

May 3, 2021

Addendum 1 and 2

Notice to all holders of Bid Documents for Chamberlain St Parking Lot Improvements, Chamberlain St, Augusta, Maine – BGS# 3172

The following changes are to be incorporated into the Contract Documents for Chamberlain Street Parking Lot Improvements, Chamberlain St., Augusta, Maine – BREM# 3172:

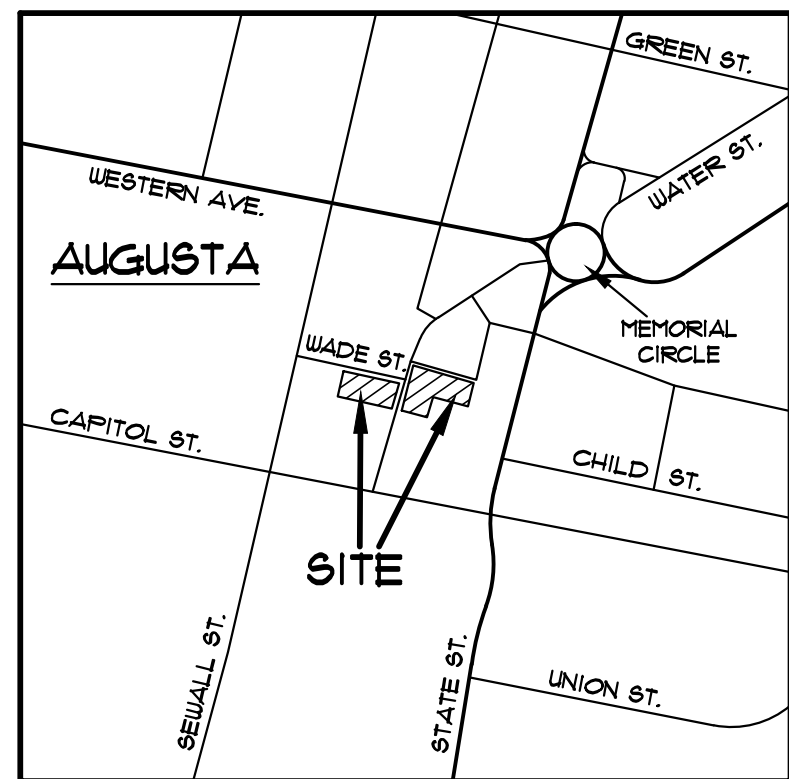
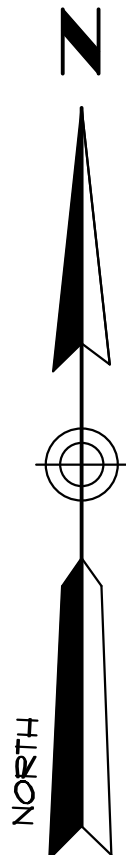
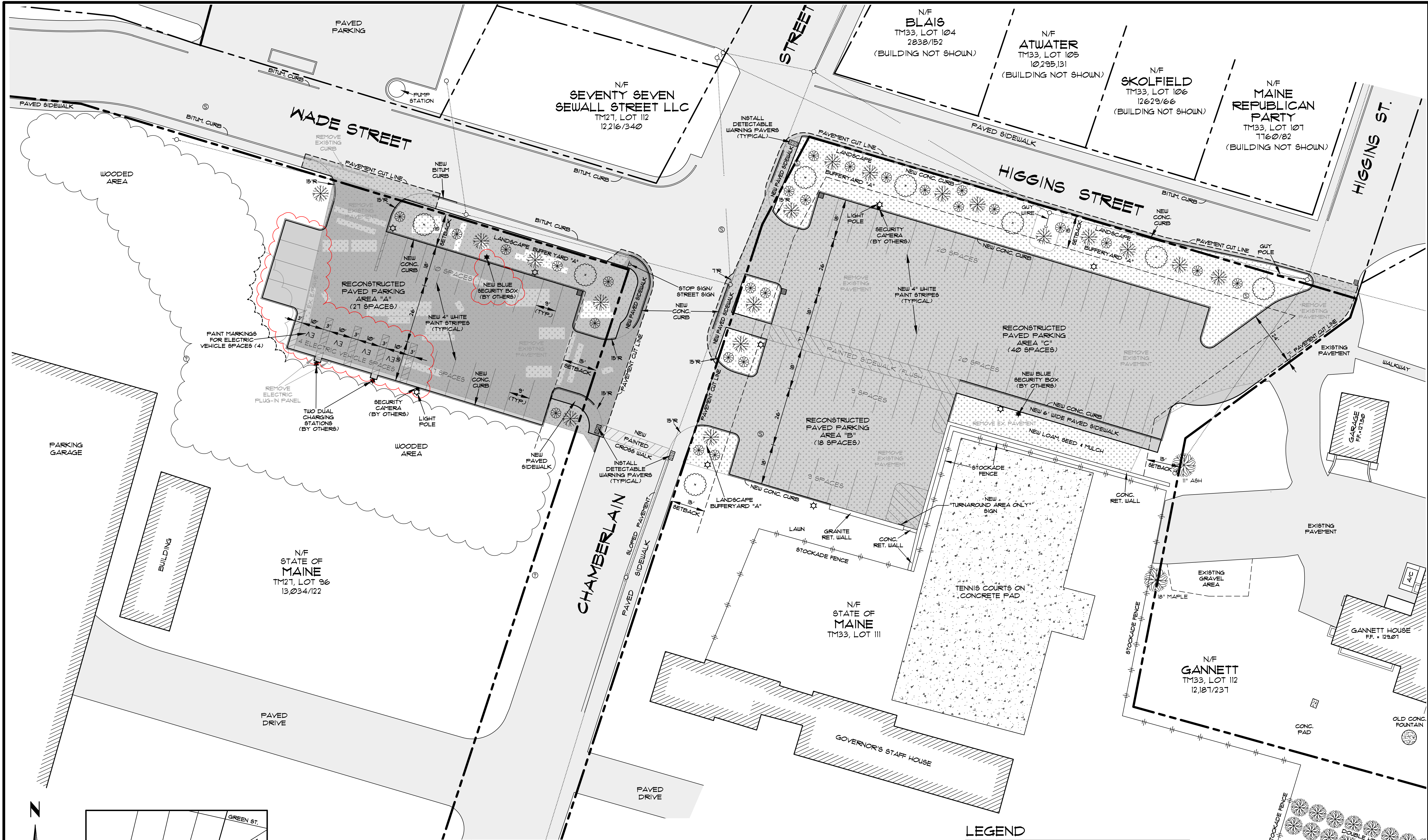
Addendum 1

