

### Addendum #3

Directorate of Facilities Engineering

3 May 2021

This Addendum modifies, amends, and supplements designated parts of the Contract Documents, Specifications and Drawings for:

**Westbrook Armory Renovation, 120 Stroudwater Avenue, Westbrook, Maine, 04092, Project Number 23SR19-427-D, BGS Project Number 3034, Bid Number 21-022.**

It shall be the responsibility of the Contractor to notify all Subcontractors and Suppliers for various portions of the work of any changes or modifications contained in this Addendum.

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#### **Clarification Items:**

1. **Question:** Specification 08 80 00 Glazing Requirement Questions from Winco's Pre-Engineering review:  
Paragraph 1.5.B.2 Ballistic Glass to UL-752 Level 5 – WINCO has no product that can accommodate the glazing required to meet this Ballistic Level. WINCO also carries no product where the frame has been tested to UL 752 Level 5.  
The glass clad laminate to meet this level is in excess of 1-3/8" (depending on the manufacturer of the ballistic glass). Add to that a 1/2" Air Space for thermal performance and a 1/4" exterior lite.  
Paragraph 1.5.B.1 requires laminated glass to UFC 4-010-01, UFC 4-023-07 and meeting ASTM F 1642. UFC 4-010-01, (in chapter "Standard 10") also points to ASTM F 2248, which requires the glass to be glazed with a glazing bite driven by the nominal thickness of the laminate. It also requires the frame assembly to be strong enough to meet a multiplier of the Blast Glazing Resistance of the glass used. In case of the ballistic performance requirement, the multiplier would be 1.0, but the design pressure the framing has to withstand without permanent damage is still in excess of any reasonable frame design for use in Architectural applications.  
Paragraph 2.1.C.1 requires the glass to meet Wind Borne Debris to Large Missile as defined in ASTM E 1996. Paragraph 2.1.C.2 specifies the laminate interlayer to be 0.030" at minimum, and references ASTM F2248 mentioned above in my concern about ballistic glazing.  
WINCO has no product to meet the ballistic design requirement. If the ballistic requirement is waived and we only have to meet Blast and Wind-Borne Debris to Large Missile Level, it is a "Maybe", would require further analysis?  
**Answer:** Glazing must follow requirements put forth in specification.
2. **Question:** There is a specification for both Blast Resistant Aluminum Window Assemblies (85200) and Aluminum Windows (85113) windows. I'm assuming the windows on the exterior are all to be blast resistant (window type A-G). Is this correct? If so, are there any standard aluminum windows required?  
**Answer:** All exterior windows must be blast resistant complying with specification 08 52 00. Standard aluminum windows are not required.

3. **Question:** The specified Black EPDM does not meet the specified Solar Reflectance Index, Energy Star Listing, or Energy Performance requirements listed in the specification. Please verify if these are actual requirements and if so please provide more direction on requested products?  
**Answer:** These are actual requirements, which specified membrane doesn't meet requirements? There are 5 possible manufacturers to choose from but choice is not limited to just those 5.
4. **Question:** Many of the interior light gauge metal stud walls are shown as 4". Is that required or are 3 5/8" studs sufficient?  
**Answer:** Provide stud sizes per drawing requirements.
5. **Question:** Please Clarify the Ceramic and Qt base being used in the Kitchen and service area? Callouts for base show QT, RB(closets) and CTW-1 base. I assume the CTW-1 is Coved with Bullnose top. I'm not sure what to use for the Quarry Tile. Is it 6" cut from the Quarry tile or a coved bullnose from the QT product line?  
**Answer:** Answer:  
Kitchen: 12" x 12" QT flooring with CWT-1 to underside of ceiling assembly.  
Scullery: 12" x 12" QT flooring with CWT-1 to underside of ceiling assembly.  
Serving Corridor: 12" x 12" QT flooring with 6" bullnose QT wall base.  
Storage: 12" x 12" QT flooring with 6" bullnose QT wall base.  
Kitchen Closet: 12" x 12" QT flooring with 4" RB wall base.  
Both CWT-1 and QT base are outlined within specification 09 30 13.
6. **Question:** Is the intent to us the 071113 Bituminous Damp proofing as the Air & Water Barrier on the exterior masonry walls under the EIFS, if not please supply an Air Barrier Specification?  
**Answer:** No, the bituminous damp proofing is to be applied below the EIFS, on the foundation walls. The air barrier for the EIFS is part of the EIFS system and is dependent on manufacturer.
7. **Question:** There's confusion on who is to provide the food protectors and what the specification is?  
**Answer:** The specification is Food Service Equipment 11 40 00. All required are listed out in specification under 5 ITEMIZED SPECIFICATIONS. There are also Q drawings listing all food service equipment required. Q drawings and specification also provide information on who is to provide equipment under "Log Classifications".
8. **Question:** On the window schedule there is a type H but its not with the window types. It looks to me like the H is an entrance which all doors are HM per the door schedule. Please advise?  
**Answer:** Window type H is to be a transom above the entrance doors mulled as part of the door assembly from the same door manufacturer. The material callout in the schedule is an error. Material must be the same as door and part of the door assembly.

