

Maine Department of Agriculture, Conservation & Forestry

Bureau of Parks and Lands – Boating Facilities Division

Richmond Maintenance Facility Buildings

Addendum #2

BGS Project No: 3204

Date: 6/3/2022

Bids Due: 6/7/2022, 2PM

1. Section 00 11 13 Notice to Contractors: Final Completion Date is changed to June 30, 2023
2. Section 00 11 13 Notice to Contractors: Bid deadline will be no later than 2:00:00 p.m. on 10 June 2022
3. Rock Removal - Bidders should bid a lump sum with the following assumptions:
 - A. Assume for bidding purposes that ledge removal is not required for the conduits crossing the parking lot between the Carpenter shops and the Main Office.
 - B. Assume for bidding purposes that there will be no ledge removal required under either new building, that the rock surface will be excavated and exposed so that the Owner and Engineer can determine if further rock removal is required to provide additional water drainage or deal with rock outcrops or boulders. Work resulting from this will be dealt with by the change order process.
 - C. Assume for bidding purposes that the trench exaction in the existing parking lot is adequately defined by the grading and test pit data provided for the drainage line and conduits. Assume there is no rock removal required from the south end of the existing garage building up to the southeast corner of the new Carpentry shop since the soils were found to be deep. If ledge is encountered in this length that requires removal, then it will be dealt with by the change order process. Assume trench rock removal is required for the remainder of that drainage line, for 140 feet in length from the southeast corner of the new Carpentry shop to the north end at the level spreader.
 - D. For the new driveway from the highway for bidding purposes assume that the rock at the highway ditch at the entrance is high and requires removal of 100 C.Y. of shallow rock under the new driveway surface. In addition, assume that there will be trenches for the drainage swales on either side of the new driveway- 250 lineal feet on the south side of the new driveway from the highway to Nav Aids Building, 80 feet along the north side of the new entrance near the highway, and 70 lineal feet in the “Y” formed by the new driveways, between the existing garage and the new Nav Aids Building. Assume for bidding purposes that the trenches shall be drilled and rock shattered up to 4 ft deep. Work not included in the above will be dealt with by the change order process.
4. Plans Sheet C-1, C-2 and C-3 - The “Graphics Scale “ at the bottom of these sheets is out of scale. The scale noted in text below the scale bar is correct. Replacement plan sheets are attached to this

addendum. When printing a pdf, it is important to print at “no scale” or “actual size” or 100%. If done so, with the correct sheet size and orientation, it will print properly.

5. Plan Sheet A-12 - Note in Upper Left corner should end after “2” schedule 80 PVC conduit for underground electric. For clarification on the scope - It is anticipated that the exterior trenching will occur on a different schedule than the foundation construction so that the Owner’s electrician conduit responsibility will terminate at a point somewhere just outside the foundation. The conduit to be laid in the trenches exterior to the buildings will be by the Owner’s electrician but the conduit from there inside the trench and inside both buildings will be the responsibility of the Contractor. Some coordination and cooperation will be required.
6. The Owner supplied wire will be brought to the Contractors supplied panel inside the building by the Owner’s Electrician after the conduit run is completed.
7. Plan Sheet W-2 - Note on left side for roof sheathing should say 5/8” rather than 3/4”
8. Electrical Conduit in the Nav aids Building may be EMT.
9. Smoke Detectors are shown on the plans but are the responsibility of the Owner’s security company, and will be provide and installed by them, including wiring.
10. Contractor shall be responsible to engage a service such as Dig Smart to perform electronic utility locating in the parking and roadway areas of the complex prior to start of excavation.
11. The boat ramp planks, precast jersey barriers and other supplies stored in the Nav Aids Building area will be relocated by the Owner prior to the start of construction.
12. **Question: For alternate #1 is that a cost that should be added to the base bid total? How is this to be filled in?** Answer: Alternate Bids are defined in 00 71 00 as:

Alternate Bid: The Contractor’s written offer of a specified dollar amount, submitted on the Bid Form, for the performance of a particular scope of work described in the Bid Documents. The Owner determines the low bidder based on the sum of the base Bid and any combination of Alternate Bids that the Owner selects.