1. Revisions have been made and clouded to the electrical drawing 21031-ES-100 Revision 04262021.

Addendum 2

2. Revisions have been made to drawings 20031-ES-100 Revision 05032021, 19-33 SITE Rev 04292021, and 19-33 TOPO Rev 04292021. All revisions have been clouded.
In summary, the plans show the movement for the location of the two EV dual charging stations including parking stall striping, relocation of one of the blue security boxes, and addition of another security camera in the smaller parking lot. In the larger parking lot, one of the blue security boxes has been deleted (near the crosswalk) and the power supply to one of the light poles added.
3. The Contractor is responsible for installing conduit and power to the blue security boxes, security cameras, and dual charging stations. The Contractor is also responsible for constructing the foundations for the blue security boxes and two dual charging stations.
4. The Hoffman cabinet is to be anchored to a 6" thick by 66" long by 24" wide concrete pad.
5. Testing of project materials (pavement/gravel) and compaction must be performed by certified personnel that may be employed by the Contractor. All test results must be submitted to the Engineer and Owner for verification and records associated with the project. All testing to be at Contractor cost.
6. All utilities and underground features shown on the plans are shown as schematic locations. The Contractor is required to contact DIGSAFE and other utility location companies (such as Greater Augusta Utility District, gas companies, etc.) to identify all underground utilities in the areas of construction work on this project. Any disruption to service must be repaired immediately at the contractors cost. Additional administrative costs for the disruption may be assessed to the Contractor at the Owners direction.
7. Parking lot stall and line work striping shall be 4" wide white paint. Handicap EV stall logo striping to be white paint with blue background.
8. The State of Maine has obtained a building permit, and a street opening permit from the City of Augusta. They have also secured a Stormwater Connection permit from the Greater Augusta Utility District.
9. Bid opening remains Tuesday, May 18, 2021 at 2:00PM. Bid proposals must be emailed prior to that time/date.