9. **Question:** Regarding window types A thru G. The specs have a standard aluminum window section and a blast resistant section. The plans do not indicate which windows are what. Also, I need to know the glass types for each window as the glass specs have a few different options. Please advise?

**Answer:** All exterior windows must be blast resistant complying with specification 08 52 00. All window glazing must be 1/4" double laminated insulated glass complying with specification 08 80 00.

10. **Question:** There is a specification for both Blast Resistant Aluminum Window Assemblies (85200) and Aluminum Windows (85113) windows. I'm assuming the windows on the exterior are all to be blast resistant (window type A-G). Is this correct? If so, are there any standard aluminum windows required?

**Answer:** All exterior windows must be blast resistant complying with specification 08 52 00. Standard aluminum windows are not required.

11. **Question:** Plan page AD-103 & ED-101, Alternate Bid Item (ABI) states: "Completely remove High Bay Lighting back to energizing source." Plan Page E-103 states: "Provide new LED high bay light fixture as indicated on the light fixture schedule". Please clarify as this is in conflict with the only alternate in the specification and Bid form?

**Answer:** Alternate #1 on Drawings AD-103 and ED-101 has been changed to Alternate #2 and corrected on bid form 00 41 13 Contractor's Bid Form, Page 3 of 4. Remove existing fixtures and install new LED fixtures.

12. **Question:** Can you clarify what should be provided for the corner guards at the Westbrook Armory project? a. Should they be stainless steel? b. 2" wings? c. what height?

**Answer:** See Specification Section 055000 2.8.

13. **Question:** According to 251000 the Building Automation System will bid directly to the General Contractor. However there is also another Control specification listed under 230900. Is the intent for the Controls Contractor to bid to the GC directly?

**Answer:** Controls Contractor shall bid directly to the GC.

14. **Question:** The City of Westbrook's Road Moratorium.

**Answer:** The Contractor shall bid the road opening as per drawings and specifications. The Contractor shall not be allowed to open the road and make connections to the main waterlines for sprinkler and portable waterline until 15 February 2023.

15. **Question:** How do I drop off my Contractor Bid Form?

**Answer:** Drive to address listed on the Contractor Bid Form. 194 Winthrop Street, Building #7, Camp Keyes, Augusta, Maine. Drive to the front glass doors. Call Theresa Bilodeau at 207-430-6350 or Sherrill Hallett at 207-430-5694. Theresa shall meet you at the front doors, give Theresa your Contractor Bid Form to be stamped in. Once your Contractor Bid Form is stamped it will be placed in the locked Bid Box. Any Contractor Bid Form arriving after 2:00pm. will not be accepted and will be returned to the Contractor. So arrive early to ensure that your Contractor Bid Form is stamped in before 2:00pm. on 6 May 2021.

16. All final questions should have been emailed to Win Stratton at Colby Co - [winfields@colbycoengineering.com](mailto:winfields@colbycoengineering.com) by 9:00 am on 3 May 2021. This ends the question and answer period of the bidding phase.