The base bid should not include the alternate. The owner will determine the low bid by the sum of the base bid and any combination of alternate bids that are selected.

13. **Question: So just so I understand it right the alternate #1 is a stand alone item? To determine the metal building option are you taking alt #1 and adding it to base bid? Or is base bid scratched and alternate #1 would take its place?** Answer: My understanding is the base bid is for the wood framed building. Alt #1 is for metal framed in lieu of wood framed. The number you should place in Alt #1 should be the value that we will add to the base bid. If your Alt #1 is a positive number, my take is it would increase your wood framed base bid and no longer be the lower option. If your Alt #1 value was a deduct, and it was selected, it would lower the overall bid when added to the base bid. The value in Alt #1 should be the change to the base bid value to do metal in lieu of wood, not the stand alone cost of the total project that includes the metal building.

Maine Bureau of Parks and Lands

Richmond Maintenance Facility

BGS Project 3204

Questions from Bidders

1. 5-25-22

Q: Request for video or conference call of bid opening

2. 5-25-22

Q: Is the new meter pedestal to be supplied and installed under this contract or will it be furnished and installed by the owner?

A: The meter pedestal is existing and was part of the Owner's electrical site work, done to prepare for the project and it is not part of the bid. Please refer to the Project manual, page 01 01 00 - 2 for more explanation.

3. 5-25-22

Q: So that all bidders can bid equally, please provide further clarification regarding the level of security expected during the on-site construction process.

A: The existing maintenance facility buildings are locked and the entrance is gated and locked after hours. A security service monitors the facility. The Contractor should provide their own secure storage for the equipment, materials and tools that they leave on site. A limited amount of indoor storage is available in the existing facility. The new driveway entrance, while under construction, should be physically blocked, and after construction shall be gated and locked to prevent unauthorized entry. The new gate will be installed by the Owner at the appropriate time in the process. Please refer to the Project manual, page 01 01 00 - 2 for more explanation.

4. 5-26-22

Q: Print C-3 shows meter pedestal , where power to the two buildings is acquired from. I did not find any description of pedestal in prints or specs. Is it already existing?

A: The meter pedestal is existing and was part of the Owner's electrical site work, done to prepare for the project and it is not part of the bid. Please refer to the Project manual, page 01 01 00 - 2 for more explanation.

As of Tuesday, May 31, 2022

Q: Print C-3 also states conduit and wire by owners electricians. Print A12 states 2 in. sch 80 PVC by Contractor. Only wire by owners electricians. Which is true?

A: Clarification on scope - It is anticipated that the exterior trenching will occur on a different schedule than the foundation construction so the Owner's electrician conduit responsibility will terminate at a point somewhere just outside the foundation. The conduit to be laid in the trenches exterior to the buildings will be by the Owners electrician but the conduit from the end of the trench and inside both buildings will be the responsibility of the Contractor. Some coordination and cooperation will be required.

The note on A12 will be corrected to state that the conduit is by the Owner's electrician with the above understanding.

Q: Am I to assume that owner supplied wire will be brought to the electrical contractors supplied Panel?

A: Yes

Q: Print A7 shows high bay fixtures at 16ft. Print W-2 shows high bay at 15ft. Are both true?

A: Both are true. The wood building trusses are lower than the metal building roof framing. Both dimensions are plus or minus and may be adjusted to best fit the mounting hardware of the fixtures.

