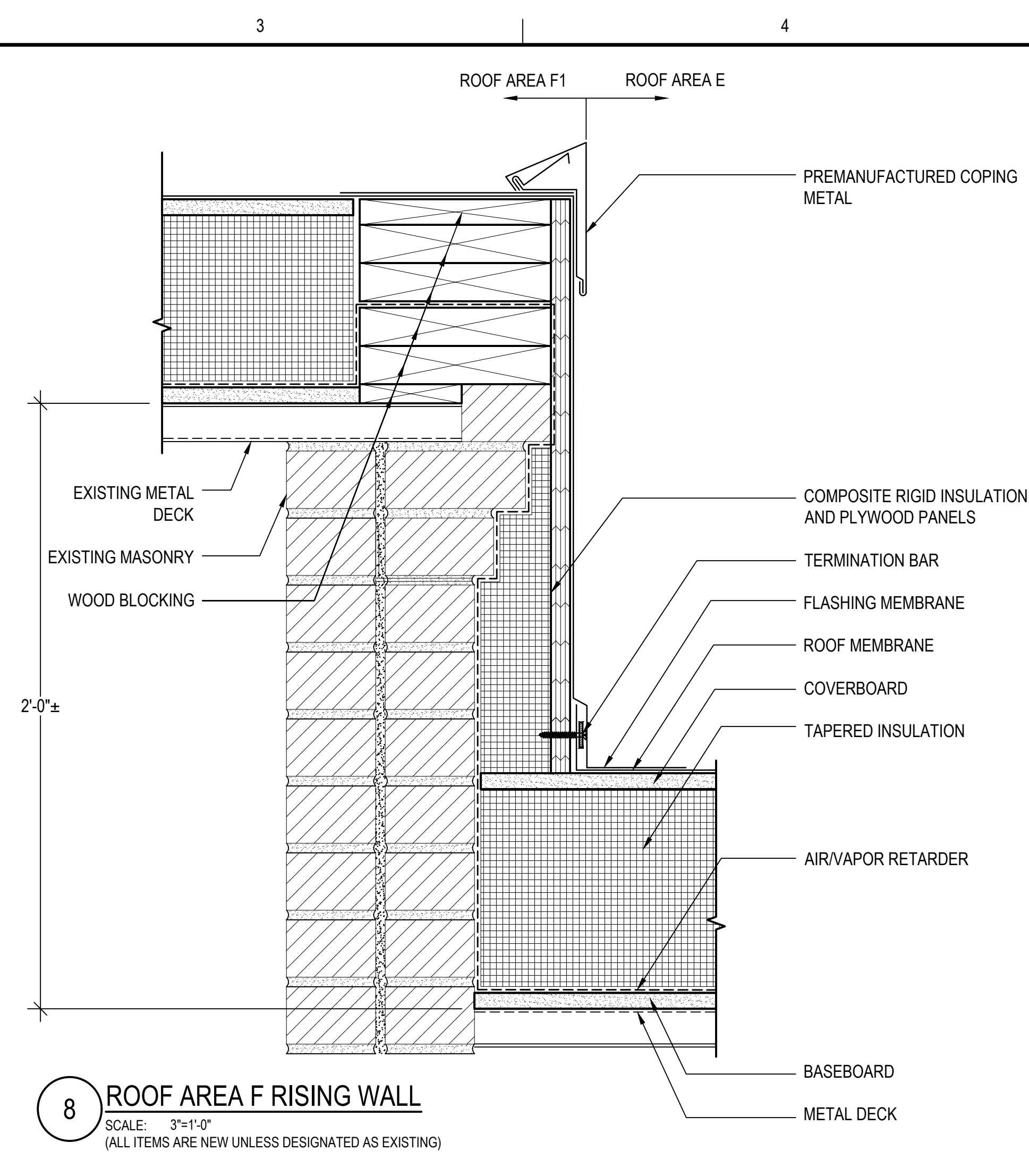
SHEET TITLE  
**DETAILS**

DRAWING NO.  
**A501**

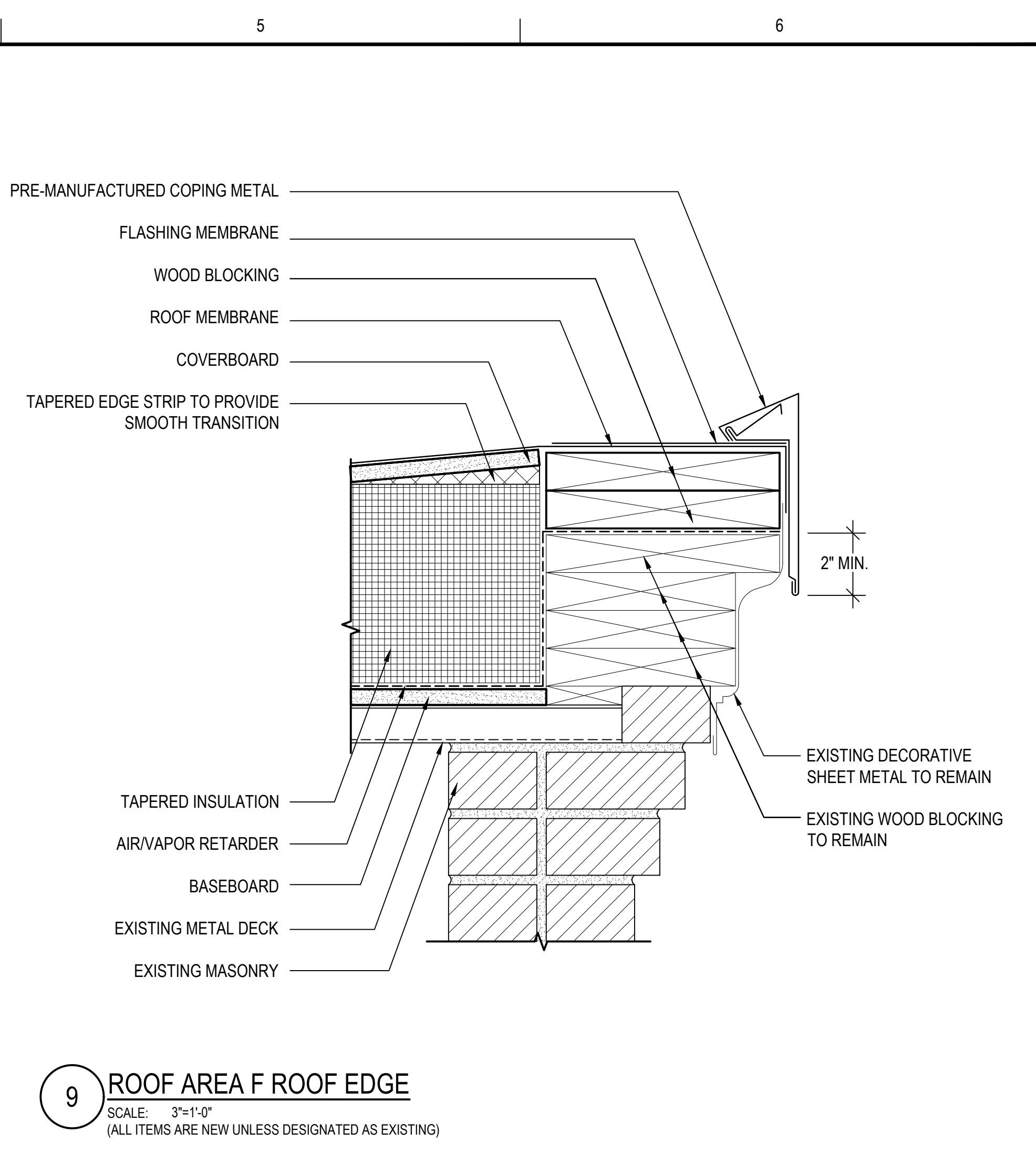




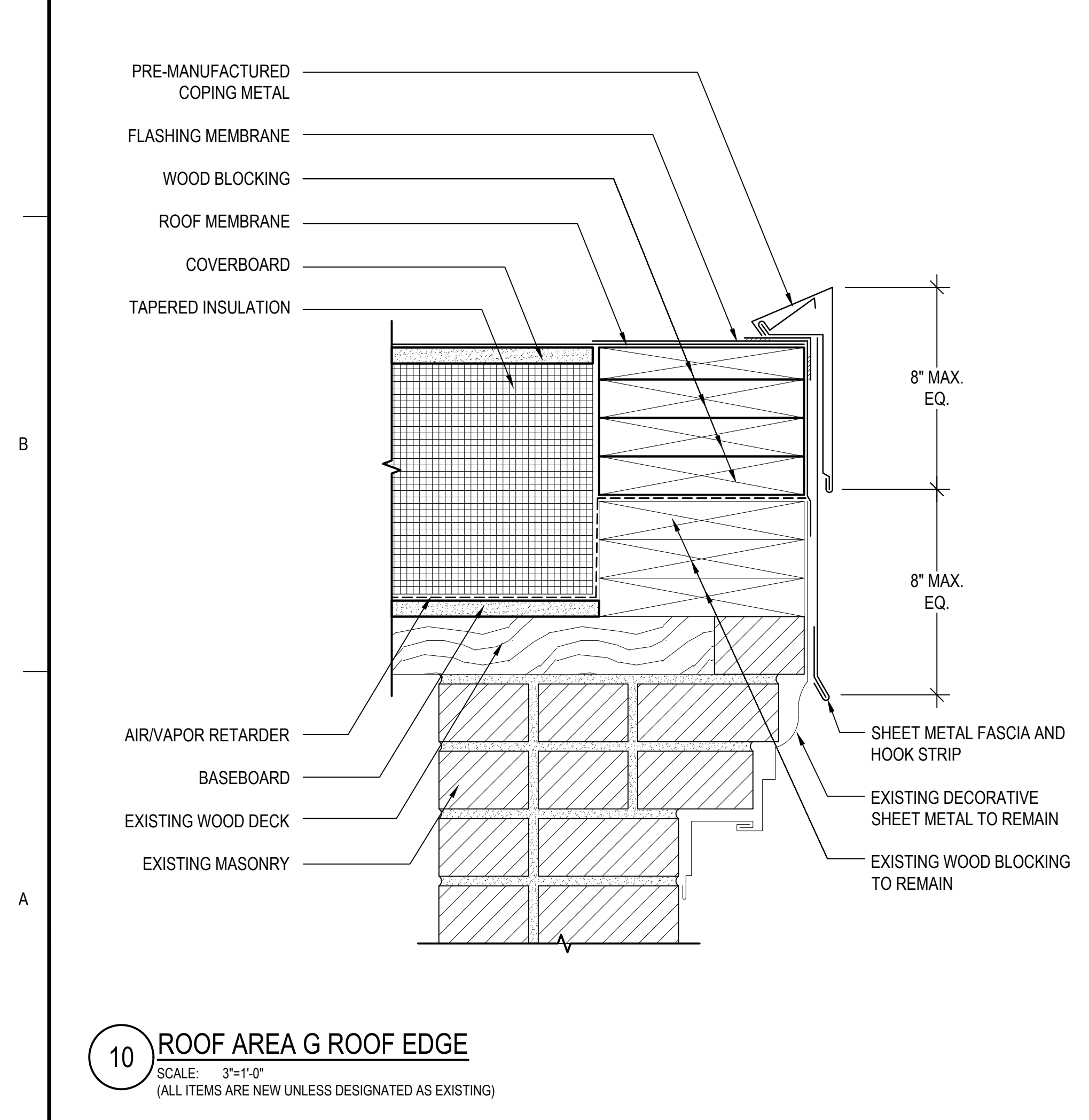
**7 ROOF AREA D RISING WALL AT CURTAIN WALL**  
 SCALE: 3/4"=1'-0"  
 (ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)



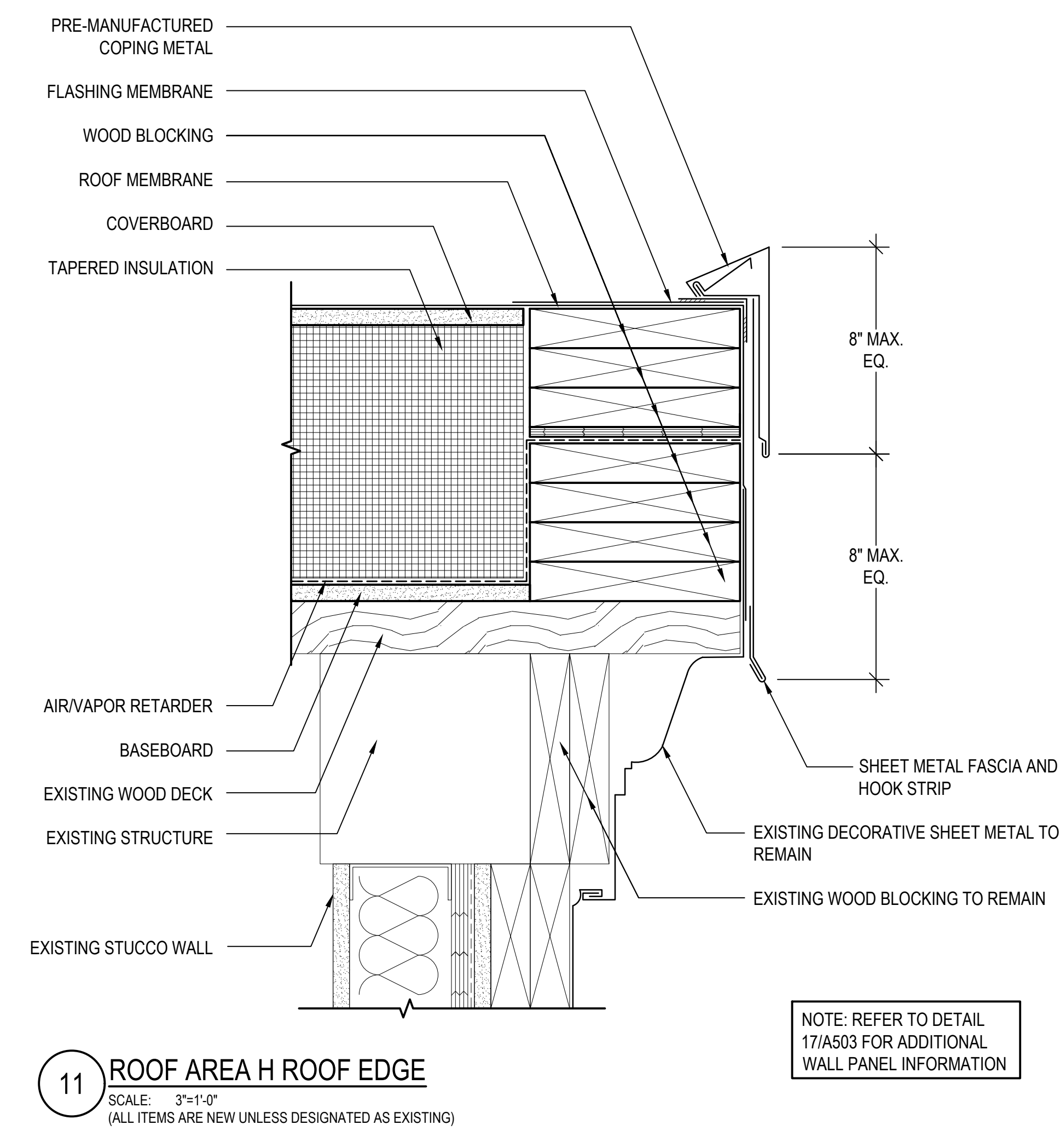
**8 ROOF AREA F RISING WALL**  
 SCALE: 3/4"=1'-0"  
 (ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)