**Specification Items:**

1. Replace Section 00 41 13 Contractor Bid Form, pages 1 through 4 with enclosed revised Section 00 41 13 Contractor Bid Form, pages 1 through 4. Bid number corrected. Alternate #2 – Replace Highbay Light Fixtures has been corrected on the Bid Form. Addendum #3 is noted on page 4 of 4.
2. Replace Section 00 52 13 Construction Contract, page 3 of 4 with enclosed revised Section 00 52 13 Construction Contract page 3 of 4. Addendum #3 is noted on page 3 of 4.

**Drawing Items:**

1. Remove Drawings Sheet AD-103 Reflected Ceiling Demolition Plans, replace with revised Drawings Sheet AD-103 Reflected Ceiling Demolition Plans. Corrected ABI #2 – Replace Highbay Lighting fixtures.
2. Remove Drawings Sheet E-103 Electrical Lighting Plan, replace with revised Drawings Sheet E-103 Electrical Lighting Plan. Corrected ABI #2 – Replace Highbay Lighting fixtures.

**00 41 13**  
**Contractor Bid Form**

**Westbrook Armory Renovation, Westbrook, Maine**

Project Number 23SR19-427-D,  
BREM Project Number 3034, Bid Number 21-022

Bid Form submitted by: *paper documents only to address below*

Bid Administrator:

*DEPARTMENT OF DEFENSE VETERANS AND EMERGENCY MANAGEMENT*  
MILITARY BUREAU  
Directorate of Facilities Engineering  
194 Winthrop Street, Building #7, Camp Keyes  
Augusta, Maine 04333-0032

Bidder:

Signature: \_\_\_\_\_

Printed name and  
title: \_\_\_\_\_

Company name: \_\_\_\_\_

Mailing address: \_\_\_\_\_

City, state, zip code: \_\_\_\_\_

Phone number: \_\_\_\_\_

Email address: \_\_\_\_\_

State of  
incorporation,  
if a corporation: \_\_\_\_\_

List of all partners,  
if a partnership: \_\_\_\_\_

The Bidder agrees, if the Owner offers to award the contract, to provide any and all bonds and certificates of insurance, as well as Schedule of Values, Project Schedule, and List of Subcontractors and Suppliers if required by the Owner, and to sign the designated Construction Contract within twelve calendar days after the date of notification of such acceptance, except if the twelfth day falls on a State of Maine government holiday or other closure day, or a Saturday, or a Sunday, in which case the

**00 41 13**  
**Contractor Bid Form**

aforementioned documents must be received before 12:00 noon on the first available business day following the holiday, other closure day, Saturday, or Sunday.

As a guarantee thereof, the Bidder submits, together with this bid, a bid bond or other acceptable instrument as and if required by the Bid Documents.

**00 41 13**  
**Contractor Bid Form**

1. The Bidder, having carefully examined the form of contract, general conditions, specifications and drawings dated 9 April 2021, prepared by Colby Co. LLC for Westbrook Armory Renovation, Westbrook, Maine, as well as the premises and conditions relating to the work, proposes to furnish all labor, equipment and materials necessary for and reasonably incidental to the construction and completion of this project for the **Base Bid** amount of:

\$ \_\_\_\_\_ .00

2. Allowances *are included* on this project.

*<Bid Administrator to select...>*

*1. Allowance #1 - Potential Contaminated Soil. See Administrative Provisions 01 00 00 Schedule of Allowances, Paragraph 1.01,G.1. - \$10,000.00*

*2. Allowance #2: Weatherproof Conex Storage Containers. See Administrative Provisions 01 00 00 Schedule of Allowances, Paragraph 1.01,G.2. - \$20,000.00*

*3. Allowance #3: Replacement of furniture. See Administrative Provisions 01 00 00 Schedule of Allowances, Paragraph 1.01,G.3. - \$15,000.00*

*4. Allowance #4: CMP - Hire CMP for the replacement of equipment, pole and transformers, etc. See Administrative Provisions 01 00 00 Schedule of Allowances, Paragraph 1.01,G.4. - \$20,000.00*  
\$ 65,000.00

3. Alternate Bids *are included* on this project.

*Alternate Bids are as shown below*

Any dollar amount line below that is left blank by the Bidder shall be read as a bid of **\$0.00**.