CC: Attendees at Prebid Meeting

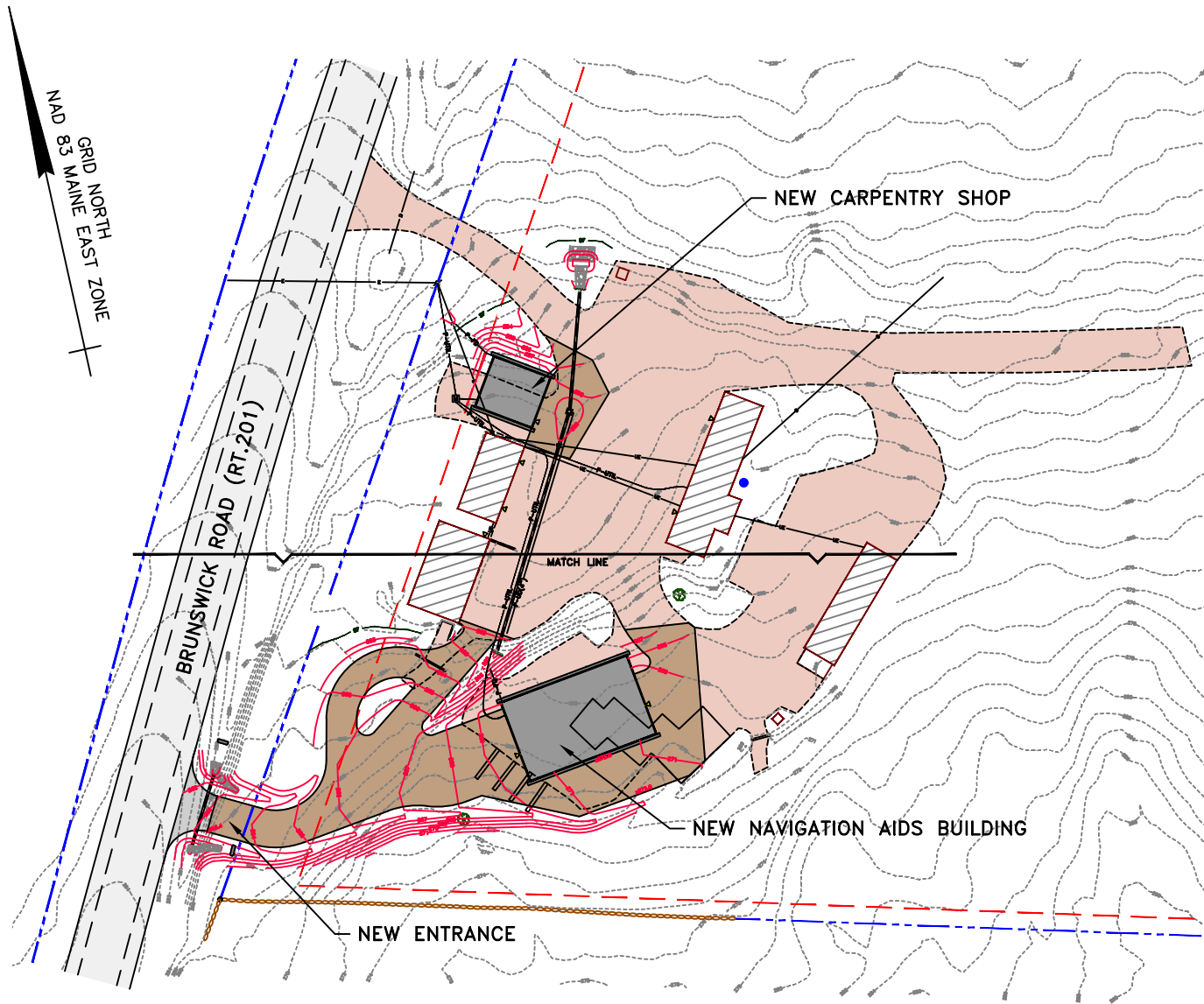
David Schoenherr -BGS Website

Thomas Linscott - BPL

Heather Seiders - BPL

Andrea White -AGC

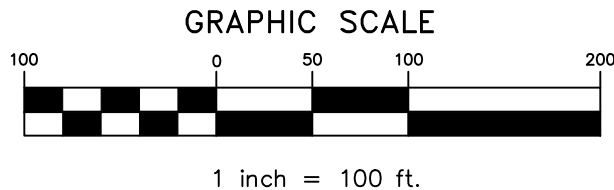
Mike Naczas- Construction Summary



SURVEYOR'S NOTES:

Elevations shown hereon are in feet, referenced to the North American Vertical Datum of 1988 (NAVD 88) derived from GPS observations tied to the MaineDOT CORS network.