**9 ROOF AREA F ROOF EDGE**  
 SCALE: 3/4"=1'-0"  
 (ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)

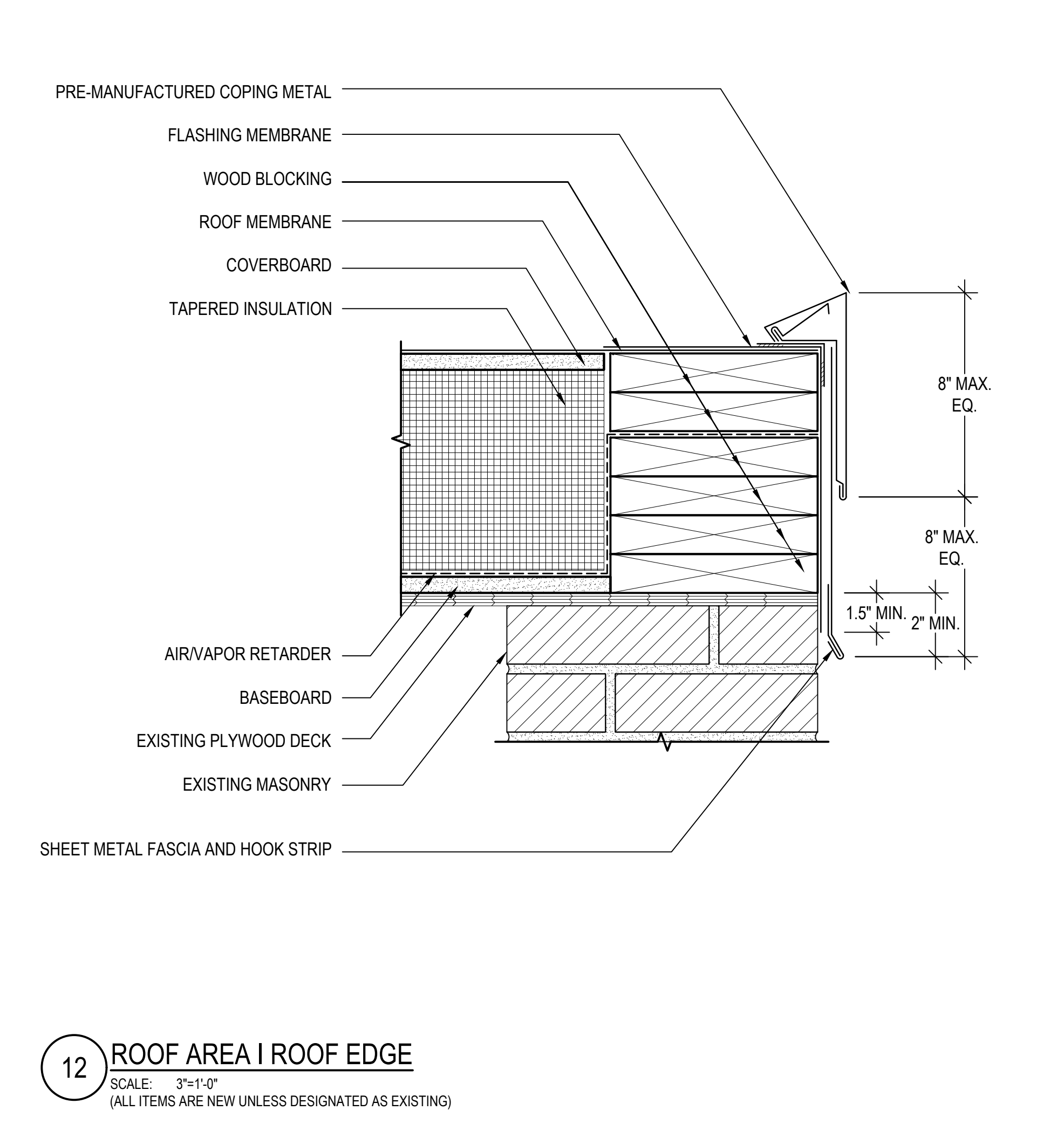


**10 ROOF AREA G ROOF EDGE**  
 SCALE: 3/4"=1'-0"  
 (ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)



**11 ROOF AREA H ROOF EDGE**  
 SCALE: 3/4"=1'-0"  
 (ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)

NOTE: REFER TO DETAIL 17/A503 FOR ADDITIONAL WALL PANEL INFORMATION



**12 ROOF AREA I ROOF EDGE**  
 SCALE: 3/4"=1'-0"  
 (ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)

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PROJECT: **ROOF REPLACEMENT AND ASSOCIATED WORK AT THE DOROTHEA DIX PSYCHIATRIC CENTER**  
 656 STATE STREET  
 BANGOR, ME 04402

OWNER: **DOROTHEA DIX PSYCHIATRIC CENTER**  
 P.O. BOX 926  
 BANGOR, MAINE 04402

NO.	DATE	DESCRIPTION	BY
PROJECT NO.	838010		
CADD FILE	838010 A500s		
DESIGNED BY	JVL		
DRAWN BY	JVL		
CHECKED BY	ACP/SRM		
DATE	10/20/2022		
DRAWING SCALE	AS NOTED		

GRAPHIC SCALE

SHEET TITLE: **DETAILS**

DRAWING NO.: **A502**





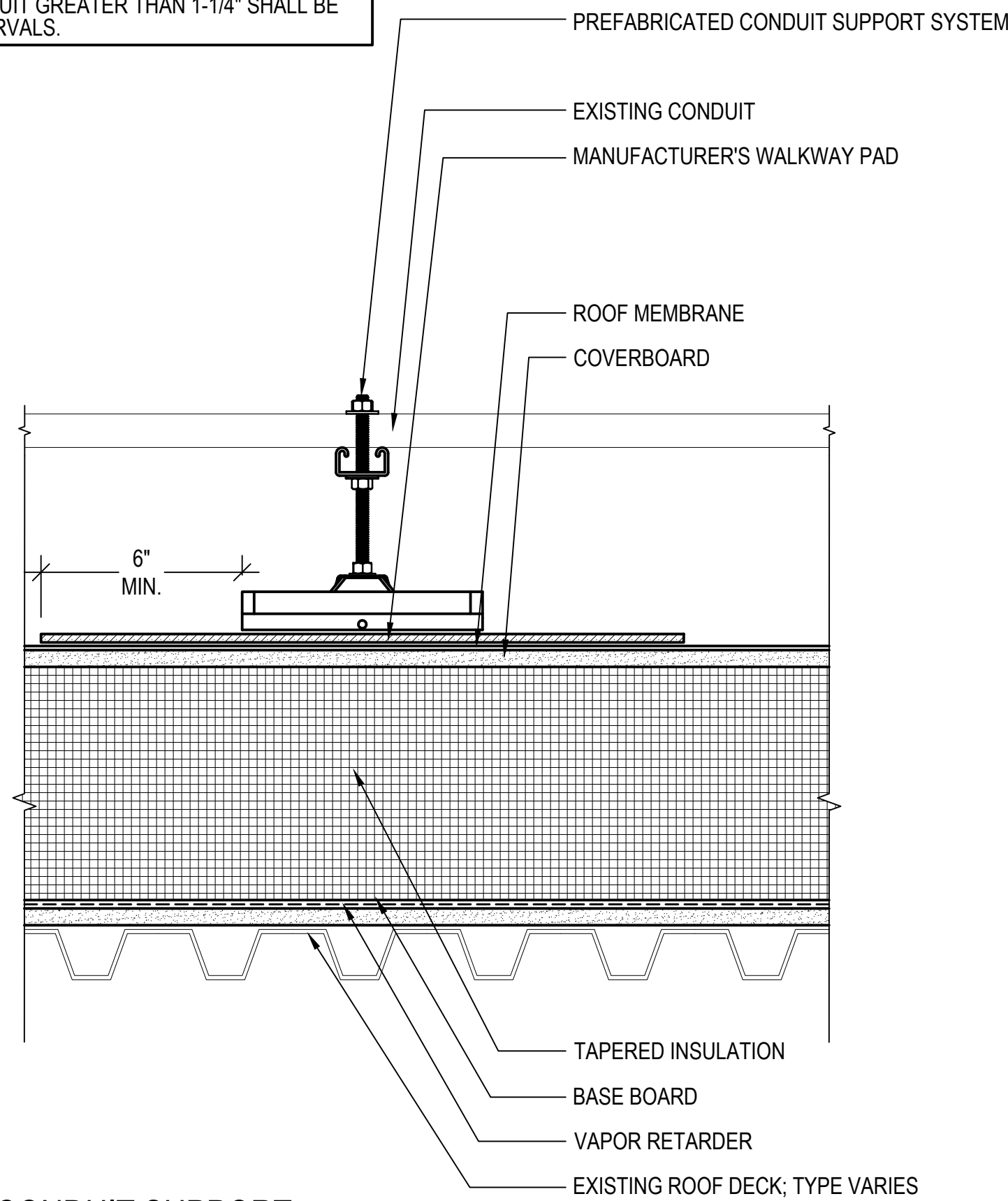






ALL WORK ASSOCIATED WITH THIS DETAIL TO BE PERFORMED BY THE ROOFING CONTRACTOR UNLESS DESIGNATED OTHERWISE.

CONDUIT LESS THAN OR EQUAL TO 1-1/4" SHALL BE SUPPORTED AT 5'-0" INTERVALS; CONDUIT GREATER THAN 1-1/4" SHALL BE SUPPORTED AT 8'-0" INTERVALS.

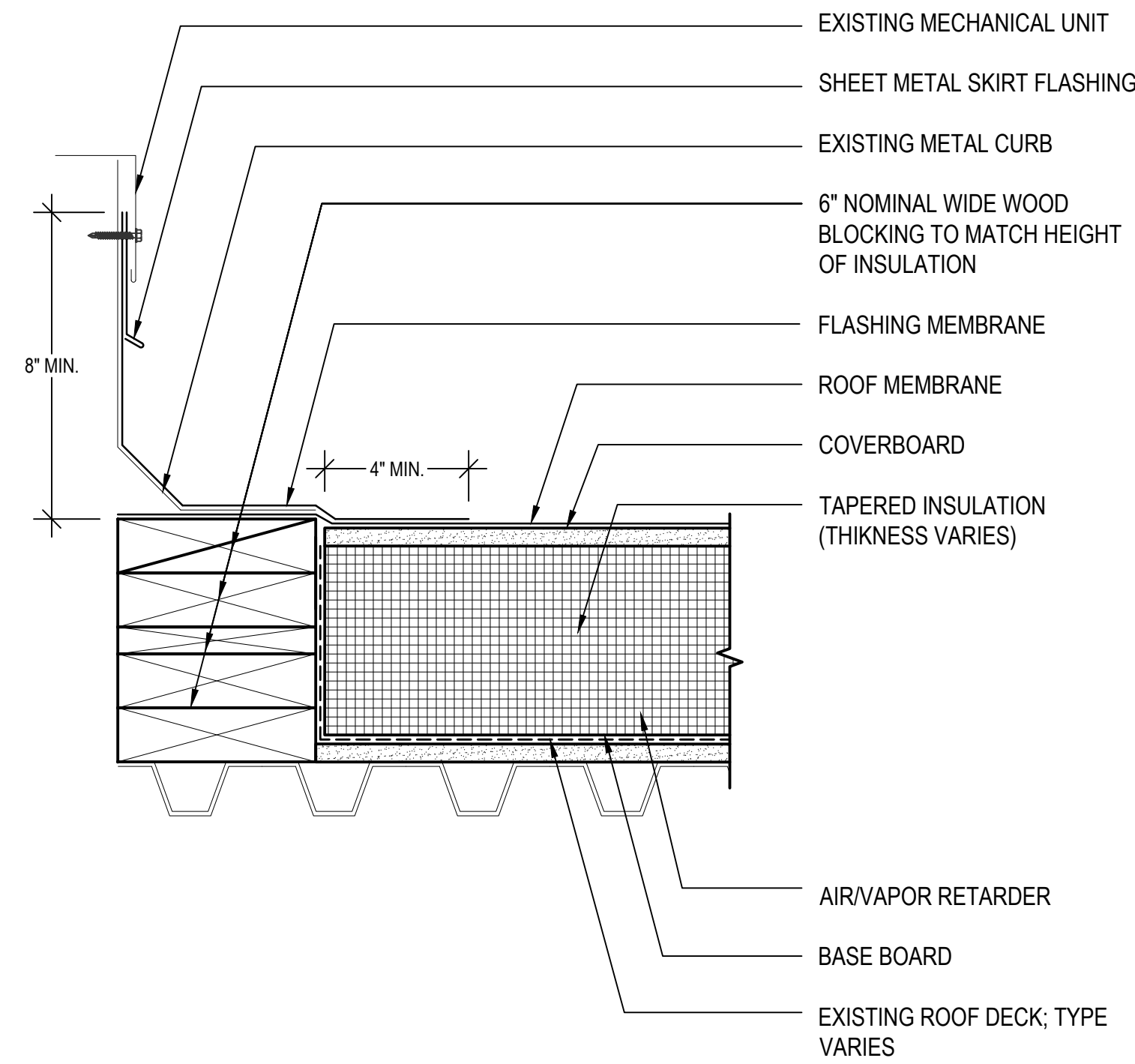


24 TYPICAL CONDUIT SUPPORT

SCALE: 3"=1'-0"  
(ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)

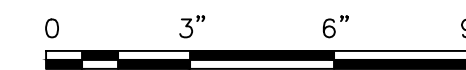


1. ALL DISCONNECTS/RECONNECTS SHALL BE PERFORMED BY LICENSED TRADES PERSONS.
2. TEMPORARILY DISCONNECT AND EXTEND ALL ELECTRICAL AND MECHANICAL LINES/UNITS AS REQUIRED TO RAISE THE UNITS TO ACCOMMODATE THE FINAL FINISHED ROOF HEIGHT.
3. RESECURE UNIT HOOD WITH STAINLESS STEEL FASTENERS THROUGH EPDM BACKED STAINLESS STEEL WASHERS.

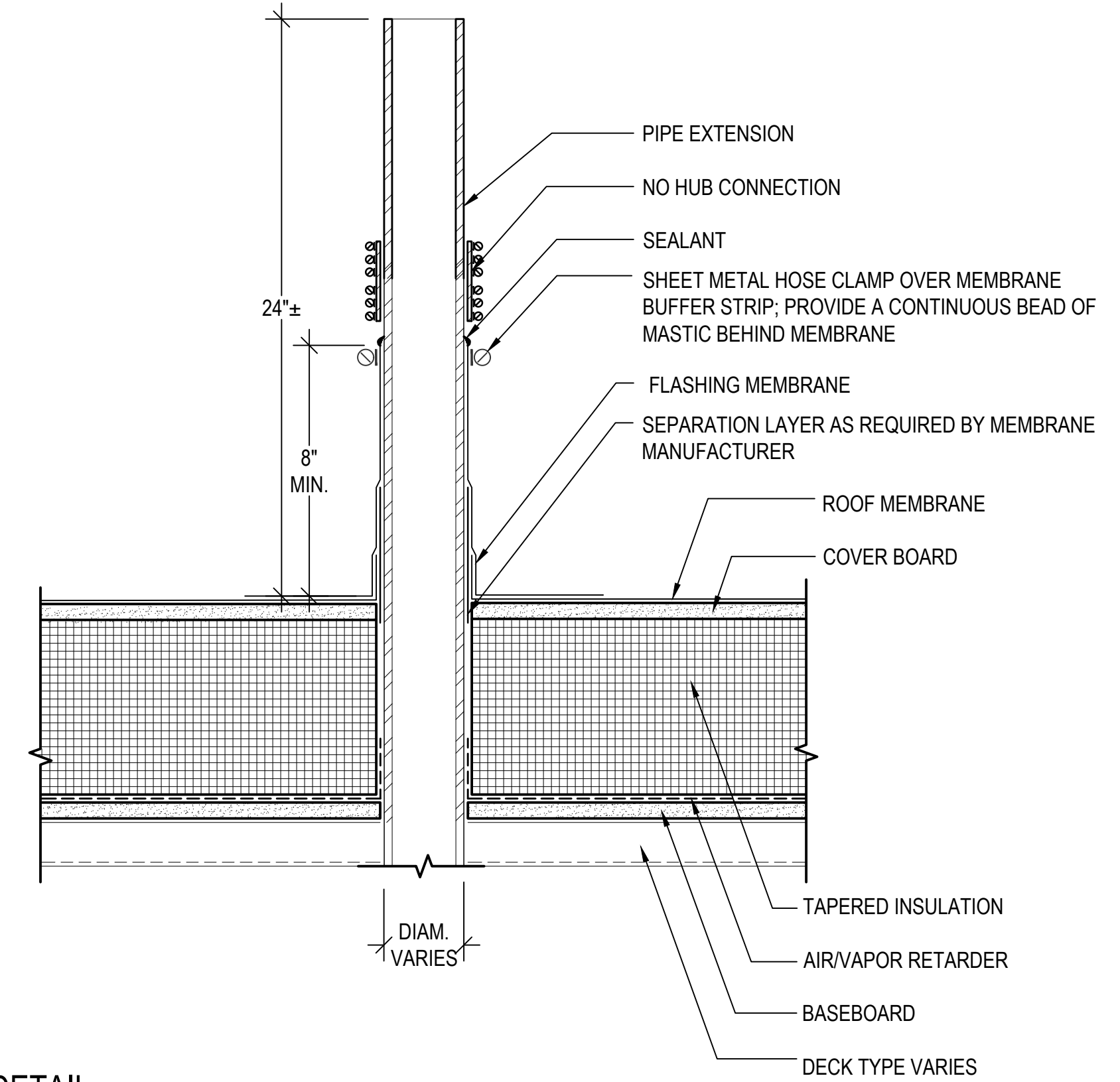


25 TYPICAL FAN/VENT CURB BASE FLASHING

SCALE: 3"=1'-0"  
(ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)