Please remember to acknowledge this addendum 1 and 2 and date May 3, 2021 in the Contractor Bid form (Section 00 41 13).



LOCATION MAP

LANDSCAPE NOTE

BUFFER YARD "A" (15' WIDE) LANDSCAPING REQUIREMENTS - PLANTINGS PER 100' LINEAR FEET
A) 2 - CANOPY TREES (2" TO 2 1/2" CALIPER)
B) 4 - UNDERSTORY TREES (1 1/4" TO 2" CALIPER)
C) 6 - DECIDUOUS SHRUBS (10' MATURE HEIGHT)
SEE SECTION 300-502 OF THE CITY OF AUGUSTA LAND USE CODE FOR MORE INFORMATION.

LANDSCAPE LEGEND

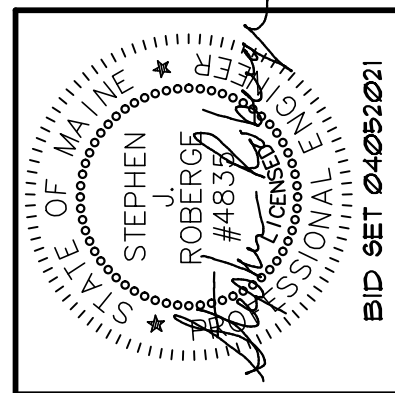
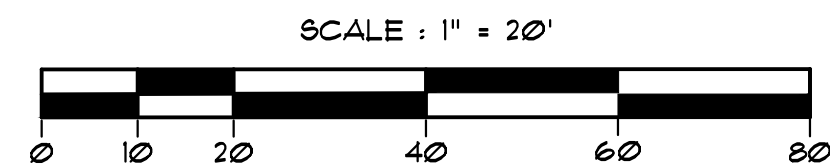
- 25 - DECIDUOUS SHRUB
- 8 - CANOPY AND/OR EVERGREEN TREE
- 17 - UNDERSTORY TREE

NOTES

- THIS IS NOT A BOUNDARY SURVEY. NO WARRANTY IS MADE TO THE INFORMATION SHOWN ON THIS PLAN. THIS SCHEMATIC WAS PREPARED TO SHOW PROPOSED IMPROVEMENTS TO THE PARKING AREAS.
- EXISTING CONDITIONS IS BASED ON AERIAL ORTHOPHOTOS AND 2' LIDAR CONTOURS DOWNLOADED FROM THE MAINE G.I.S. WEBSITE. BOUNDARY LINES ARE APPROXIMATE AND ARE BASED ON EXISTING RECORDED PLANS, TAX MAPS AND DEED INFORMATION.
- THE LOCATION, DEPTH, SIZE AND EXISTENCE OF ALL UNDERGROUND UTILITY LINES, TANKS AND/OR STRUCTURES WAS NOT DETERMINED. CONTRACTOR SHALL CONTACT DIGSAFE/ON-TARGET PRIOR TO EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF ALL PUBLIC AND PRIVATE UNDERGROUND UTILITIES PRIOR TO EXCAVATION.
- THE PARCELS ARE LOCATED IN THE BUSINESS / PROFESSIONAL ZONING DISTRICT ("BP").