Contours shown at 1-foot intervals are derived from field survey. Contours shown at 2-foot intervals are taken from Maine Office of GIS lidar data.



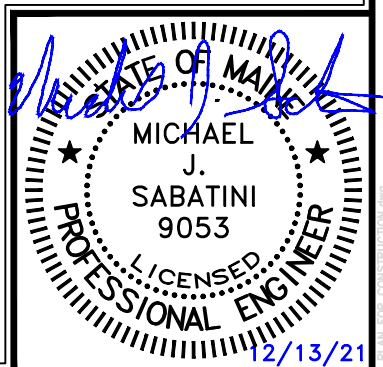
REVISED DECEMBER 13, 2021, REVISED GRAPHIC SCALE JUNE 2, 2022

SITE NOTES:

1. THESE PLANS ARE ISSUED FOR CONSTRUCTION OF NEW BUILDINGS AND SITE IMPROVEMENTS AT THE MAINE BUREAU OF PARKS & LANDS FACILITY IN RICHMOND, AND ARE PART OF THE OVERALL BGS PROJECT #3204. FOR OTHER INFORMATION REFER THE CONTRACT DOCUMENTS - PROJECT MANUAL, BUILDING DRAWINGS AND SPECIFICATIONS.
2. UTILITIES SHOWN ARE APPROXIMATE. LOCATION SHALL BE VERIFIED PRIOR TO START OF CONSTRUCTION. NOTIFY OWNER OF ANY DISCREPANCIES. NEW UNDERGROUND UTILITIES SHOWN ARE FOR INFORMATION ONLY AND ARE SCHEMATIC. COORDINATION WITH A LICENSED ELECTRICIAN AND CMP IS REQUIRED.
3. ALL STORM DRAIN PIPES SHALL BE ADS-N12 OR EQUAL. ALL PVC PIPES SHALL BE SDR 35 OR EQUAL. CONTRACTORS SHALL STAKE-OUT ALL DRAINAGE STRUCTURES, STORM DRAINS, CULVERTS, AND LEVEL SPREADERS PRIOR TO PLACEMENT, FOR APPROVAL BY OWNER/ENGINEER.
4. BOULDER HEADWALLS SHALL BE LOOSE LAID AND MACHINE PLACED.
5. SEE TEST PIT LOCATIONS AND CORRESPONDING DEPTHS TO LEDGE BELOW EXISTING GRADE FOR LEDGE REMOVAL REQUIREMENTS. COMPLY WITH PROJECT MANUAL SPECIFICATION SECTION 31 23 06 AND MAINE DOT STANDARD SPECIFICATION SECTION 203.042 FOR REQUIREMENTS FOR BLASTING.
6. THE NEW ENTRANCE IS SUBJECT TO MAINE DEPARTMENT OF TRANSPORTATION ENTRANCE PERMIT #29290.
7. VEGETATION CLEARING LIMIT IS 15 FEET FROM THE EDGES OF NEW GRADED AREAS OR EDGE OF ROAD. ANY TREE LIMBS THAT EXTEND OVER THE NEW DRIVEWAY AREAS BELOW 16 FEET HEIGHT SHALL BE REMOVED BACK TO THE TREE TRUNK.
8. THIS SITE WAS INITIALLY DEVELOPED IN THE EARLY 1970's AND THEREFORE MOST OF THE IMPERVIOUS ARE IS NON-JURISDICTIONAL. THE AMOUNT OF IMPERVIOUS AREA THAT WAS CONSTRUCTED AFTER 1997 COMBINED WITH THAT WHICH IS PROPOSED FOR THIS PROJECT IS APPROXIMATELY 18,000 SF WHICH DOES NOT MEET THE THRESHOLD FOR A DEP STORMWATER PERMIT.