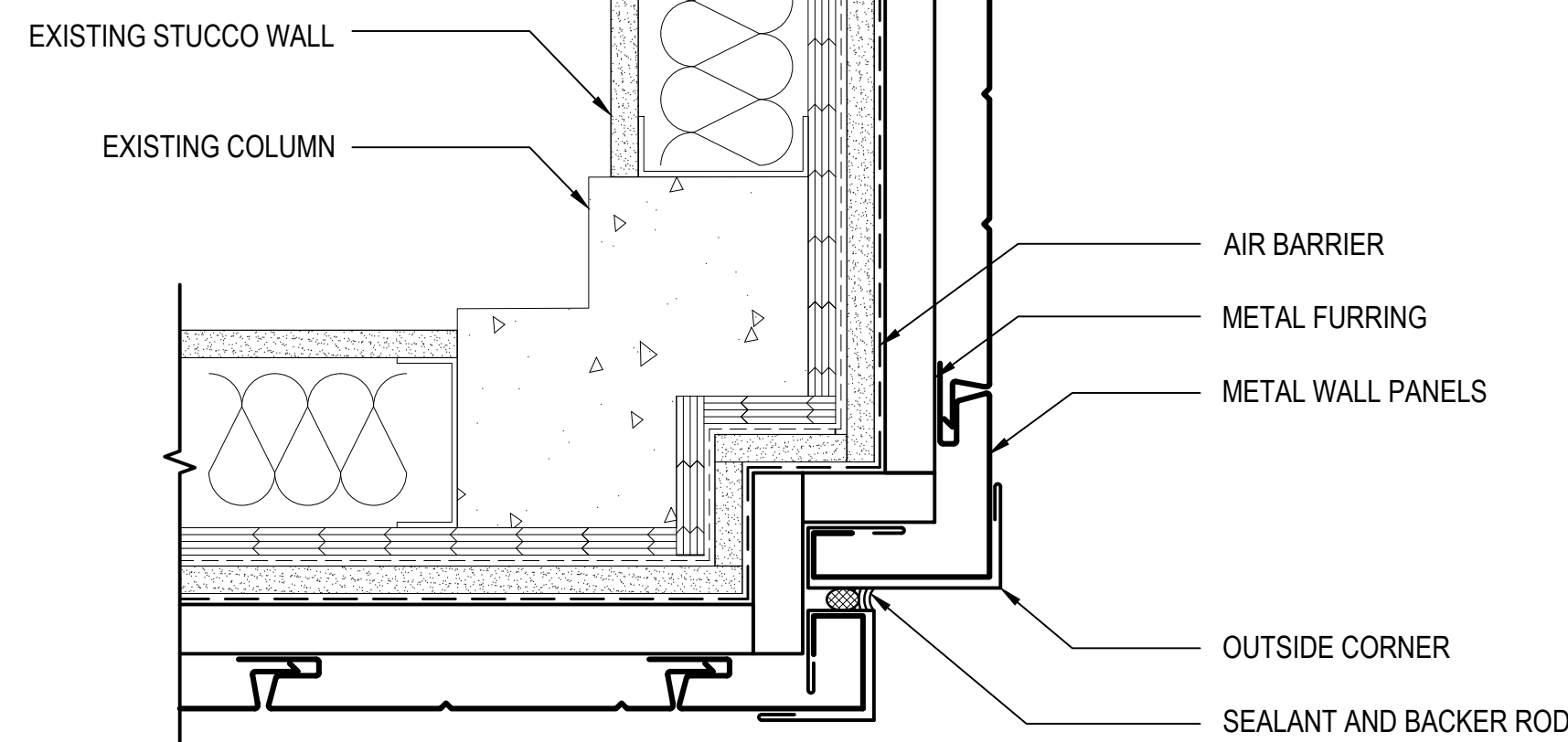


SHOULD THE EXISTING VENT PIPES ALLOW A MINIMUM 8" PIPE WRAP DETAIL, THE EXTENSION AND NO HUB CONNECTION CAN BE INSTALLED ABOVE THE ROOF SYSTEM; COORDINATE IN FIELD.



26 DETAIL

SCALE: NOT TO SCALE  
(ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)

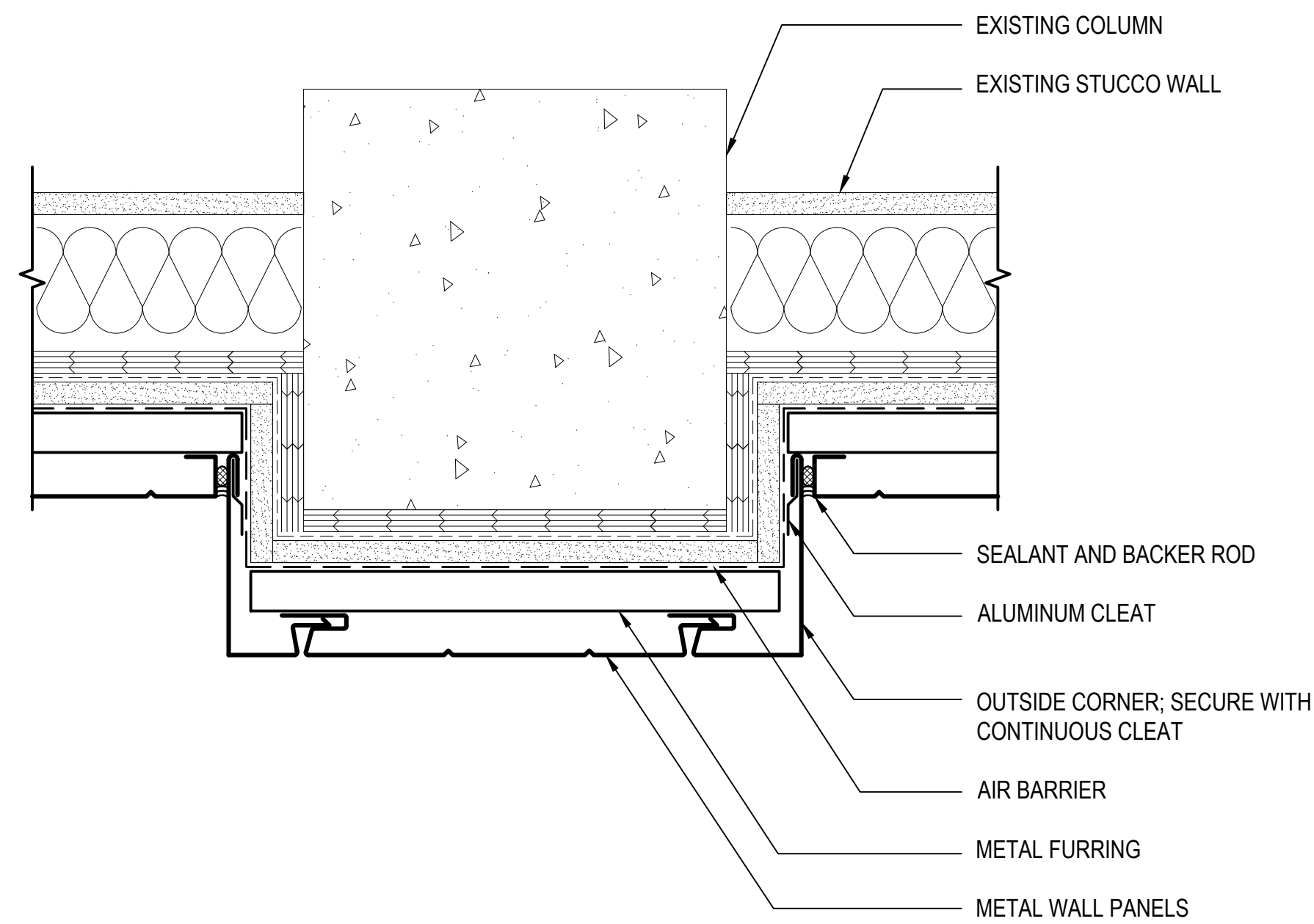


NOTE: REFER TO A506 FOR TYPICAL METAL WALL PANEL DETAILS.

NOTE: REFER TO DETAIL 7/A702 FOR TYPICAL SEALANT JOINT DETAIL.

27 METAL WALL PANEL CORNER DETAIL

SCALE: 3"=1'-0"  
(ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)

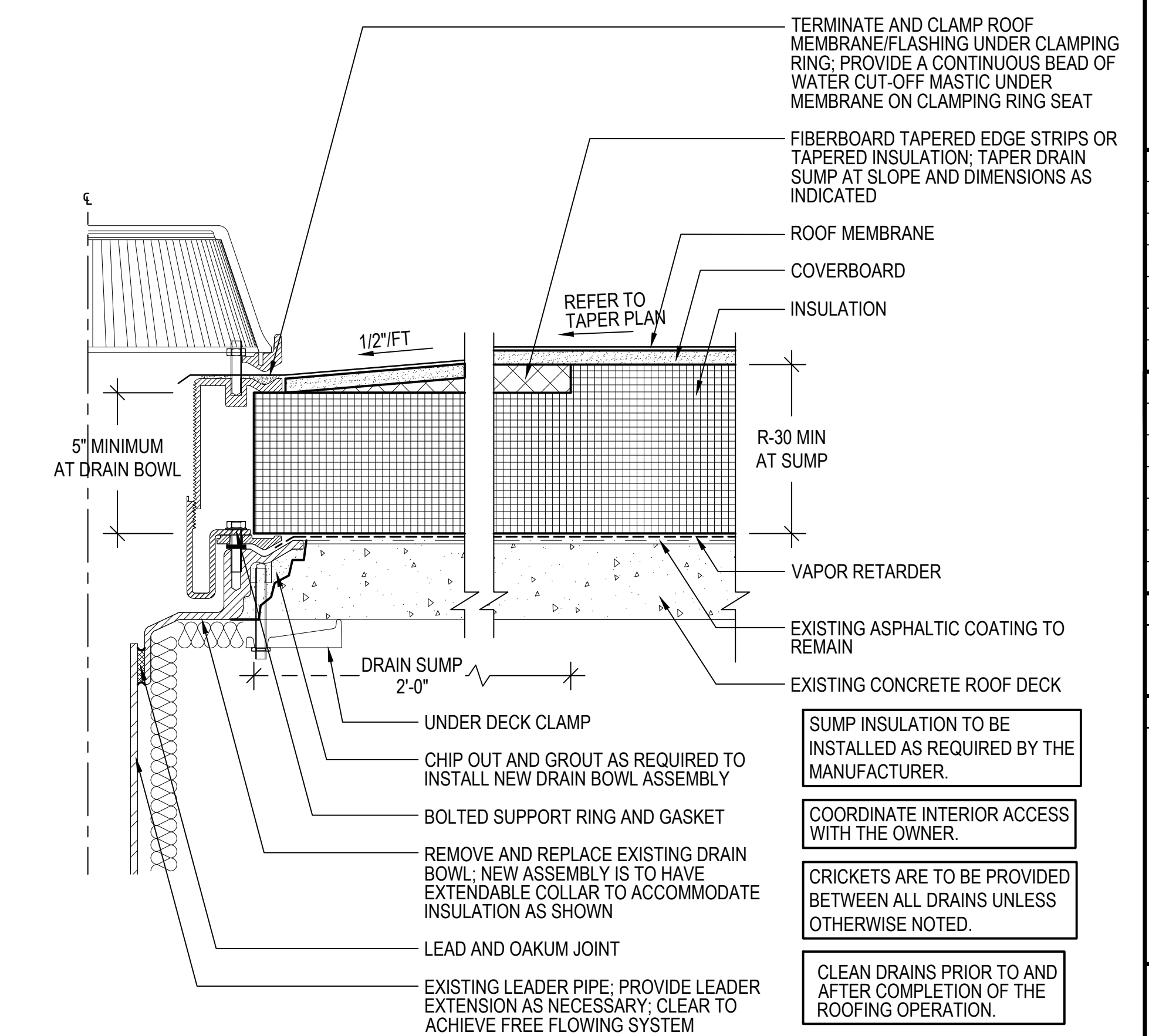


NOTE: REFER TO A506 FOR TYPICAL METAL WALL PANEL DETAILS.

NOTE: REFER TO DETAIL 7/A702 FOR TYPICAL SEALANT JOINT DETAIL.

28 METAL WALL PANEL COLUMN DETAIL

SCALE: 3"=1'-0"  
(ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)



29 DETAIL

SCALE: 3"=1'-0"  
(ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)

SUMP INSULATION TO BE INSTALLED AS REQUIRED BY THE MANUFACTURER.

COORDINATE INTERIOR ACCESS WITH THE OWNER.

CRICKETS ARE TO BE PROVIDED BETWEEN ALL DRAINS UNLESS OTHERWISE NOTED.

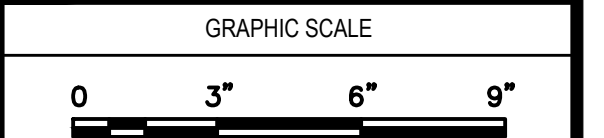
CLEAN DRAINS PRIOR TO AND AFTER COMPLETION OF THE ROOFING OPERATION.

THE CONTRACTOR MUST PROVIDE TEMPORARY PROTECTION ON THE INTERIOR OF THE DRAIN LEADER LINE TO PREVENT DUST MIGRATION INTO THE BUILDING.

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656 STATE STREET  
BANGOR, ME 04402  
OWNER: DOROTHEA DIX PSYCHIATRIC CENTER  
P.O. BOX 926  
BANGOR, MAINE 04402

NO.	DATE	DESCRIPTION	BY
PROJECT NO.	838010		
CADD FILE	838010 A500s		
DESIGNED BY	JVL		
DRAWN BY	JVL		
CHECKED BY	ACP/SRM		
DATE	10/20/2022		
DRAWING SCALE	3"=1'-0"		



SHEET TITLE

DETAILS

DRAWING NO.