LEGEND

- N/F 12/18/23/1
- APPROXIMATE BOUNDARY LINE
- NOW OR FORMERLY
- BOOK AND PAGE NUMBER
- EXISTING CATCH BASIN
- EXISTING SEWER MANHOLE
- NEW LIGHT POLE
- PROPOSED CATCH BASIN
- NEW TREE LINE
- EXISTING TREE LINE
- UTILITY POLE WITH OVERHEAD WIRES
- EXISTING BUILDING
- EXISTING PAVEMENT
- PROPOSED PAVEMENT
- REMOVE EXISTING PAVEMENT



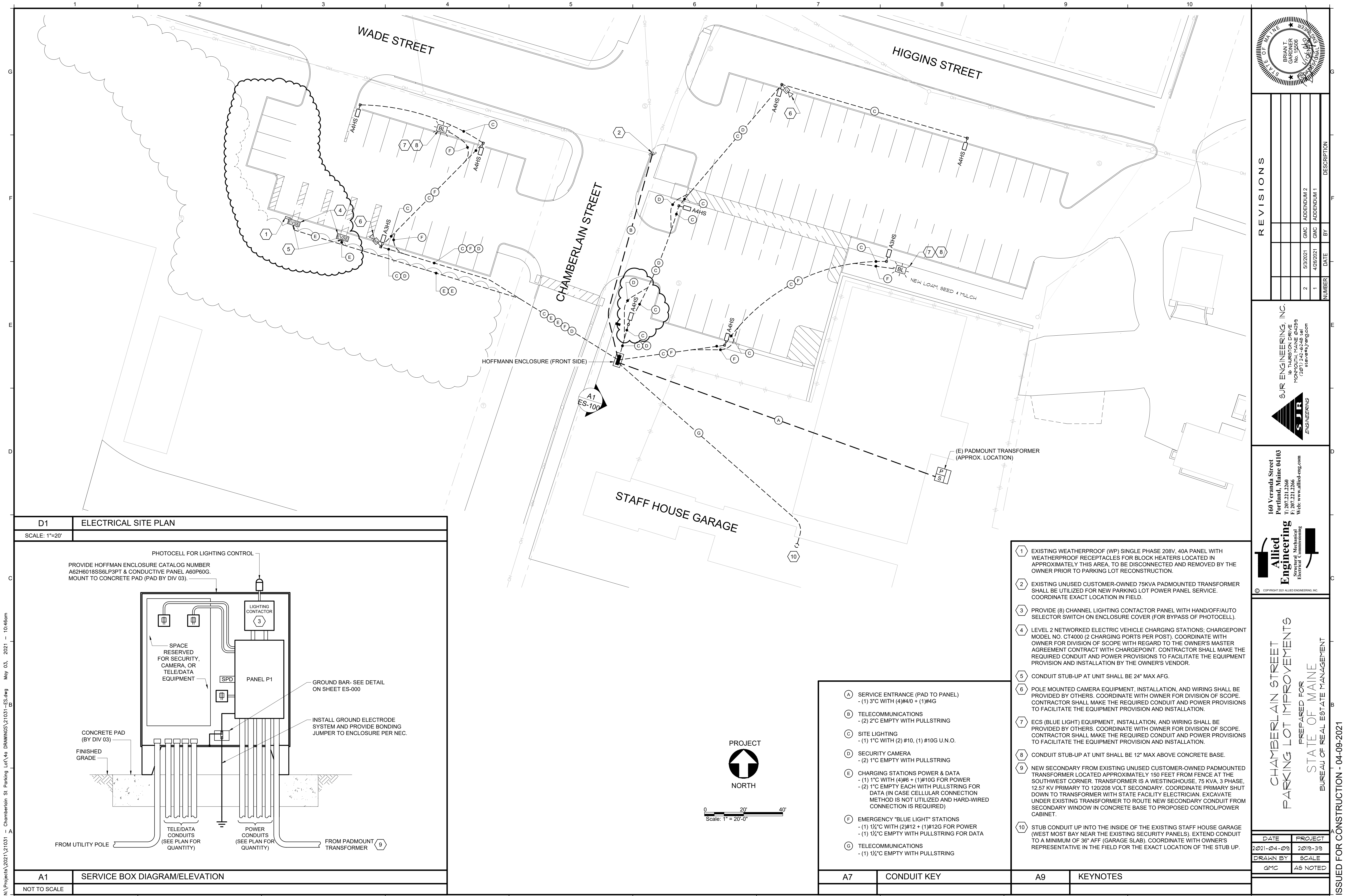
DATE	REVISION
APR 23, 2021	ADDENDUM 2 (N RED)
MAR 6, 2021	REMOVE ABUTTER CONSTRUCTION
MAR 2, 2021	CHANGES PER CITY REVIEW
FEB 1, 2020	TEXT REVISIONS
JAN 19, 2020	RELOCATE LIGHT POLES
JAN 11, 2019	REMOVE ISLAND RECONFIGURE
DEC 28, 2019	ADD GANNETT HOUSE PROPOSED CONDITIONS
REV: 1	DATE: 12/18/23
BY: SUR	BY: SUR