LEGEND:

●	IRON PIN FOUND (AS NOTED)		EXISTING BUILDING
○	UTILITY POLE		EXISTING GRAVEL DRIVE
○○○○	STONE WALL	235.2x	NEW SPOT ELEVATION
— E —	AERIAL UTILITY LINE	— 230 —	NEW CONTOURS
— UE —	EX. UNDERGROUND UTILITIES	— P-UTIL —	NEW UNDERGROUND UTILITIES
— S —	EX. SANITARY SEWER LINE	— P-UD —	NEW UNDERDRAIN 4" PERFORATED PVC
— D —	EX. STORM DRAIN	— P-FD —	NEW FOUNDATION DRAIN OUTFALL 4" SOLID PVC
Ⓢ	EX. DRILLED WELL (APPROXIMATE LOCATION)	— — —	NEW STORMDRAIN
🌳	DECIDUOUS TREE		NEW GRAVEL DRIVE
— -266 —	EXISTING CONTOUR		NEW PAVED DRIVE
1.7'	TEST PIT WITH DEPTH TO LEDGE BELOW EXISTING GRADE PROVIDED BY OTHERS		NEW RIPRAP CHANNEL
		□	NEW CATCHBASIN (TYPE F)
		▲	NEW BUILDING MOUNTED SITE LIGHT
		— SF —	SILT FENCE
			NEW BOULDER HEADWALL
			NEW STONE CHECK DAM



135 ROCKLAND STREET ROCKPORT, MAINE 04856 PHONE: (207) 236-6757 WWW.LANDMARKMAINE.COM

FIELD WORK DATE: 5/19/21
FIELD WORK BY: KMB/EST
DRAFTED BY: KMB/JML
CHECKED BY: MJS
PLAN DATE:
AUGUST 27, 2021

**BGS PROJECT #PT3204
SITWORK WORK SCOPE
OVERALL PLAN, LEGEND & NOTES**

MAINE DEPARTMENT OF AGRICULTURE, CONSERVATION AND FORESTRY
BUREAU OF PARKS AND LANDS
BOATING FACILITIES PROGRAM
RICHMOND MAINTENANCE FACILITY BUILDINGS
1009 BRUNSWICK ROAD RICHMOND, MAINE SAGadahoc COUNTY

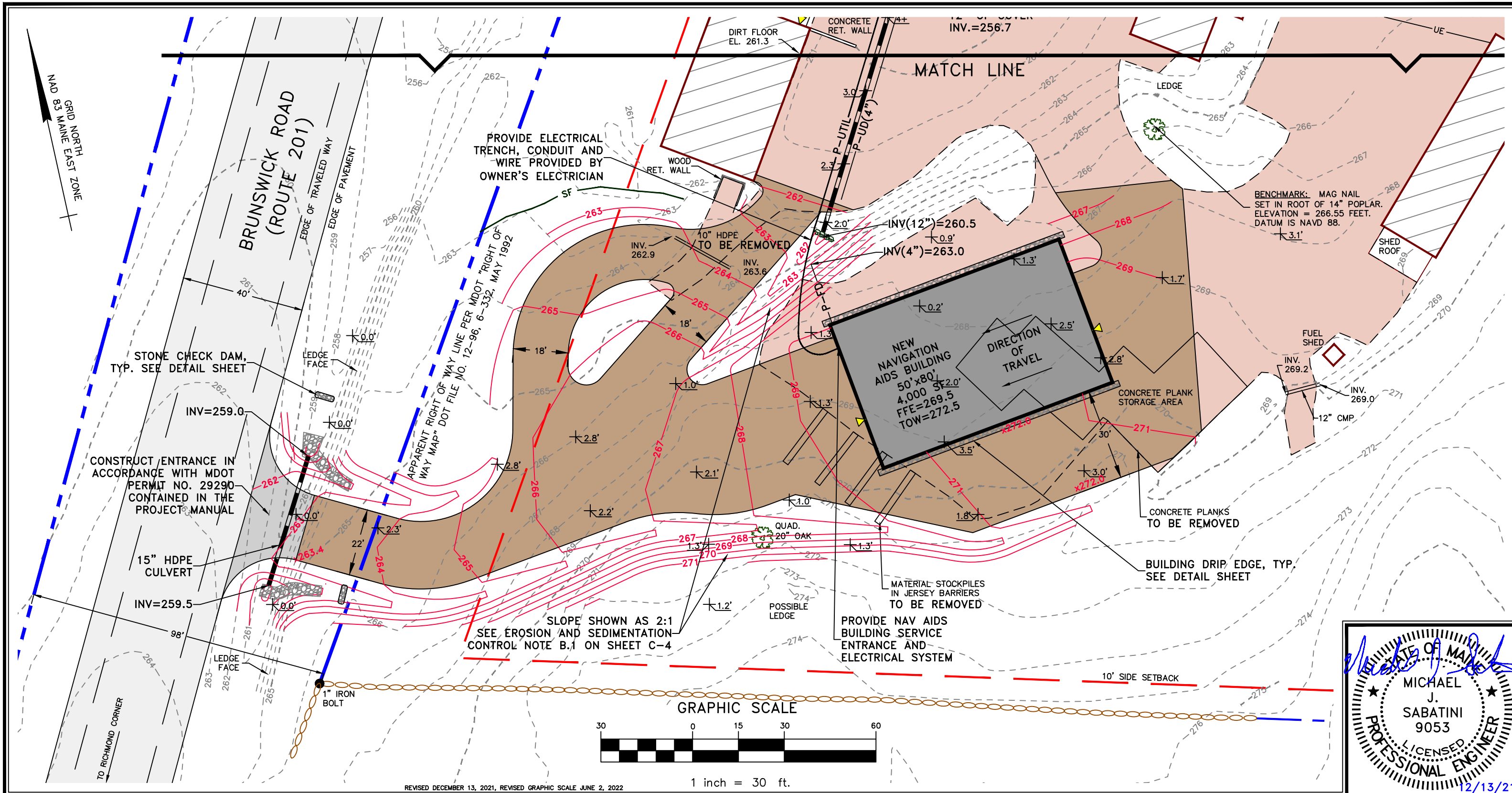
SCALE: 1" = 100'