A505

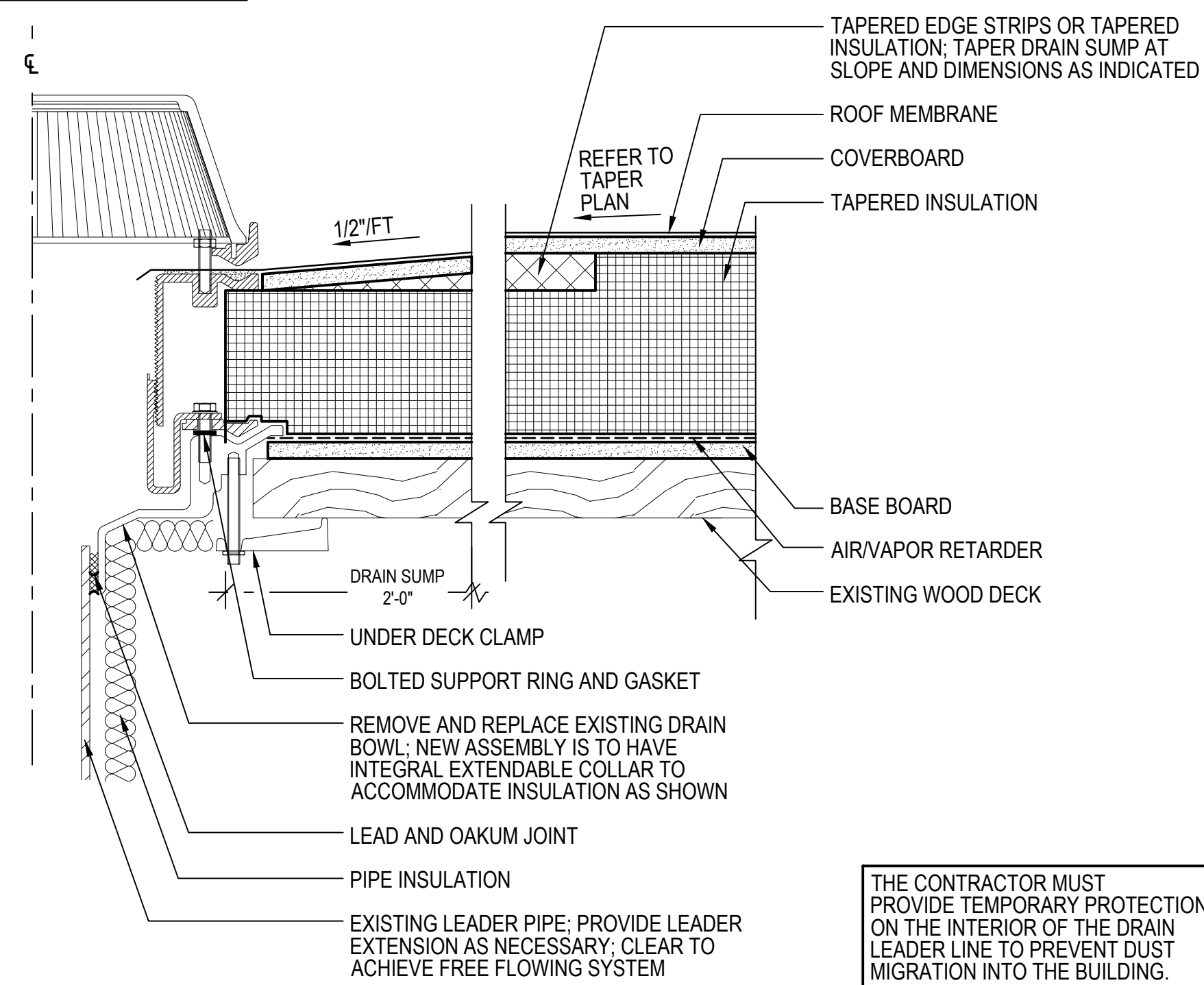


SUMP INSULATION TO BE INSTALLED AS REQUIRED BY THE MANUFACTURER.

CLEAN DRAINS PRIOR TO AND AFTER COMPLETION OF THE ROOFING OPERATION.

COORDINATE INTERIOR ACCESS WITH THE OWNER.

CRICKETS ARE TO BE PROVIDED BETWEEN ALL DRAINS UNLESS OTHERWISE NOTED.



30 TYPICAL ROOF DRAIN DETAIL - WOOD DECK

SCALE: 3"=1'-0"  
(ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)

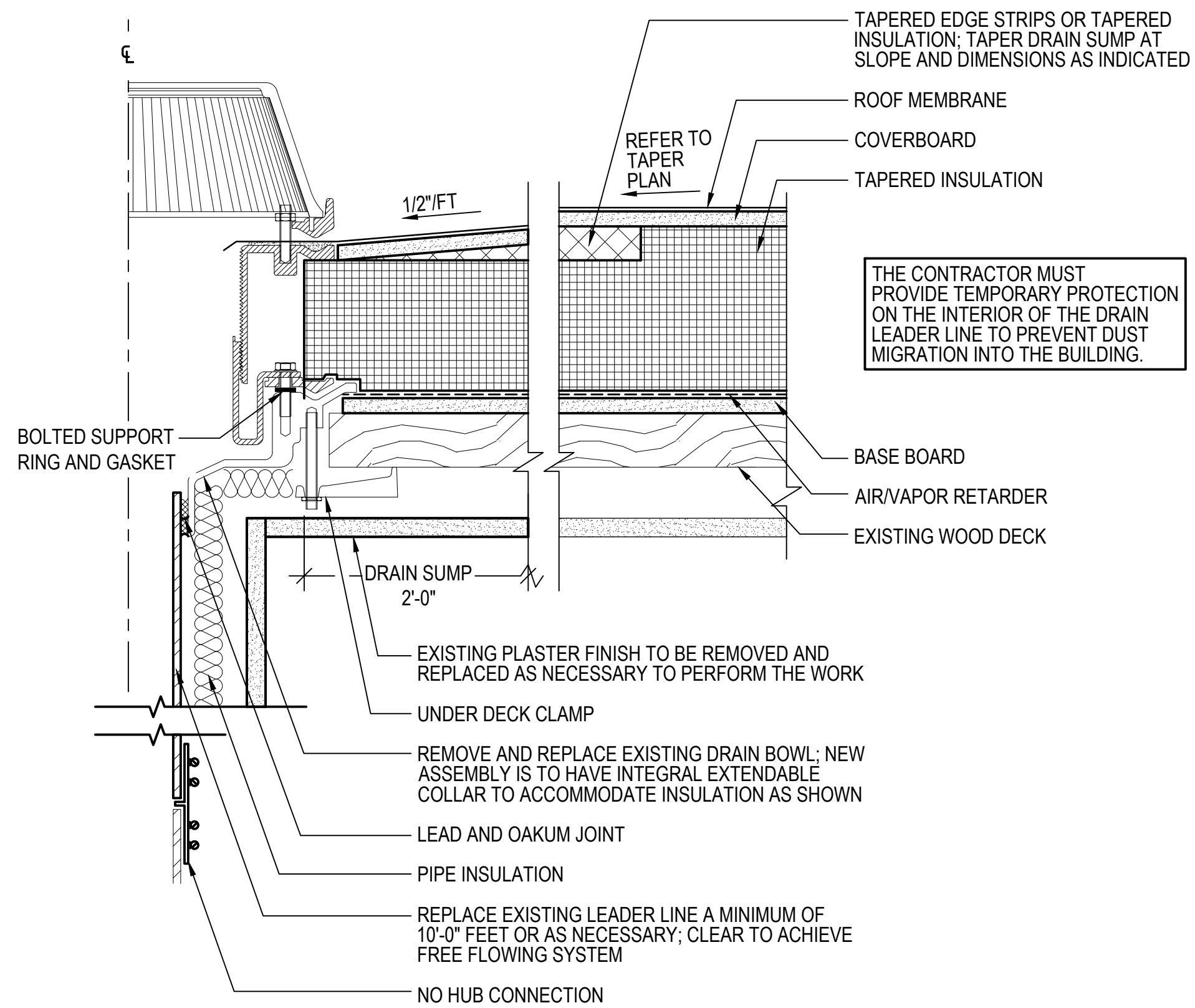


SUMP INSULATION TO BE INSTALLED AS REQUIRED BY THE MANUFACTURER.

CLEAN DRAINS PRIOR TO AND AFTER COMPLETION OF THE ROOFING OPERATION.

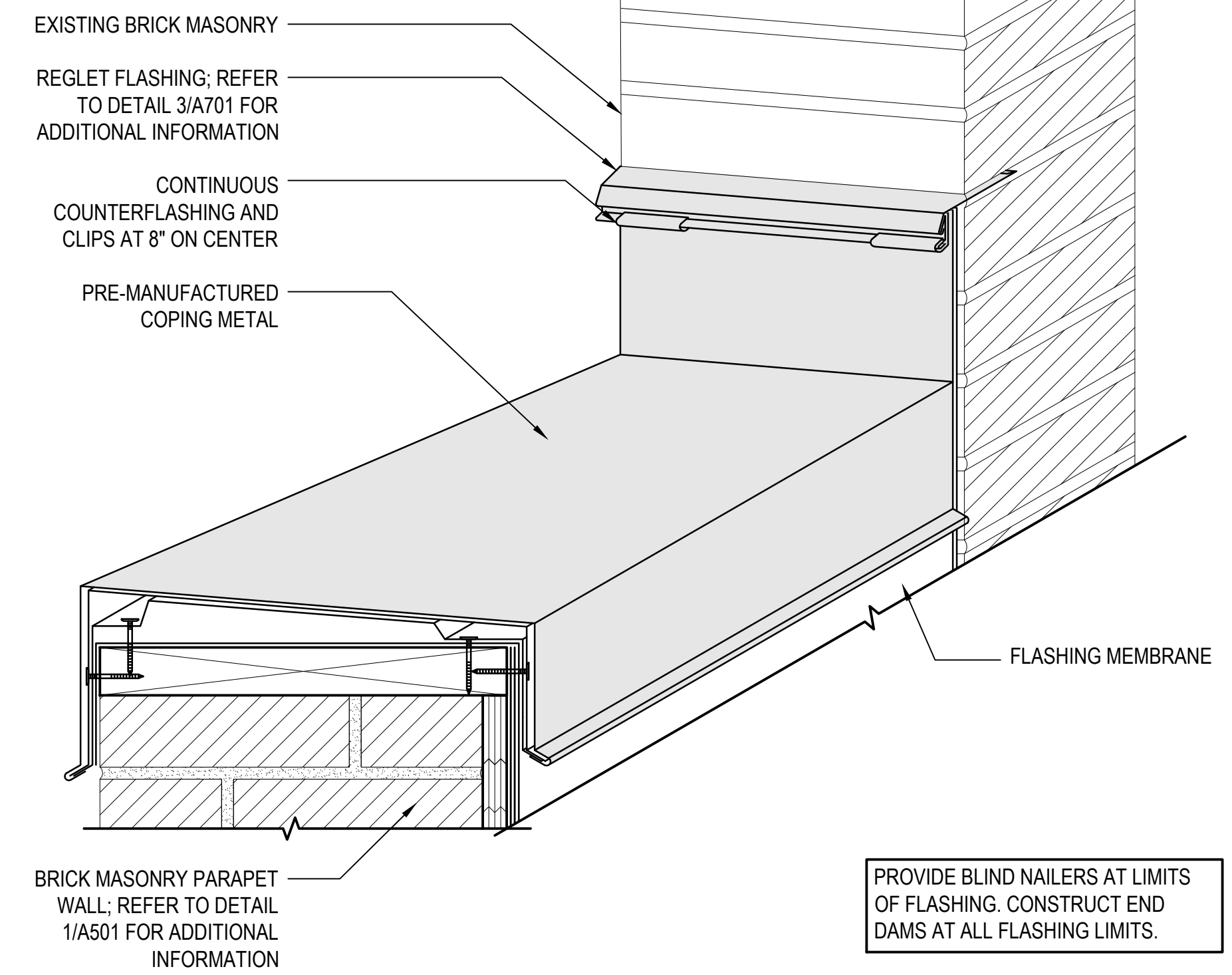
COORDINATE INTERIOR ACCESS WITH THE OWNER.

CRICKETS ARE TO BE PROVIDED BETWEEN ALL DRAINS UNLESS OTHERWISE NOTED.



31 TYPICAL AUGMENTING ROOF DRAIN DETAIL

SCALE: 3"=1'-0"  
(ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)



32 PARAPET FLASHING TO REGLET FLASHING AXONOMETRIC DRAWING

SCALE: NOT TO SCALE  
(ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)



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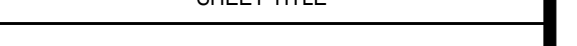
PROJECT  
ROOF REPLACEMENT AND ASSOCIATED WORK  
AT THE DOROTHEA DIX PSYCHIATRIC CENTER  
656 STATE STREET  
BANGOR, ME 04402

OWNER  
DOROTHEA DIX PSYCHIATRIC CENTER  
P.O. BOX 926  
BANGOR, MAINE 04402

NO.	DATE	DESCRIPTION	BY

PROJECT NO.	838010
CADD FILE	838010 A500s
DESIGNED BY	JVL
DRAWN BY	JVL
CHECKED BY	ACP/SRM
DATE	10/20/2022
DRAWING SCALE	3"=1'-0"

GRAPHIC SCALE



SHEET TITLE  
**DETAILS**

DRAWING NO.  
**A506**



1

2

3

4

5

6

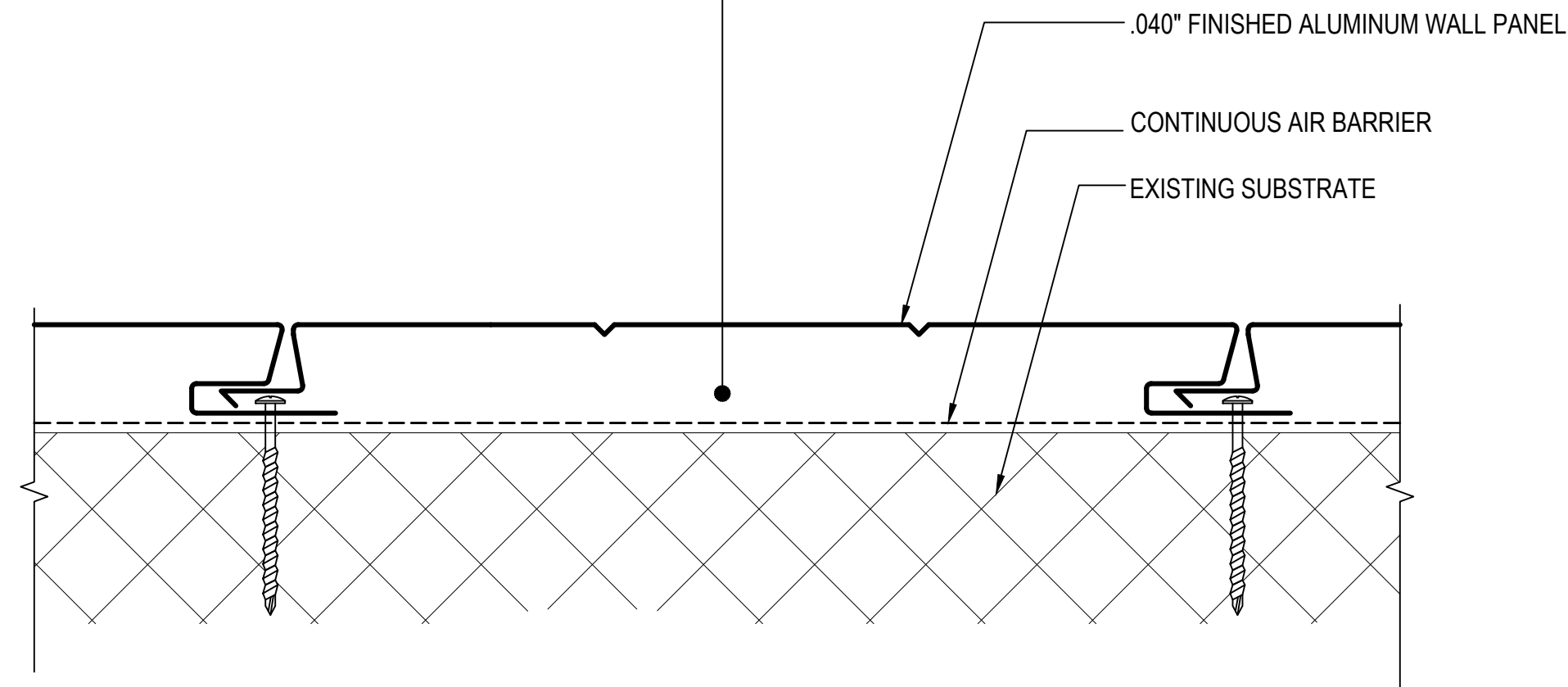
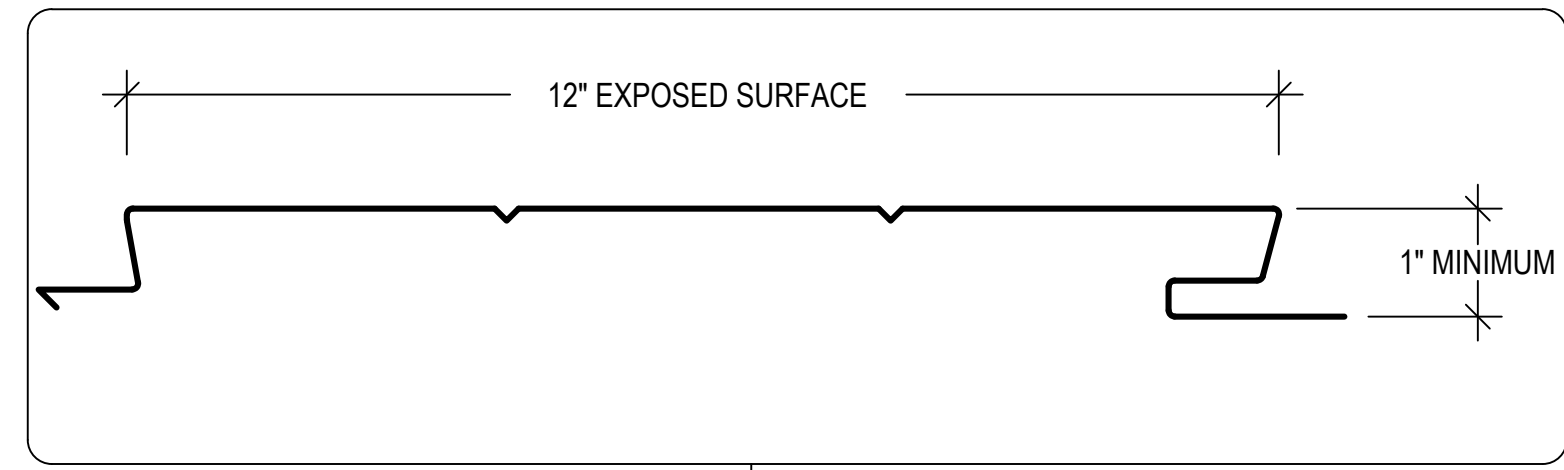
E