SJR ENGINEERING, INC.
16 THURSTON DRIVE
MONMOUTH, MAINE 04259
(207) 242-6248 tel
steve@sjr-eng.com

SJR ENGINEERING

SITE & DEMOLITION PLAN
CHAMBERLAIN STREET
PARKING LOT IMPROVEMENTS
PREPARED FOR
STATE OF MAINE
BUREAU OF REAL ESTATE MANAGEMENT

DATE	PROJECT
DEC. 2019	2019-39
DRAWN BY	SCALE
SJR	1" = 20'



REVISIONS

NUMBER	DATE	BY	DESCRIPTION
1	4/26/2021	GMC	ADDENDUM 1
2	5/3/2021	GMC	ADDENDUM 2

SJR ENGINEERING, INC.
160 Veranda Street
Portland, Maine 04103
T: 207.221.1260
F: 207.221.1266
Web: www.allied-eng.com
e: sje@allied-eng.com

SJR ENGINEERING

Allied Engineering
Structural Mechanical
Electrical Commissioning

160 Veranda Street
Portland, Maine 04103
T: 207.221.1260
F: 207.221.1266
Web: www.allied-eng.com

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**CHAMBERLAIN STREET
PARKING LOT IMPROVEMENTS**

PREPARED FOR
STATE OF MAINE
BUREAU OF REAL ESTATE MANAGEMENT

DATE	PROJECT
2021-04-09	2019-39
DRAWN BY	SCALE
GMC	AS NOTED

- EXISTING WEATHERPROOF (WP) SINGLE PHASE 208V, 40A PANEL WITH WEATHERPROOF RECEPTACLES FOR BLOCK HEATERS LOCATED IN APPROXIMATELY THIS AREA, TO BE DISCONNECTED AND REMOVED BY THE OWNER PRIOR TO PARKING LOT RECONSTRUCTION.
- EXISTING UNUSED CUSTOMER-OWNED 75KVA PADMOUNTED TRANSFORMER SHALL BE UTILIZED FOR NEW PARKING LOT POWER PANEL SERVICE. COORDINATE EXACT LOCATION IN FIELD.
- PROVIDE (8) CHANNEL LIGHTING CONTACTOR PANEL WITH HAND/OFF/AUTO SELECTOR SWITCH ON ENCLOSURE COVER (FOR BYPASS OF PHOTOCELL).
- LEVEL 2 NETWORKED ELECTRIC VEHICLE CHARGING STATIONS; CHARGEPOINT MODEL NO. CT4000 (2 CHARGING PORTS PER POST). COORDINATE WITH OWNER FOR DIVISION OF SCOPE WITH REGARD TO THE OWNER'S MASTER AGREEMENT CONTRACT WITH CHARGEPOINT. CONTRACTOR SHALL MAKE THE REQUIRED CONDUIT AND POWER PROVISIONS TO FACILITATE THE EQUIPMENT PROVISION AND INSTALLATION BY THE OWNER'S VENDOR.
- CONDUIT STUB-UP AT UNIT SHALL BE 24" MAX AFG.
- POLE MOUNTED CAMERA EQUIPMENT, INSTALLATION, AND WIRING SHALL BE PROVIDED BY OTHERS. COORDINATE WITH OWNER FOR DIVISION OF SCOPE. CONTRACTOR SHALL MAKE THE REQUIRED CONDUIT AND POWER PROVISIONS TO FACILITATE THE EQUIPMENT PROVISION AND INSTALLATION.
- ECS (BLUE LIGHT) EQUIPMENT, INSTALLATION, AND WIRING SHALL BE PROVIDED BY OTHERS. COORDINATE WITH OWNER FOR DIVISION OF SCOPE. CONTRACTOR SHALL MAKE THE REQUIRED CONDUIT AND POWER PROVISIONS TO FACILITATE THE EQUIPMENT PROVISION AND INSTALLATION.
- CONDUIT STUB-UP AT UNIT SHALL BE 12" MAX ABOVE CONCRETE BASE.
- NEW SECONDARY FROM EXISTING UNUSED CUSTOMER-OWNED PADMOUNTED TRANSFORMER LOCATED APPROXIMATELY 150 FEET FROM FENCE AT THE SOUTHWEST CORNER. TRANSFORMER IS A WESTINGHOUSE, 75 KVA, 3 PHASE, 12.57 KV PRIMARY TO 120/208 VOLT SECONDARY. COORDINATE PRIMARY SHUT DOWN TO TRANSFORMER WITH STATE FACILITY ELECTRICIAN. EXCAVATE UNDER EXISTING TRANSFORMER TO ROUTE NEW SECONDARY CONDUIT FROM SECONDARY WINDOW IN CONCRETE BASE TO PROPOSED CONTROL/POWER CABINET.
- STUB CONDUIT UP INTO THE INSIDE OF THE EXISTING STAFF HOUSE GARAGE (WEST MOST BAY NEAR THE EXISTING SECURITY PANELS). EXTEND CONDUIT TO A MINIMUM OF 36" AFF (GARAGE SLAB). COORDINATE WITH OWNER'S REPRESENTATIVE IN THE FIELD FOR THE EXACT LOCATION OF THE STUB UP.