JOB No.: 20 - 015

SHEET: 1 OF 8

SHEET DESIGNATION:

C-1



STATE OF MAINE
MICHAEL J. SABATINI
9053
LICENSED PROFESSIONAL ENGINEER
12/13/21

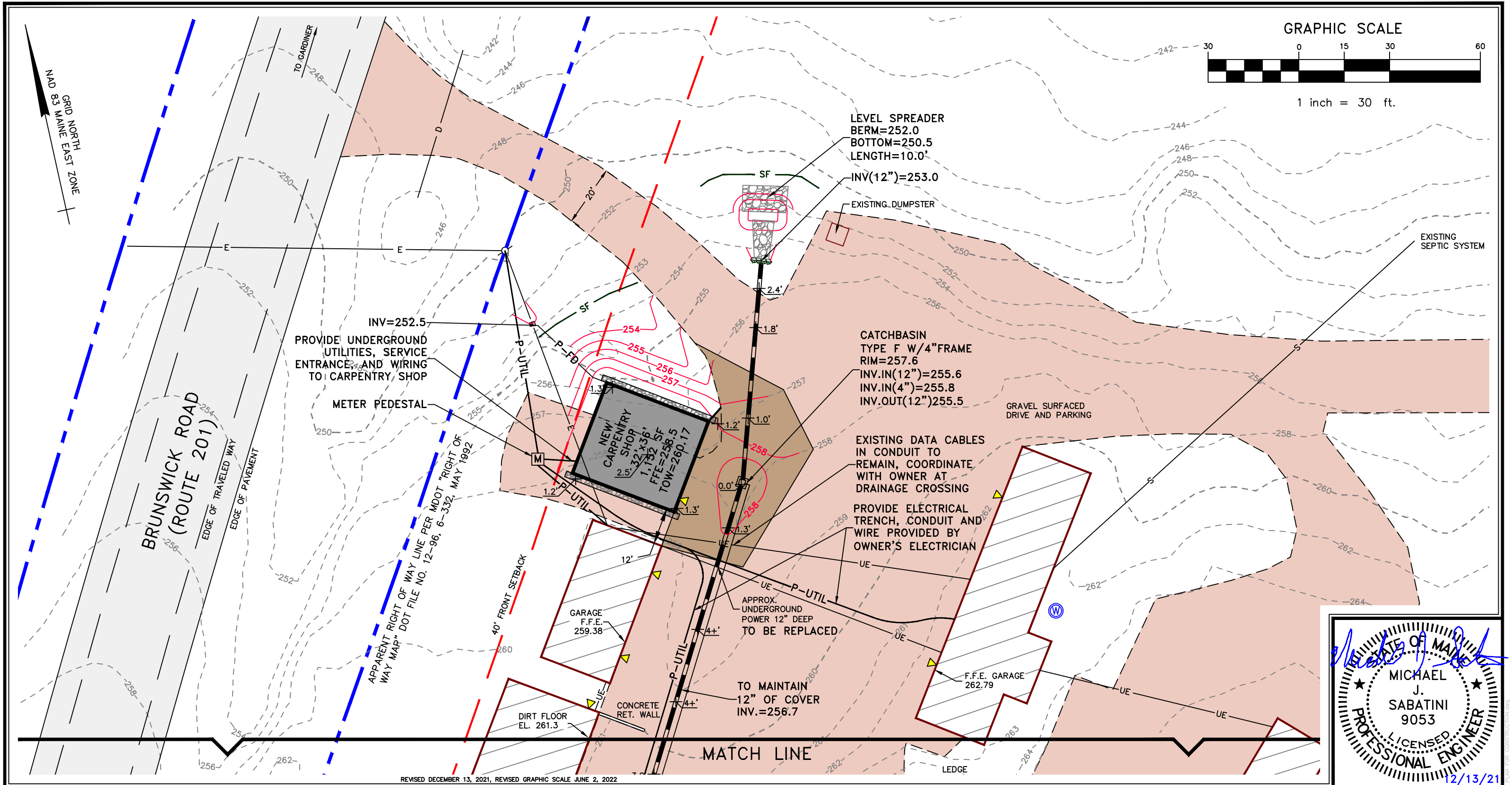
LANDMARK CORPORATION
SURVEYORS & ENGINEERS
135 ROCKLAND STREET ROCKPORT, MAINE 04856 PHONE: (207) 236-6757 WWW.LANDMARKMAINE.COM

FIELD WORK DATE: 5/19/21
FIELD WORK BY: KMB/EST
DRAFTED BY: KMB/JML
CHECKED BY: MJS
PLAN DATE: AUGUST 27, 2021

**BGS PROJECT #PT3204
SITWORK WORK SCOPE
SITE PLAN A - NAVIGATION AIDS BUILDING & NEW ENTRANCE**

MAINE DEPARTMENT OF AGRICULTURE, CONSERVATION AND FORESTRY
BUREAU OF PARKS AND LANDS
BOATING FACILITIES PROGRAM
RICHMOND MAINTENANCE FACILITY BUILDINGS
1009 BRUNSWICK ROAD RICHMOND, MAINE SAGadahoc COUNTY
SCALE: 1" = 30' JOB No.: 20-015 SHEET: 2 OF 8

SHEET DESIGNATION:
C-2



LANDMARK CORPORATION
SURVEYORS & ENGINEERS

135 ROCKLAND STREET ROCKPORT, MAINE 04856 PHONE: (207) 236-6757 WWW.LANDMARKMAINE.COM

FIELD WORK DATE: 5/19/21
FIELD WORK BY: KMB/EST
DRAFTED BY: KMB/JML
CHECKED BY: MJS
PLAN DATE:
AUGUST 27, 2021

**BGS PROJECT #PT3204
SITWORK WORK SCOPE
SITE PLAN B - CARPENTRY SHOP & DRAINAGE OUTFALL**

MAINE DEPARTMENT OF AGRICULTURE, CONSERVATION AND FORESTRY
BUREAU OF PARKS AND LANDS
BOATING FACILITIES PROGRAM
RICHMOND MAINTENANCE FACILITY BUILDINGS
1009 BRUNSWICK ROAD RICHMOND, MAINE SAGadahoc COUNTY

SCALE: 1" = 30'

JOB No.: 20 - 015

SHEET: 3 OF 8

SHEET DESIGNATION:

C-3