D

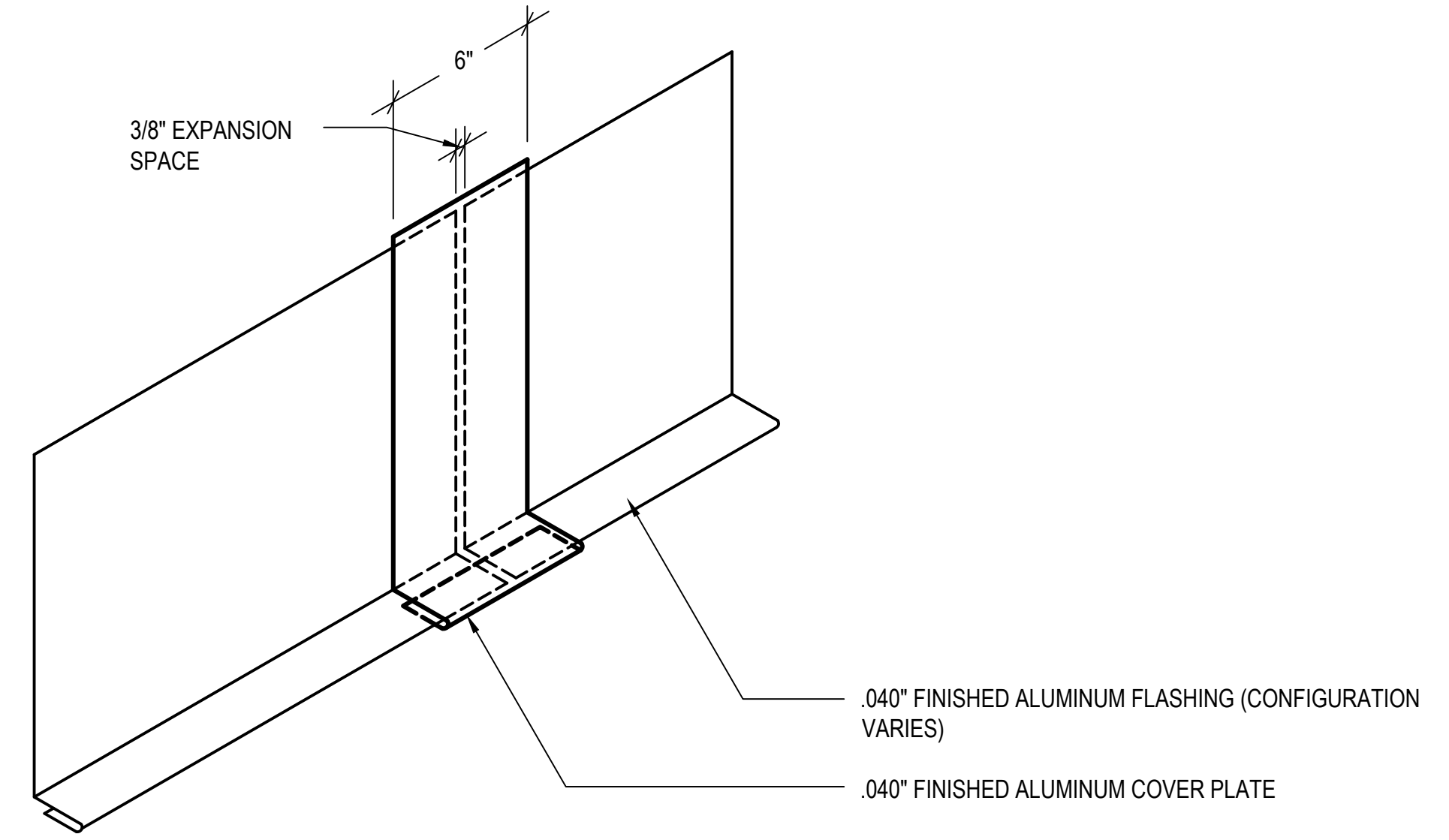
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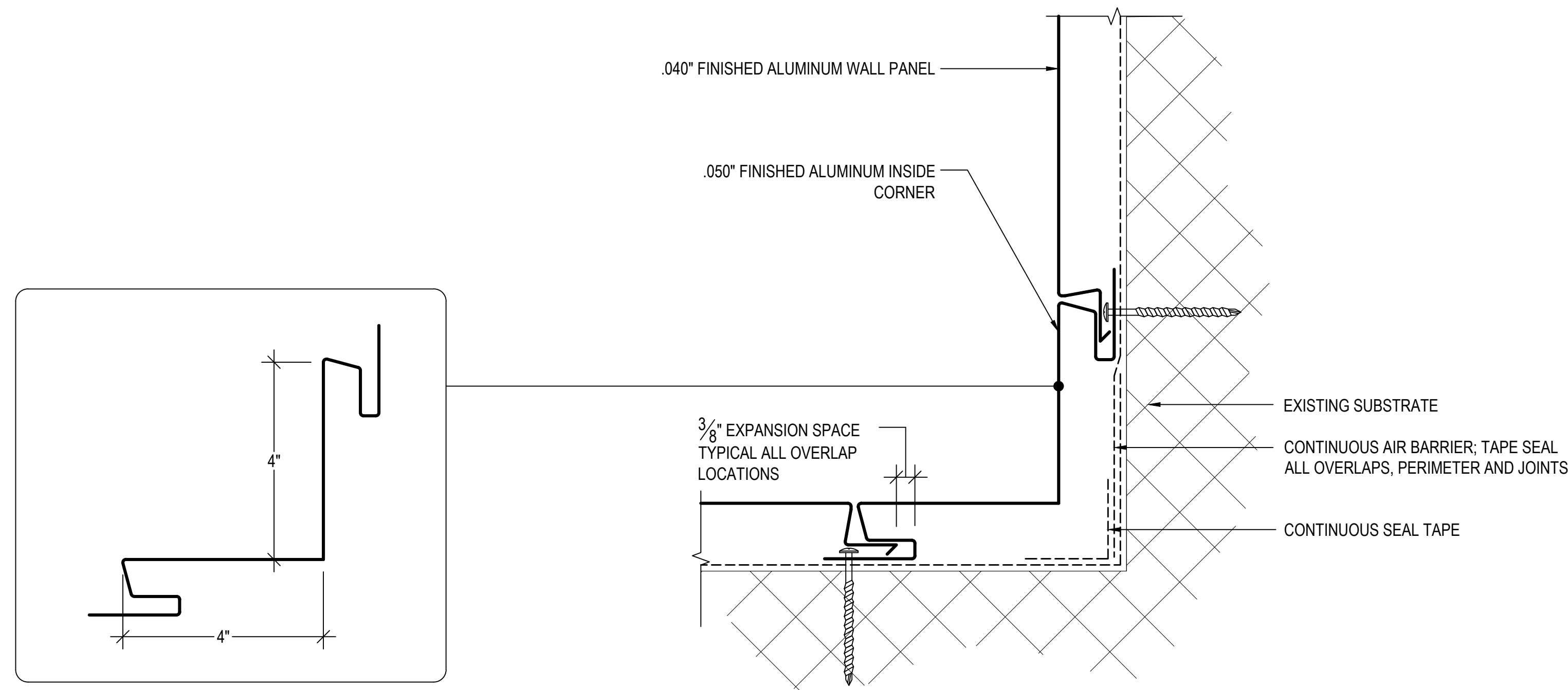
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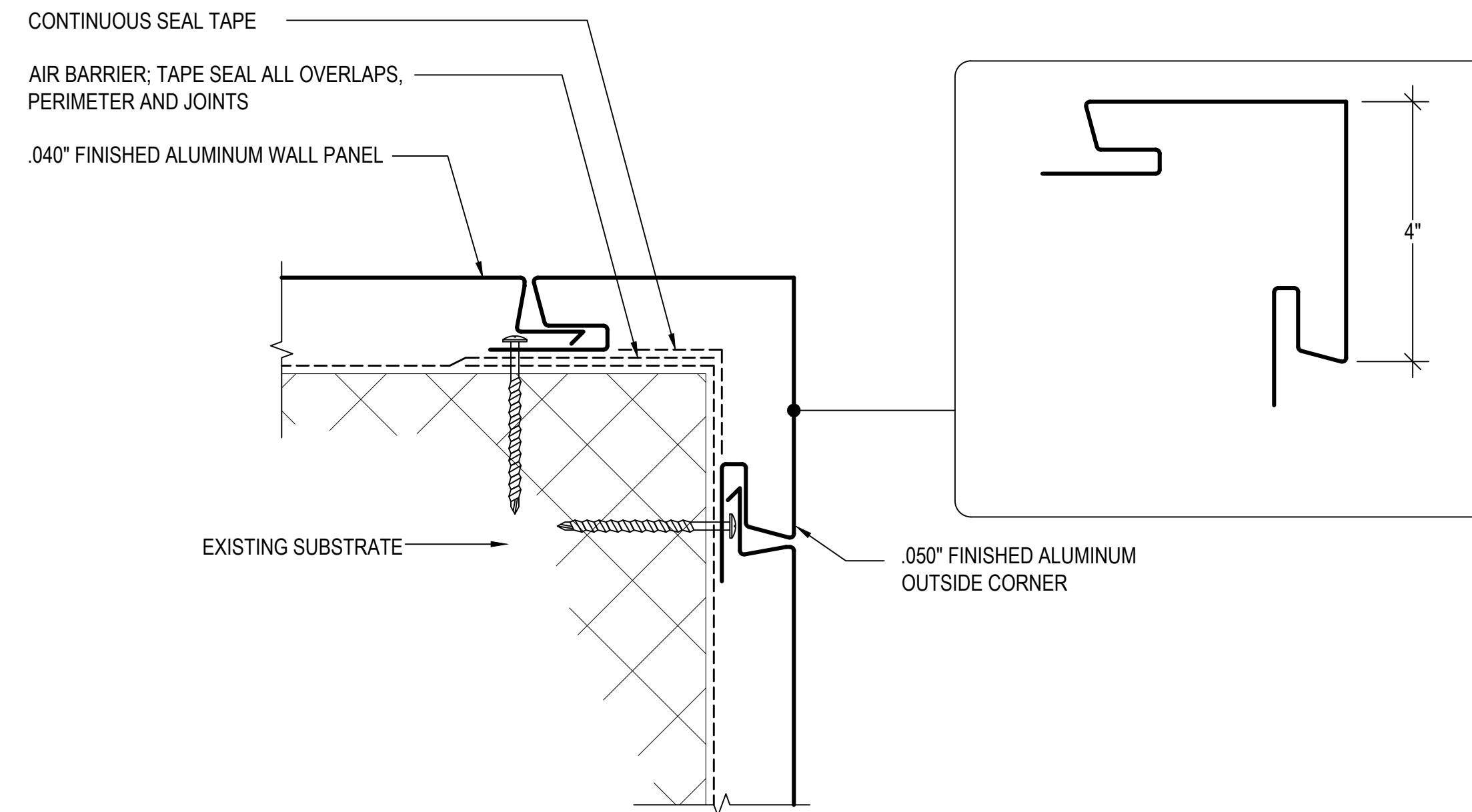
**TYPICAL PANEL SEAM**  
SCALE: 6"=1'-0"



**TYPICAL COVER PLATE**  
SCALE: 6"=1'-0"



**TYPICAL INSIDE CORNER**  
SCALE: 6"=1'-0"



**TYPICAL OUTSIDE CORNER**  
SCALE: 6"=1'-0"



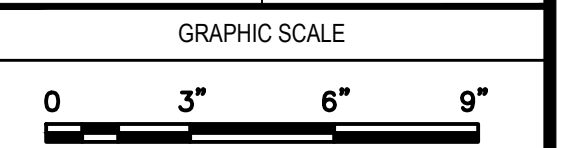
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PROJECT  
**ROOF REPLACEMENT AND ASSOCIATED WORK  
AT THE DOROTHEA DIX PSYCHIATRIC CENTER**  
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BANGOR, ME 04402

OWNER  
DOROTHEA DIX PSYCHIATRIC CENTER  
P.O. BOX 926  
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NO.	DATE	DESCRIPTION	BY
PROJECT NO.	838010		
CADD FILE	838010 A500s		
DESIGNED BY	JVL		
DRAWN BY	JVL		
CHECKED BY	ACP/SRM		
DATE	10/20/2022		
DRAWING SCALE	3"=1'-0"		