- A** SERVICE ENTRANCE (PAD TO PANEL)
- (1) 3" C WITH (4) #4/0 + (1) #4 G
- B** TELECOMMUNICATIONS
- (2) 2" C EMPTY WITH PULLSTRING
- C** SITE LIGHTING
- (1) 1" C WITH (2) #10, (1) #10 G U.N.O.
- D** SECURITY CAMERA
- (2) 1" C EMPTY WITH PULLSTRING
- E** CHARGING STATIONS POWER & DATA
- (1) 1 1/2" C WITH (4) #6 + (1) #10 G FOR POWER
- (2) 1" C EMPTY EACH WITH PULLSTRING FOR DATA (IN CASE CELLULAR CONNECTION METHOD IS NOT UTILIZED AND HARD-WIRED CONNECTION IS REQUIRED)
- F** EMERGENCY "BLUE LIGHT" STATIONS
- (1) 1 1/2" C WITH (2) #12 + (1) #12 G FOR POWER
- (1) 1 1/2" C EMPTY WITH PULLSTRING FOR DATA
- G** TELECOMMUNICATIONS
- (1) 1 1/2" C EMPTY WITH PULLSTRING

A7	CONDUIT KEY	A9	KEYNOTES

**Bureau of Real Estate Management
Division of Planning, Design & Construction**

PRE-BID CONFERENCE AGENDA

PROJECT NAME: CHAMBERLAIN STREET PARKING LOT IMPROVEMENT

DATE: APRIL 28, 2021 @ 1:00 PM

LOCATION OF MEETING: PROJECT SITE, CHAMBERLAIN ST., AUGUSTA

A. Attendees

- Owner (State agency or other contracting entity) *BGS, JILL INSTAG*
 - Owner's Representative
- Consultant (Architect or Engineer) *STEVE RUBERG, SJR ENGINEERING*
 - Subconsultants
 - Clerk of the works
- General Contractor
 - Superintendent
 - Subcontractors
- Other State agencies
- Construction testing company
- Commissioning agent
- Special Inspections agent
- Bureau of Real Estate Management (BREM)