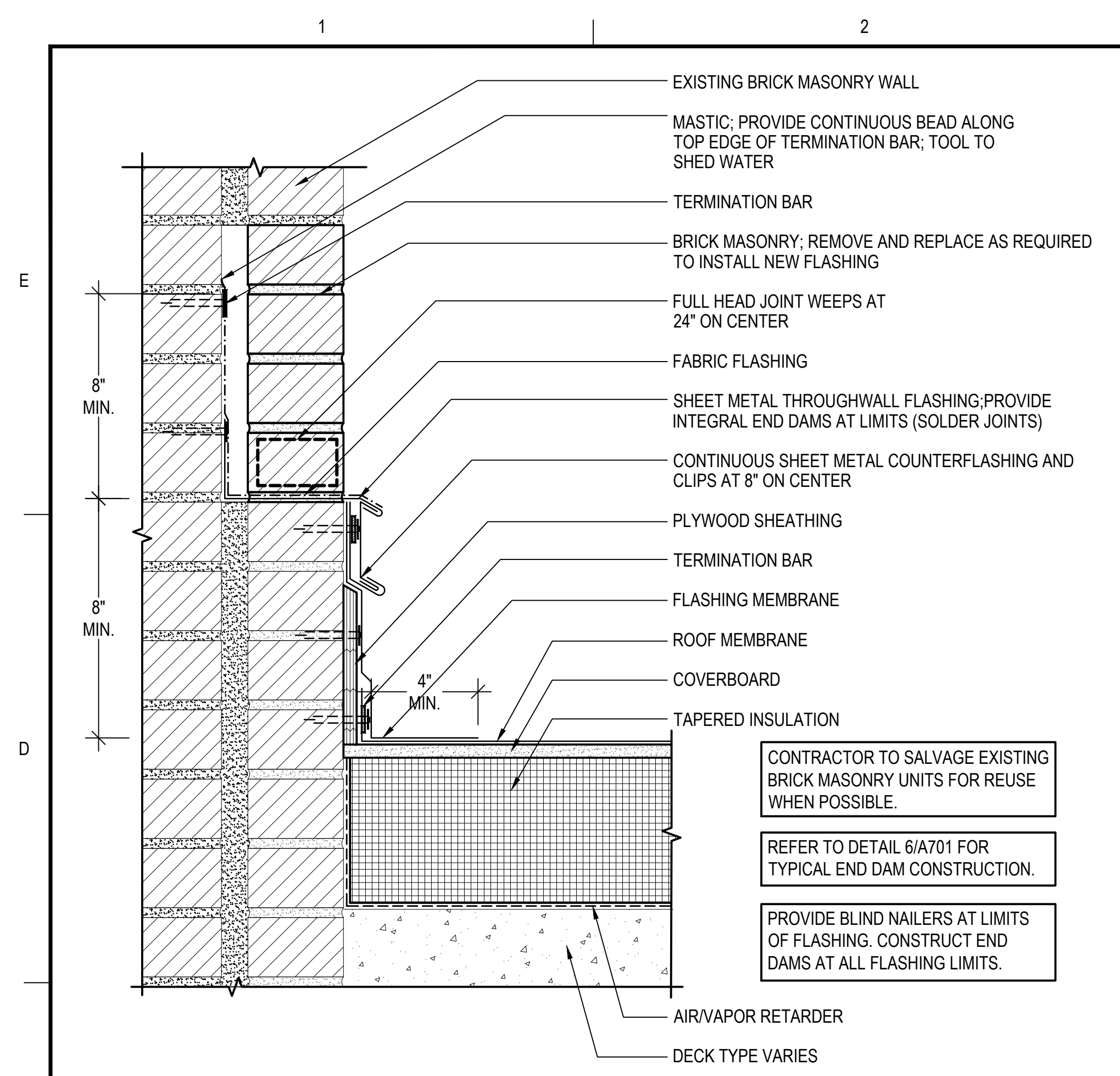
SHEET TITLE

**TYPICAL  
METAL WALL PANEL  
DETAILS**

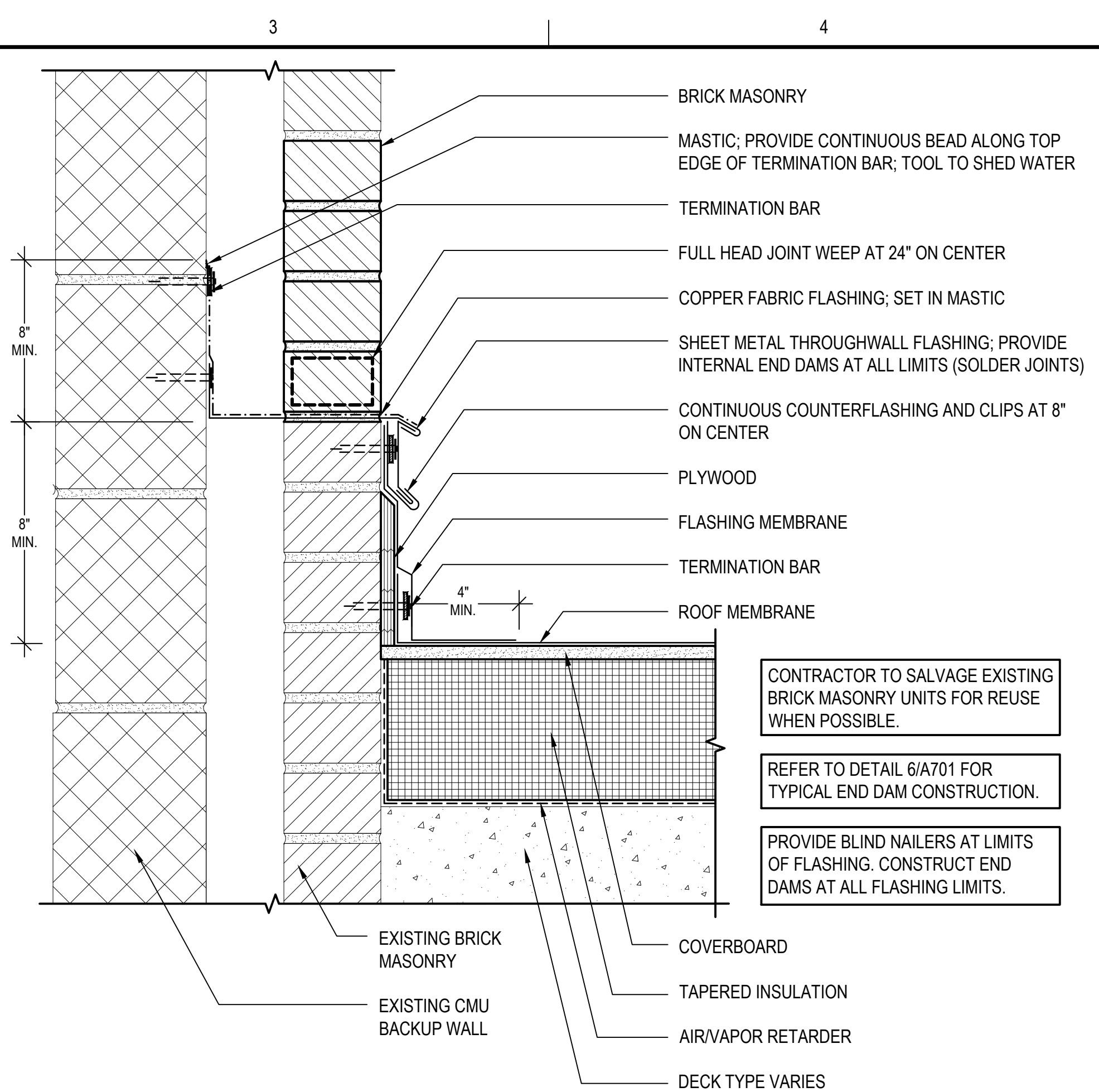
DRAWING NO.

**A507**

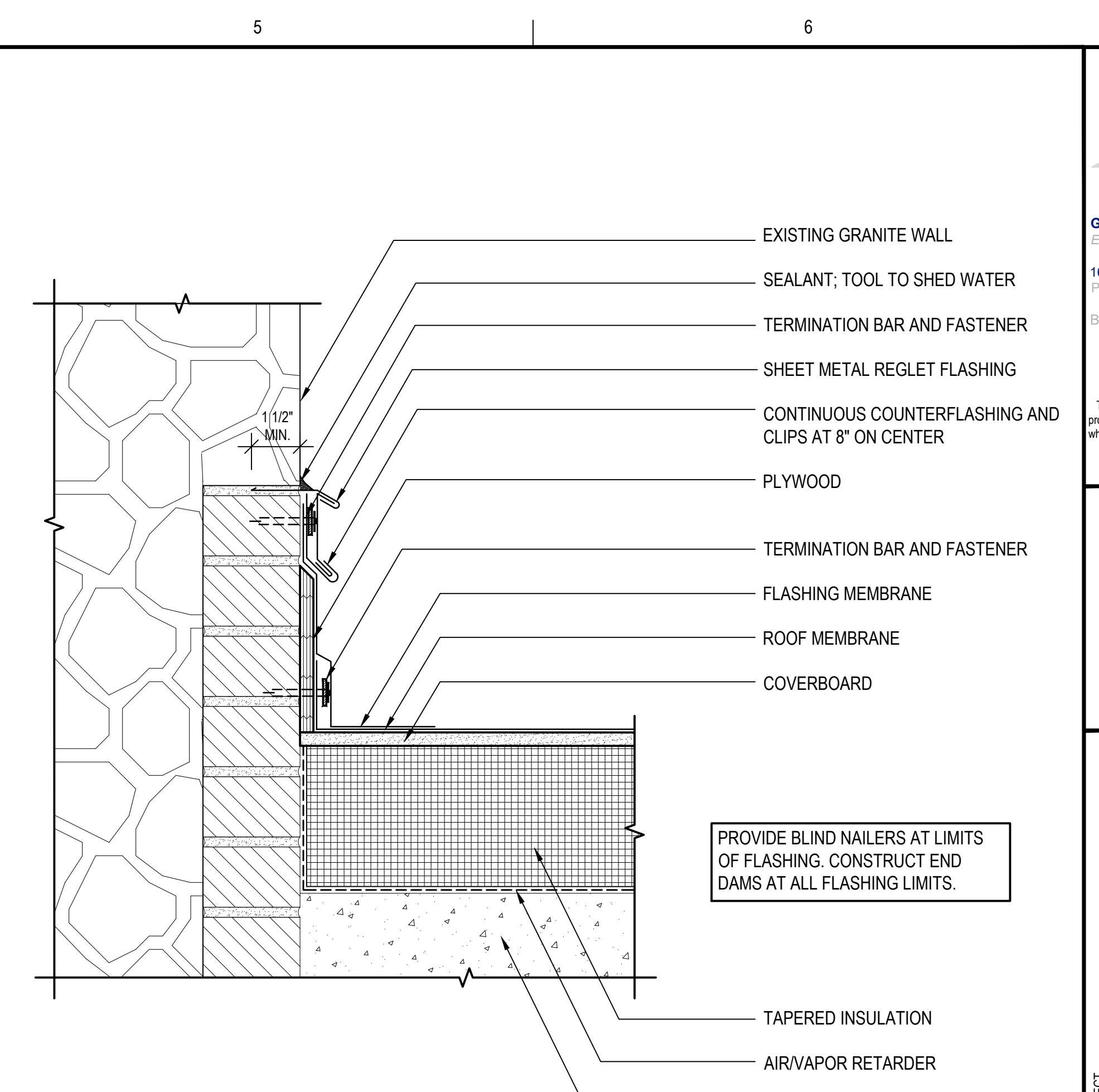




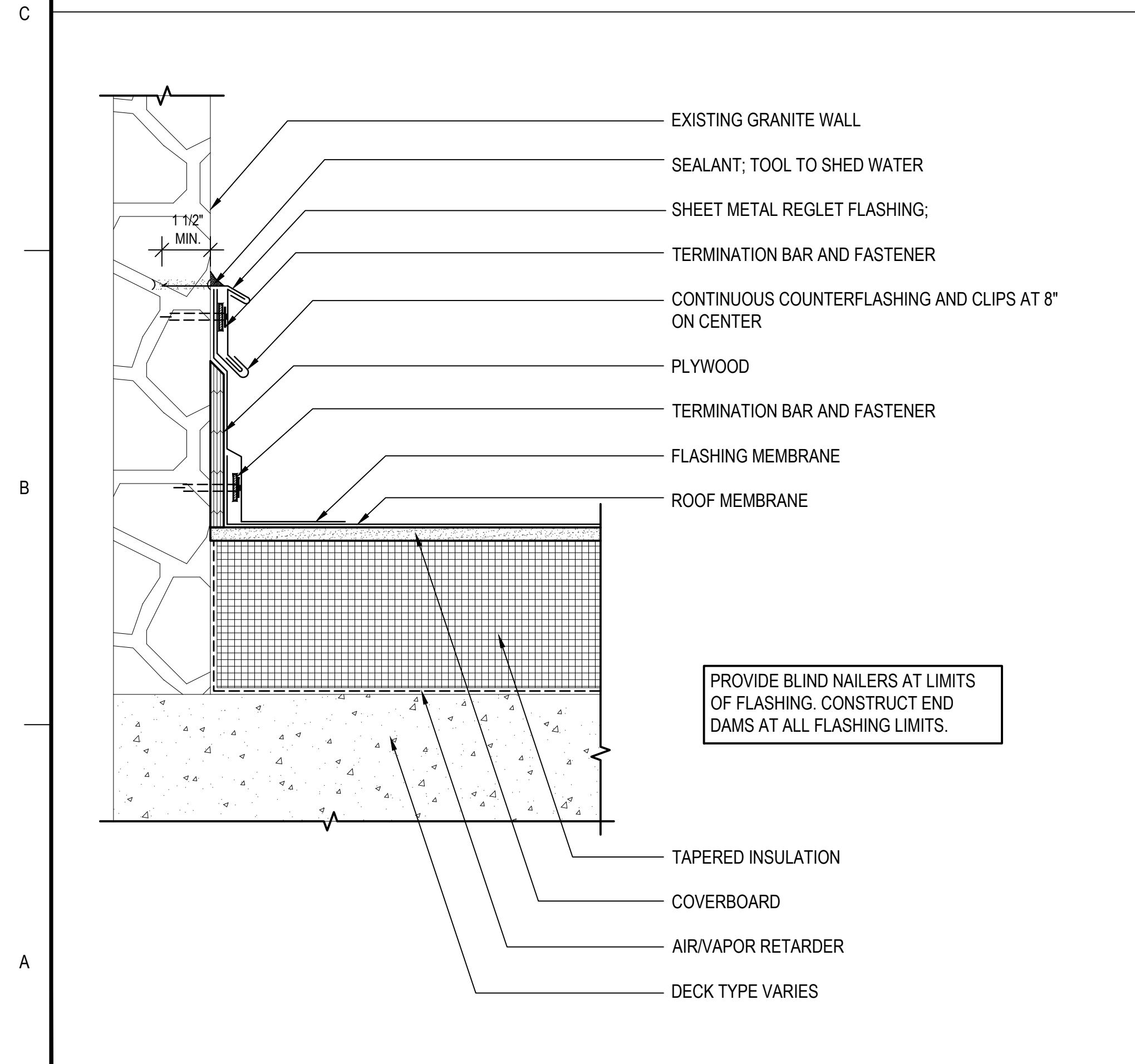
**1 THROUGHWALL FLASHING AT MASS MASONRY WALL**  
 SCALE: 3/8"=1'-0"  
 (ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)



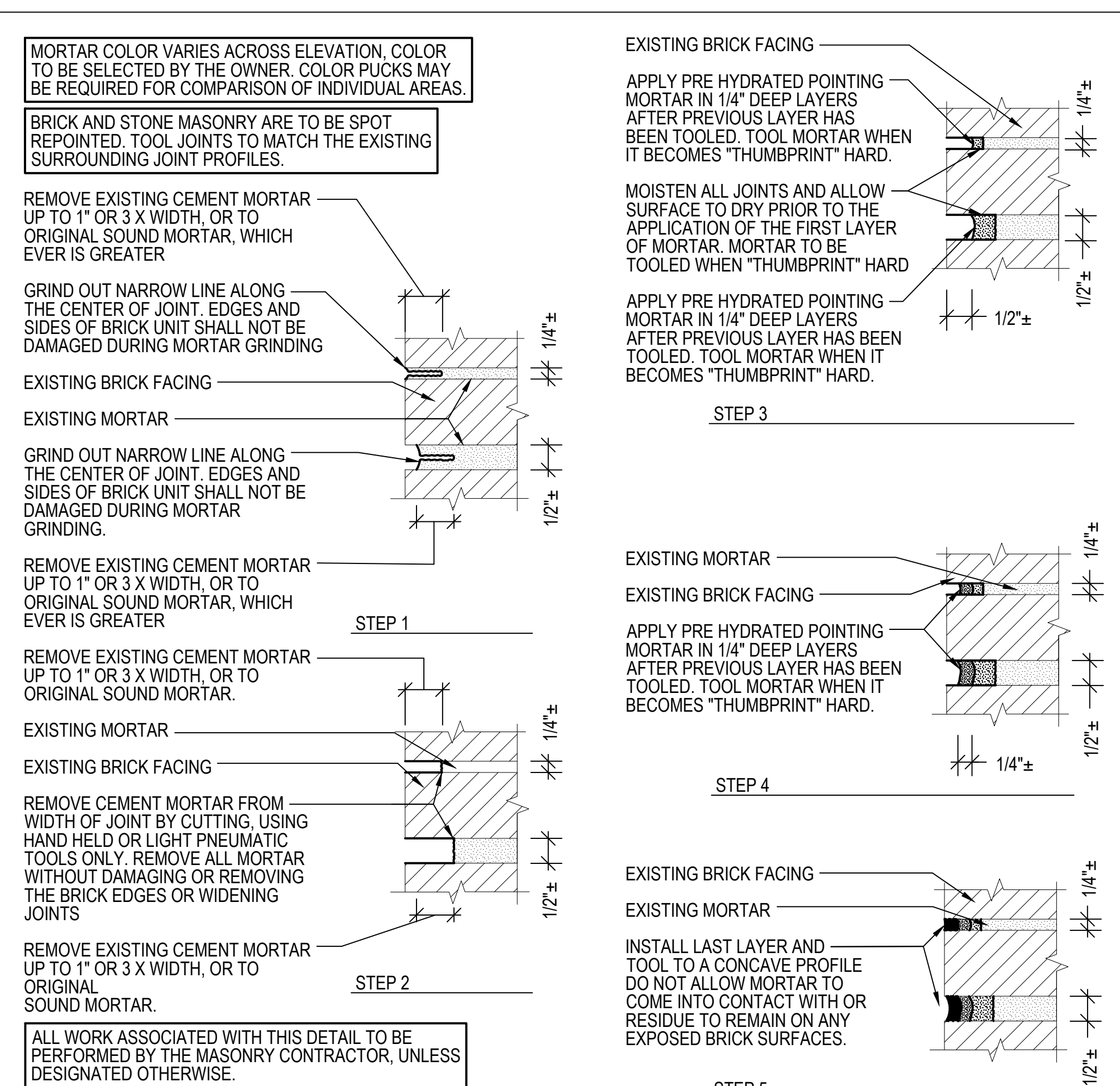
**2 THROUGHWALL FLASHING AT CAVITY WALL**  
 SCALE: 3/8"=1'-0"  
 (ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)



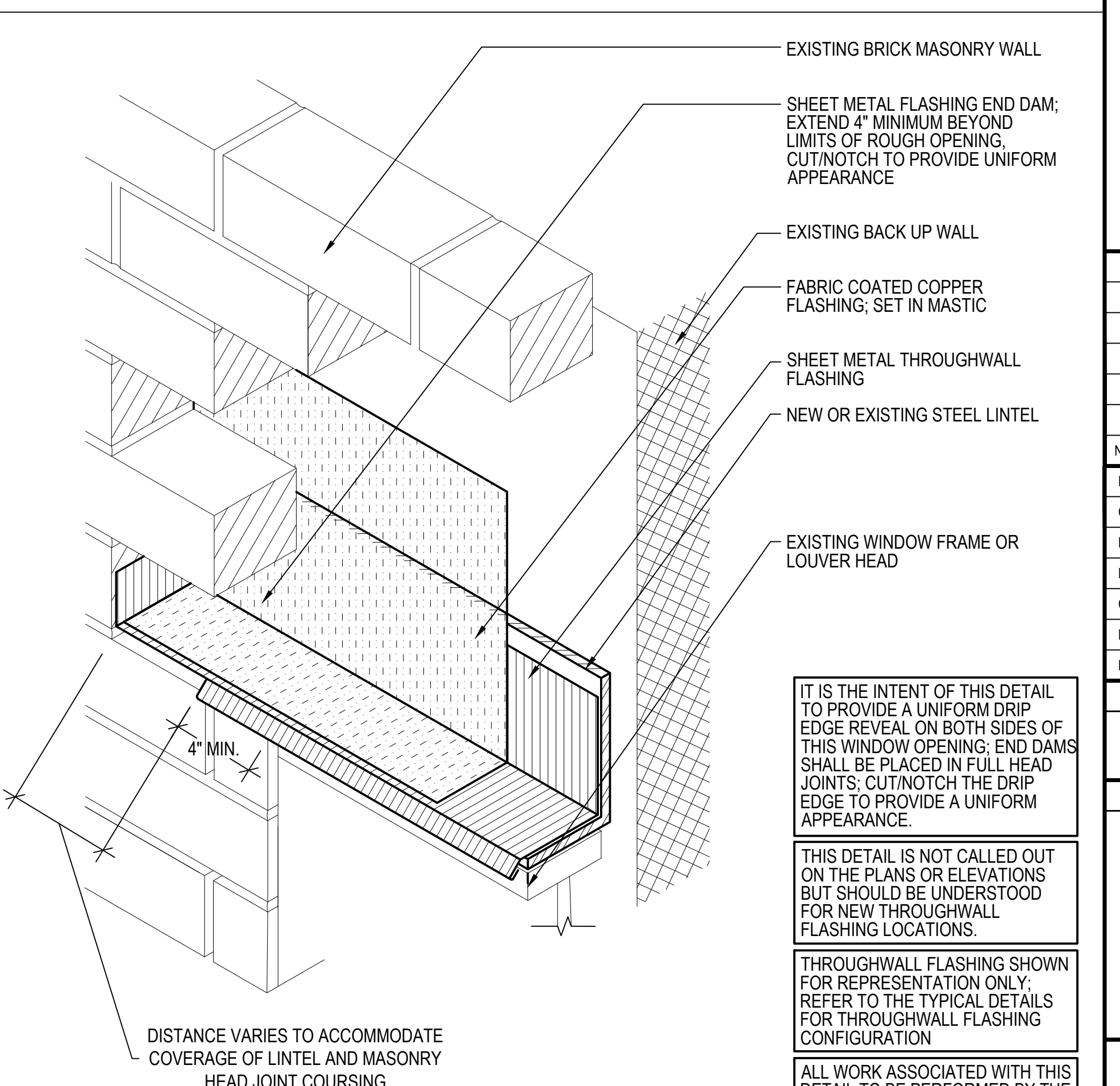
**3 REGLET FLASHING AT STONE WALL**  
 SCALE: 3/8"=1'-0"  
 (ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)



**4 REGLET FLASHING AT STONE WALL**  
 SCALE: 3/8"=1'-0"  
 (ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)



**5 BRICK MASONRY AND STONE REPOINTING**  
 SCALE: NOT TO SCALE  
 (ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)



**6 THROUGHWALL FLASHING END DAM**  
 SCALE: NOT TO SCALE  
 (ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)

IT IS THE INTENT OF THIS DETAIL TO PROVIDE A UNIFORM DRIP EDGE REVEAL ON BOTH SIDES OF THIS WINDOW OPENING; END DAMS SHALL BE PLACED IN FULL HEAD JOINTS; CUT/NOTCH THE DRIP EDGE TO PROVIDE A UNIFORM APPEARANCE.

THIS DETAIL IS NOT CALLED OUT ON THE PLANS OR ELEVATIONS BUT SHOULD BE UNDERSTOOD FOR NEW THROUGHWALL FLASHING LOCATIONS.

THROUGHWALL FLASHING SHOWN FOR REPRESENTATION ONLY; REFER TO THE TYPICAL DETAILS FOR THROUGHWALL FLASHING CONFIGURATION

DISTANCE VARIES TO ACCOMMODATE COVERAGE OF LINTEL AND MASONRY HEAD JOINT COURSING

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 P.O. BOX 926  
 BANGOR, MAINE 04402

NO.	DATE	DESCRIPTION	BY
PROJECT NO.	838010		
CADD FILE	838010 A700s		
DESIGNED BY	JVL		
DRAWN BY	JVL		
CHECKED BY	ACP/SRM		
DATE	10/20/2022		
DRAWING SCALE	AS NOTED		

GRAPHIC SCALE

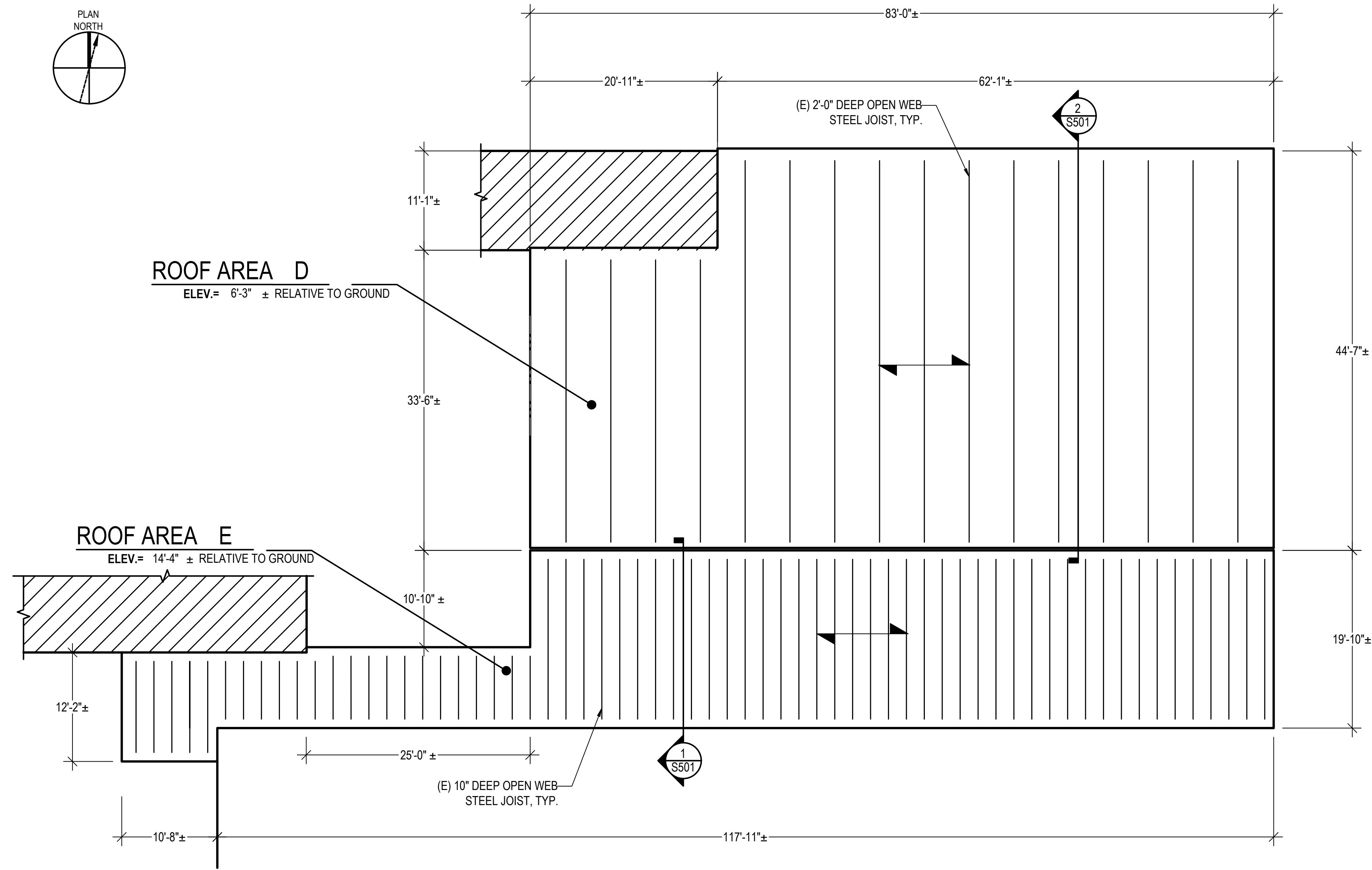
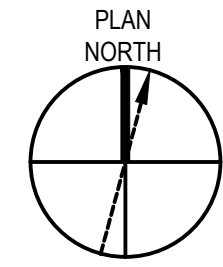
SHEET TITLE: **MASONRY DETAILS**

DRAWING NO.: **A701**







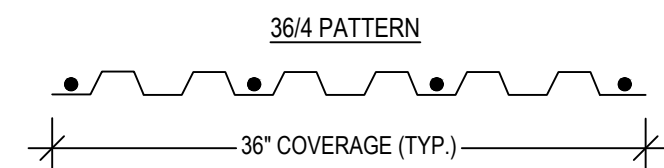


**ROOF AREA D**  
ELEV. = 6'-3" ± RELATIVE TO GROUND

**ROOF AREA E**  
ELEV. = 14'-4" ± RELATIVE TO GROUND

**1 ALTERNATE 1 AND 2  
ROOF AREAS D AND E FRAMING PLAN**  
SCALE: 1/8"=1'-0"

**NEW DECK FASTENING PATTERN**



**LEGEND**

- ROOF LIMITS
- STRUCTURAL FRAMING
- ▨ NOT IN CONTRACT
- NEW 1-1/2" TYPE B 20 GAGE METAL ROOF DECK
- (E) INDICATES EXISTING COMPONENT
- (N) INDICATES NEW COMPONENT

**REPLACEMENT STEEL ROOF DECK NOTES**

1. EXISTING ASBESTOS DECK SHALL BE REMOVED AND REMEDIATED PRIOR TO THE INSTALLATION OF THE NEW METAL DECKING.
2. REFER TO SPECIFICATION 053100 METAL DECK REPAIR AND REPLACEMENT FOR PRODUCTS, EXECUTION AND GENERAL REQUIREMENTS.
3. NEW STEEL ROOF DECK SHALL BE 1/2" DEEP - 20 GAUGE, TYPE B, AS MANUFACTURED BY VULCRAFT, OR AN ENGINEER APPROVED EQUAL PRODUCT OF ANY MEMBER OF THE STRUCTURAL DECK INSTITUTE (SDI) AND G60 GALVANIZED COATING. ALL NEW STEEL ROOF DECK IS REQUIRED TO BE FM APPROVED.
4. MINIMUM STRUCTURAL PROPERTIES BASED ON MINIMUM YIELD STRENGTH OF 33 KSI WITH A WORKING STRESS NOT TO EXCEED 20 KSI.
5. THE DEFLECTION OF THE DECK UNDER DESIGN LIVE LOADS SHALL NOT EXCEED L/240 OF THE SPAN.
6. ROOF DECK SHALL BE ABLE OF SUPPORTING THE DESIGN LOADS SHOWN ON THE DRAWINGS AND AS REQUIRED BY REFERENCED DESIGN CODES
7. DECK SHEETS SHALL EXTEND CONTINUOUSLY OVER MINIMUM OF TWO (2) SPANS
8. NEW ROOF DECK SHALL BE FASTENED PER SDI REQUIREMENTS, 36/4 PATTERN MINIMUM AT EACH PERPENDICULAR END SUPPORT, OR AS OTHERWISE SPECIFIED BY THE ENGINEER.
9. DECK DETAILS AND FASTENER PATTERNS MUST BE SUBMITTED TO THE ENGINEER FOR REVIEW BEFORE PROCEEDING WITH FABRICATION AND INSTALLATION. REFER TO SPECIFICATIONS FOR SHOP DRAWING SUBMITTAL REQUIREMENTS.
10. END LAPS OF STEEL DECK SHEETS MUST BE A MINIMUM OF 3" AND MUST OCCUR OVER SUPPORTS ONLY; AT THESE POINTS FASTENING MUST BE PLACED AT EACH BOTTOM FLUTE.
11. FASTENERS FOR STEEL DECK ATTACHMENT TO STRUCTURAL STEEL (I.E. EXISTING BEAM/CHANNELS) MUST BE HILTI #12 SCREW AS APPROPRIATE FOR EACH CONDITION SELF DRILLING BI-METAL SCREWS, OR ENGINEER APPROVED EQUAL.
12. SIDELAP FASTENERS MUST BE HILTI S-MD #10-16x1" SELF DRILLING BI-METAL SCREWS, OR ENGINEER APPROVED EQUAL. SIDELAP FASTENER SPACING MUST NOT EXCEED 30" ON-CENTER OR AS REQUIRED BY FM.
13. FLAME CUTTING OF NEW STEEL DECK IS NOT PERMITTED.
14. STOCKPILING OF MATERIALS ON EXISTING STEEL FRAMING AND NEW STEEL ROOF DECK IS NOT PERMITTED UNTIL SPECIFIED FASTENING OF EXISTING STEEL DECK TO STRUCTURAL FRAMING HAS BEEN COMPLETELY INSTALLED. WEIGHT OF STOCKPILED MATERIALS ON ROOF ONCE EXISTING STEEL DECK HAS BEEN FASTENED SHALL NOT EXCEED 20 PSF.