B. General Information on Bid Process

- All attendees to sign attendance sheet
- Requirements for mandatory attendance, *if any NOT HERE, NO BID*
- Bid submission time, date and location *MAY 18 @ 2:00, JILL TO TELL HOW TO SUBMIT BID AND ATTEND PUBLIC OPENING*
- Questions in writing to Consultant; deadline for questions
- Bond requirements *BID BOND 5% OF BOTH PRELIMINARY MAY 10, 2021*
- Access to bidding documents, including Addenda *NAME ON ATTENDANCE SHEET \$50 AT QUALITY COPY IN HANOVER*
- Bidders to review all project requirements

C. Specific Information on Project

- Bidders to note all insurance requirements, including Builder's Risk insurance
- Overall scope of work
- Parking
- Access to facility
- Lay-down areas, location for trailers
- Work hours
- Project schedule *completion Oct 15, 2021*
- Roles of the parties
- Tour of the site and facility; other pre-bid possibilities for access
- Closing of the tour; questions and answers in the next Addendum

*State to obtain building permit
" " Street opening permit
" " GAUD tie-in permit*

*Contractor to submit certified payrolls
Wage rate in bid package*

*Steve Ruberg
4/28/2021*

Pre-Bid Meeting Attendees

4/28/2021

<u>Name</u>	<u>Company</u>	<u>Address</u>	<u>email address</u>	<u>Telephone</u>
Dan Aceto	Aceto + Sons	PO Box 516, Lisbon, Maine	Dan@acetoandsonsearthwork.net	207-740-6763
Greg Savona	Crocker Construction	103 Lewiston Road, Topsham, Me	Greg@crooker.com	207-729-3331
Alicia Littlefield	Pratt+Sons	PO Box 236 Mechanic Falls, Me	alicia@prattand sons.net	207-345-3311
Scott Bon	Gendron+Gendron	50 Alfred Plourde Parkway, Lewiston, ME	ScottB@gendroncorp.com	207-712-3404
Mike Chick	MainEx	Box 932, Augusta, Me	Mainex@roadrunner.com	207-623-9707
Ben Roundy	Randy's Paving	211 Smith Road, Palmyra, Me	Ben@Randyspaving.com	207-368-2050
Steve Hunt	Quirion Inc	621 West River Road, Augusta, Me	Steve@quirioninc.com	207-242-0743
Jon Canty	Canty Construction	189 Indiana Rd., West Gardiner, Me	graveldig1@yahoo.com	207-242-1992
Steve Roberge	SJR Engineering Inc	16 Thurston Drive	steve@sjreng.com	207-242-6248
Jill Instasi	BGS	4th Floor, Cross Building, Augusta	Jill.Instasi@maine.gov	207-624-7341

Project: _____

Date: 4/28/2021 Sheet: _____ of _____ENGINEERING
BACKUP SHEET

SJR ENGINEERING

Subject: PRE-BID MEETINGJob #: CHAMBERLAIN ST PARKING LOTS

<u>NAME</u>	<u>COMPANY</u>	<u>ADDRESS</u>	<u>EMAIL ADDRESS</u>	<u>TELEPHONE</u>
1. Dan Aceto	Aceto & Sons	PO Box 516 Lisbon ME	Dan@acetoandsonsearthwork.net 207-740-6763	
2. Greg Savona	Crooker Construction	103 Lewiston Rd Topsham	Greg@crooker.com	207-929-3331
3. Alicia Litchfield	Pratt and Sons	PO Box 236 Mechanic Falls ME	alicia@prattandsons.net	207-345-3311
4. Scott Bero	Cementrow + gendro	04250 Lewiston	ScottBero@maincorp.com	202-712-3404
5. Mike Chalk	MAINEX	Box 932 Augusta	MAINEX@ROADRUNNERS.COM	207-623-9707
6. Ben Roundy	Roundy's Paving	211 Smith Rd Palmyra, ME 04965	Ben@Roundyspaving.com	207-368-2050
7. Steve Hunt	Quinton Inc	621 W. River Rd Augusta	Steve@quintoninc.com	207-242-8743
8. Jon Canty	Canty	189 Indiank W. Canaan	graveldig@yahoo.com	242 #992