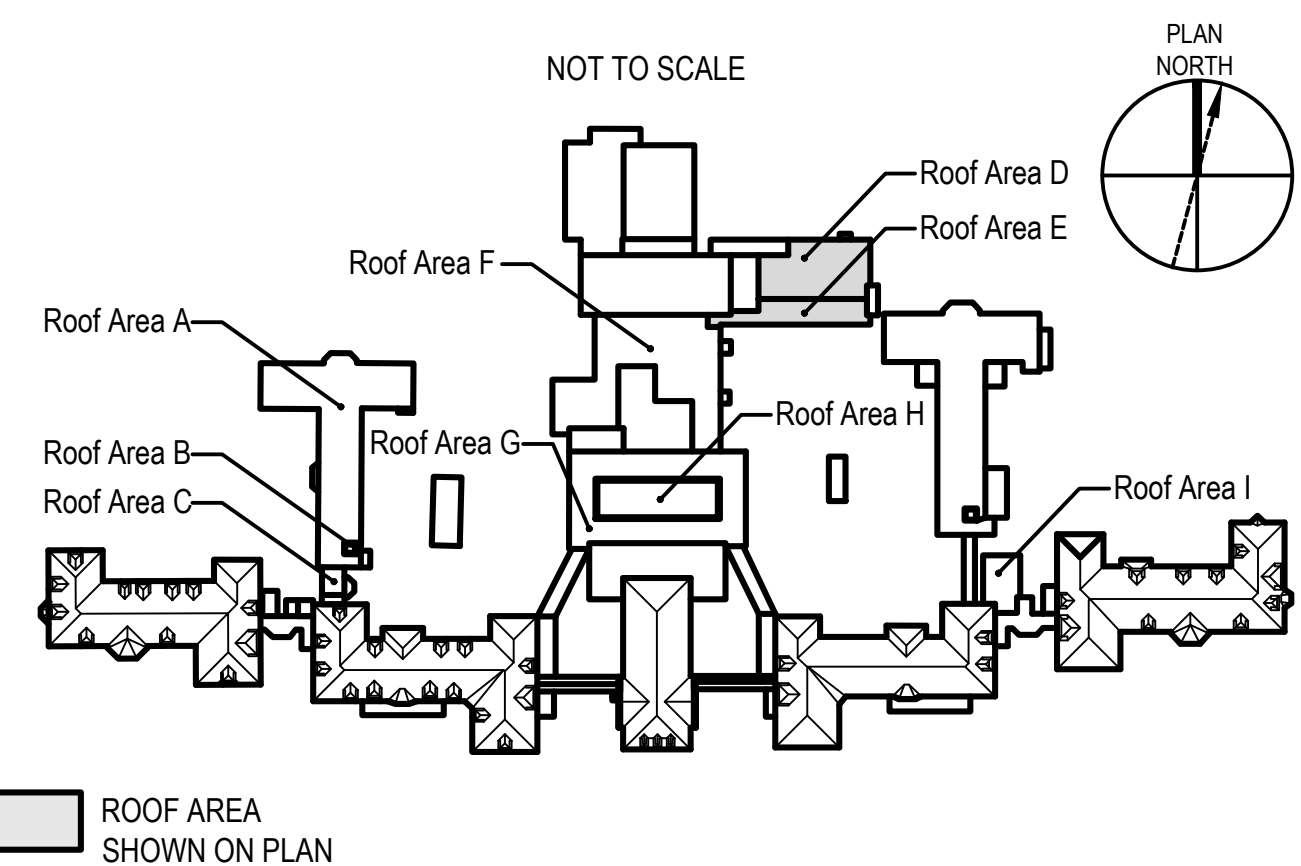
**GENERAL STRUCTURAL NOTES**

1. STRUCTURAL DRAWINGS ARE ONLY PART OF THE CONTRACT DOCUMENTS AND SHALL BE USED IN CONJUNCTION WITH PROJECT SPECIFICATIONS AND ARCHITECTURAL DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS, AND/OR ELEVATIONS NOT SHOWN ON THE STRUCTURAL DRAWINGS.
2. DESIGN REQUIREMENTS AS INDICATED ON BOTH THE SPECIFICATIONS AND DRAWINGS, OR ON EITHER ONE ONLY, SHALL BE FOLLOWED ENTIRELY. WHERE COMPLIANCE WITH TWO OR MORE STANDARDS WITH CONFLICTING REQUIREMENTS ARE SPECIFIED, NOTIFY THE ENGINEER AND ENFORCE THE MOST STRINGENT REQUIREMENTS.
3. THE DRAWINGS ARE NOT TO BE SCALED IN THE FIELD OR FROM ELECTRONIC FILES. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER DRAWN DIMENSIONS. VERIFY ALL DISCREPANCIES AND CONFLICTING INFORMATION ON DRAWINGS AND/OR SURVEY WITH THE ARCHITECT AND ENGINEER.
4. ALL DIMENSIONS, ELEVATIONS AND CONDITIONS RELATED TO EXISTING CONDITIONS MUST BE FIELD VERIFIED, AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND ENGINEER BEFORE PROCEEDING WITH THE AFFECTED PORTION OF THE WORK.
5. SHOP DRAWINGS PREPARED BY CONTRACTORS, SUPPLIERS, ETC. SHALL BE PROVIDED TO THE ARCHITECT AND ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION AND/OR CONSTRUCTION. GENERAL CONTRACTOR SHALL REVIEW ALL SHOP DRAWINGS PRIOR TO SUBMITTING TO THE ARCHITECT AND ENGINEER. REFER TO PROJECT SPECIFICATIONS FOR REQUIRED SUBMITTALS.
6. THE CONTRACTOR SHALL ENSURE THAT ALL CONSTRUCTION METHODS USED WILL NOT CAUSE DAMAGE TO ADJACENT BUILDINGS, UTILITIES, OR OTHER PROPERTY.
7. STRUCTURAL STABILITY OF THE BUILDING RELIES ON THE FINISHED CONSTRUCTION WITH COMPLETED FRAMING, CONNECTIONS, WALLS AND FLOORS. TEMPORARY BRACING AND SHORING SHALL BE PROVIDED BY THE CONTRACTOR TO ENSURE STABILITY OF THE STRUCTURE DURING CONSTRUCTION.
8. TEMPORARY BRACING, SHORING, OR ANY WORK THAT MAY BE REQUIRED TO PROTECT THE EXISTING SURROUNDING PROPERTIES, BUILDINGS, UTILITIES, ETC. SHALL BE PROVIDED BY THE CONTRACTOR.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EFFECTS ON SURROUNDING EXISTING STRUCTURES FROM GROUND VIBRATIONS INDUCED BY THE CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL DETERMINE THE NEED TO PROVIDE A PRE-CONSTRUCTION SURVEY, PROTECTION AND/OR MONITORING OF VIBRATIONS.
10. DETAILS, SECTIONS AND NOTES ON THE DRAWINGS ARE INTENDED TO BE APPLIED TO SIMILAR CONDITIONS ELSEWHERE UNLESS NOTED OTHERWISE.
11. LOCATION OF ALL CONSTRUCTION AND/OR CONTROL JOINTS SHALL BE REVIEWED AND APPROVED BY THE ARCHITECT AND ENGINEER.

**CODE LOADING**

1. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE LATEST EDITION OF THE MAINE UNIFORM BUILDING AND ENERGY CODE (REFERENCING THE IBC), AS WELL AS ALL STANDARDS AND SPECIFICATIONS REFERENCED THEREIN.
2. DESIGN LOADS:  
 DEAD LOADS  
 STRUCTURE..... ACTUAL WEIGHT  
 COLLATERAL (ROOF)..... 7 psf  
 COLLATERAL (MISC. MECHANICAL)..... 5 psf  
 (COLLATERAL LOADS INCLUDE CEILING, INSULATION, FINISHES, SUSPENDED UTILITIES, SPRINKLER PIPES, ETC.)  
 SNOW LOADS  
 Pg..... 70 psf  
 Pf..... 50 psf  
 WIND LOADS (ASCE7-10 OR AS AMENDED)  
 BASIC WIND SPEED, V..... 120 mph  
 RISK CATEGORY..... IV  
 EXPOSURE CATEGORY..... B  
 TOPOGRAPHIC FACTOR, Kzt..... 1.0  
 INTERNAL PRESSURE COEFFICIENT, (GCp)..... ±0.55  
 REFERENCE WIND PRESSURE, Q..... 26 psf

**KEY PLAN**



**GALE**  
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**PROJECT**  
 ROOF REPLACEMENT AND ASSOCIATED WORK  
 AT THE DOROTHEA DIX PSYCHIATRIC CENTER  
 656 STATE STREET  
 BANGOR, ME 04402

**OWNER**  
 DOROTHEA DIX PSYCHIATRIC CENTER  
 P. O. BOX 926  
 BANGOR, MAINE 04402

NO.	DATE	DESCRIPTION	BY

PROJECT NO.	838010
CADD FILE	838010 S100s
DESIGNED BY	AEO
DRAWN BY	KMC/AMV
CHECKED BY	ACP/SRM
DATE	10/20/2022
DRAWING SCALE	1/8"=1'-0"

GRAPHIC SCALE

SHEET TITLE

**ROOF AREAS D AND E  
FRAMING PLAN**

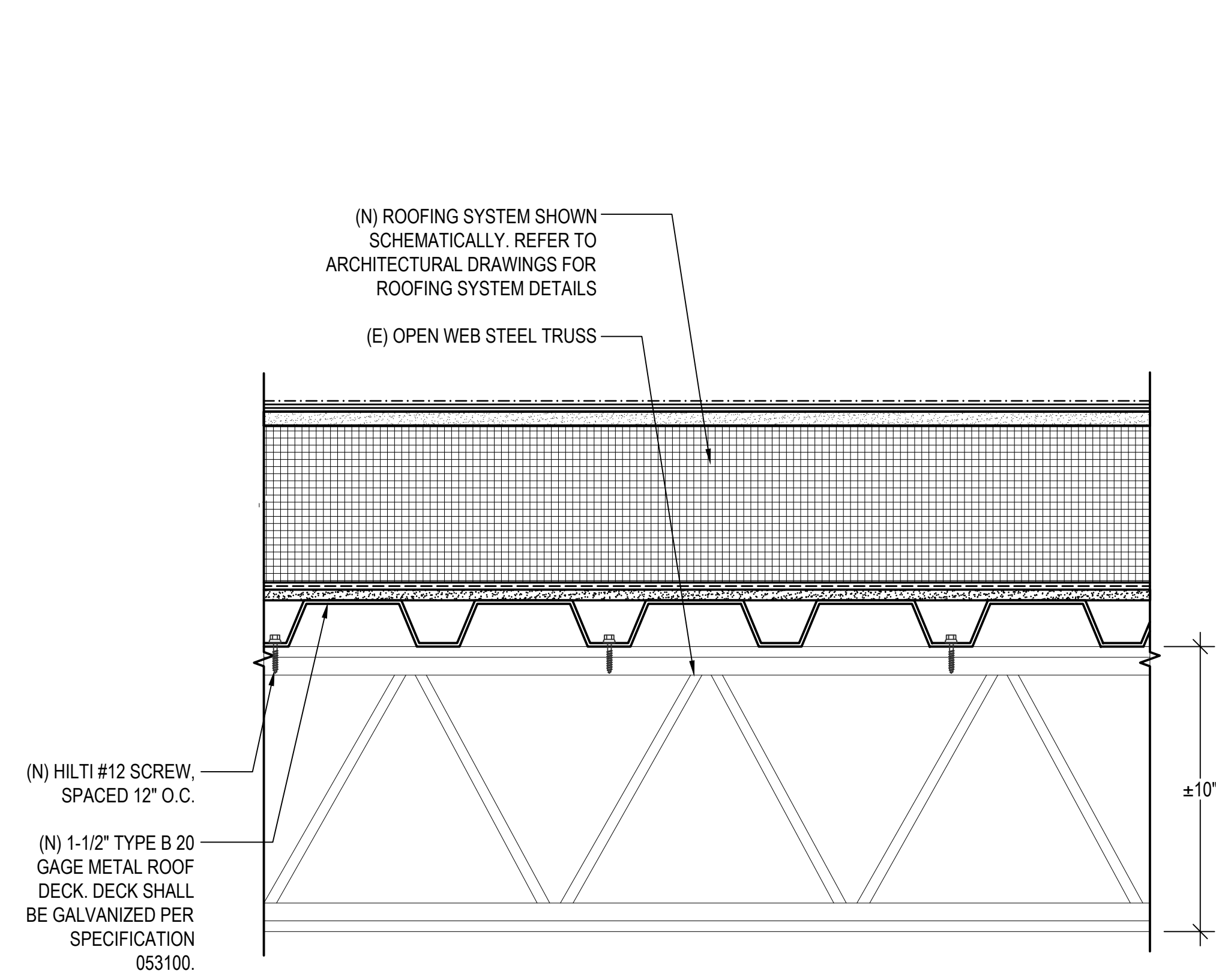
DRAWING NO.  
**S101**



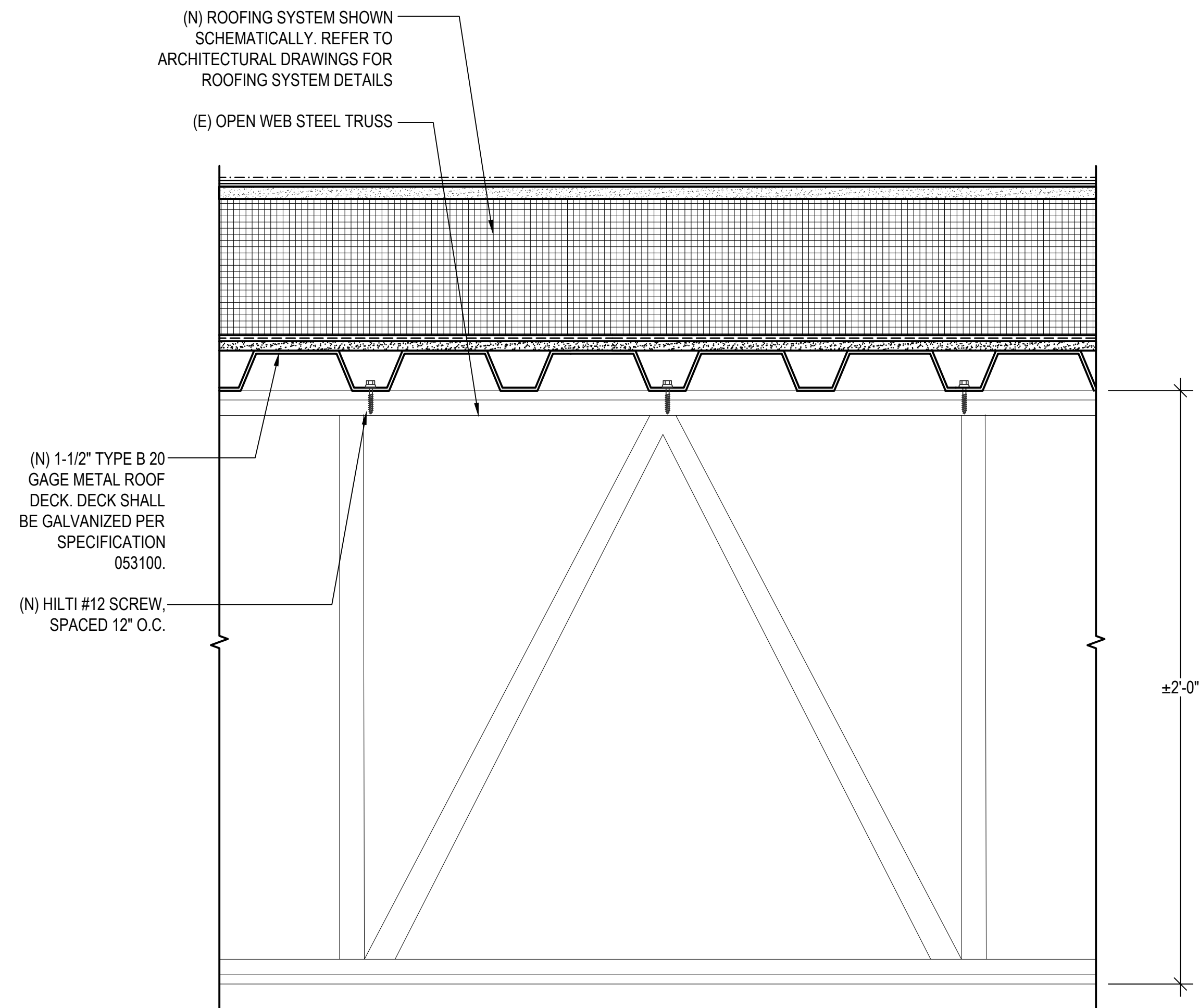


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**1** ALTERNATE 2  
 NEW METAL ROOF DECK AT ROOF AREA E  
 SCALE: 3"=1'-0"



**2** ALTERNATE 1  
 NEW METAL ROOF DECK AT ROOF AREA D  
 SCALE: 3"=1'-0"

REFER TO SHEET S101 FOR GENERAL STRUCTURAL NOTES AND REPLACEMENT STEEL DECK NOTES

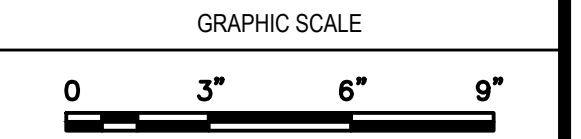
**LEGEND**

- (E) INDICATES EXISTING COMPONENT
- (N) INDICATES NEW COMPONENT

PROJECT <b>ROOF REPLACEMENT AND ASSOCIATED WORK AT THE DOROTHEA DIX PSYCHIATRIC CENTER</b> 656 STATE STREET BANGOR, ME 04402	OWNER DOROTHEA DIX PSYCHIATRIC CENTER P.O. BOX 926 BANGOR, MAINE 04402
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SHEET TITLE  
**METAL ROOF DECK DETAILS**

DRAWING NO.	S501
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