*1 Alt.#1 Generator - See 01 00 00 Add. Paragraph 1.01,H.1* \$ \_\_\_\_\_ .00

*2 Alt. #2 - Replace Highbay Light Fixtures, AD-103, E-101* \$ \_\_\_\_\_ .00

*3 None* \$ \_\_\_\_\_ .00

*4 None* \$ \_\_\_\_\_ .00

**00 41 13**  
**Contractor Bid Form**

4. The Bidder acknowledges receipt of the following addenda to the specifications and drawings:

Addendum No. <u>  1  </u>	Dated: <u>26 April 2021</u>	Addendum No. <u>      </u>	Dated: <u>          </u>
Addendum No. <u>  2  </u>	Dated: <u>30 April 2021</u>	Addendum No. <u>      </u>	Dated: <u>          </u>
Addendum No. <u>  3  </u>	Dated: <u>3 May 2021</u>	Addendum No. <u>      </u>	Dated: <u>          </u>
Addendum No. <u>      </u>	Dated: <u>          </u>	Addendum No. <u>      </u>	Dated: <u>          </u>

5. Bid security *is required* on this project.

If noted above as required, the Bidder shall include with this bid form a satisfactory Bid Bond (section 00 43 13) or a certified or cashier's check for 5% of the bid amount with this completed bid form submitted to the Owner.

6. Filed Sub-bids *are not required* on this project.

If noted above as required, the Bidder shall include with this bid form a list of each Filed Sub-bidder selected by the Bidder on the form provided (section 00 41 13F).



**4.6** The Contractor shall be responsible for any design cost, construction cost, or other cost incurred on the Project to the extent caused by the negligent acts, errors or omissions of the Contractor or their Subcontractors in the performance of Work under this Contract.

## **ARTICLE 5 OWNER'S RESPONSIBILITIES**

**5.1** The Owner shall provide full information about the objectives, schedule, constraints and existing conditions of the project. The Owner has established a budget with reasonable contingencies that meets the project requirements.

**5.2** By signing this contract, the Owner attests that all State of Maine procurement requirements for this contract have been met, including the solicitation of competitive bids.

## **ARTICLE 6 INSTRUMENTS OF SERVICE**

**6.1** The Contractor's use of the drawings, specifications and other documents known as the Consultant's Instruments of Service is limited to the execution of the Contractor's scope of work of this project unless the Contractor receives the written consent of the Owner and Consultant for use elsewhere.

## **ARTICLE 7 MISCELLANEOUS PROVISIONS**

**7.1** This Contract shall be governed by the laws of the State of Maine.

**7.2** The Owner and Contractor, respectively, bind themselves, their partners, successors, assigns and legal representatives to this Contract. Neither party to this Contract shall assign the Contract as a whole without written consent of the other party, which consent the Owner may withhold without cause.

**7.3** Notwithstanding any other provision of this Agreement, if the Owner does not receive sufficient funds to fund this Agreement or funds are de-appropriated, or if the Owner does not receive legal authority from the Maine State Legislature or Maine Courts to expend funds intended for this Agreement, then the Owner is not obligated to make payment under this Agreement; provided, however, the Owner shall be obligated to pay for services satisfactorily performed prior to any such non-appropriation in accordance with the termination provisions of this agreement. The Owner shall timely notify the Consultant of any non-appropriation and the effective date of the non-appropriation.

## **ARTICLE 8 CONTRACT DOCUMENTS**

**8.1** The General Conditions of the contract, instructions to bidders, bid form, Special Provisions, the written specifications and the drawings, and any Addenda, together with this agreement, form the contract. Each element is as fully a part of the Contract as if hereto attached or herein repeated.

**8.2** Specifications: **9 April 2021**

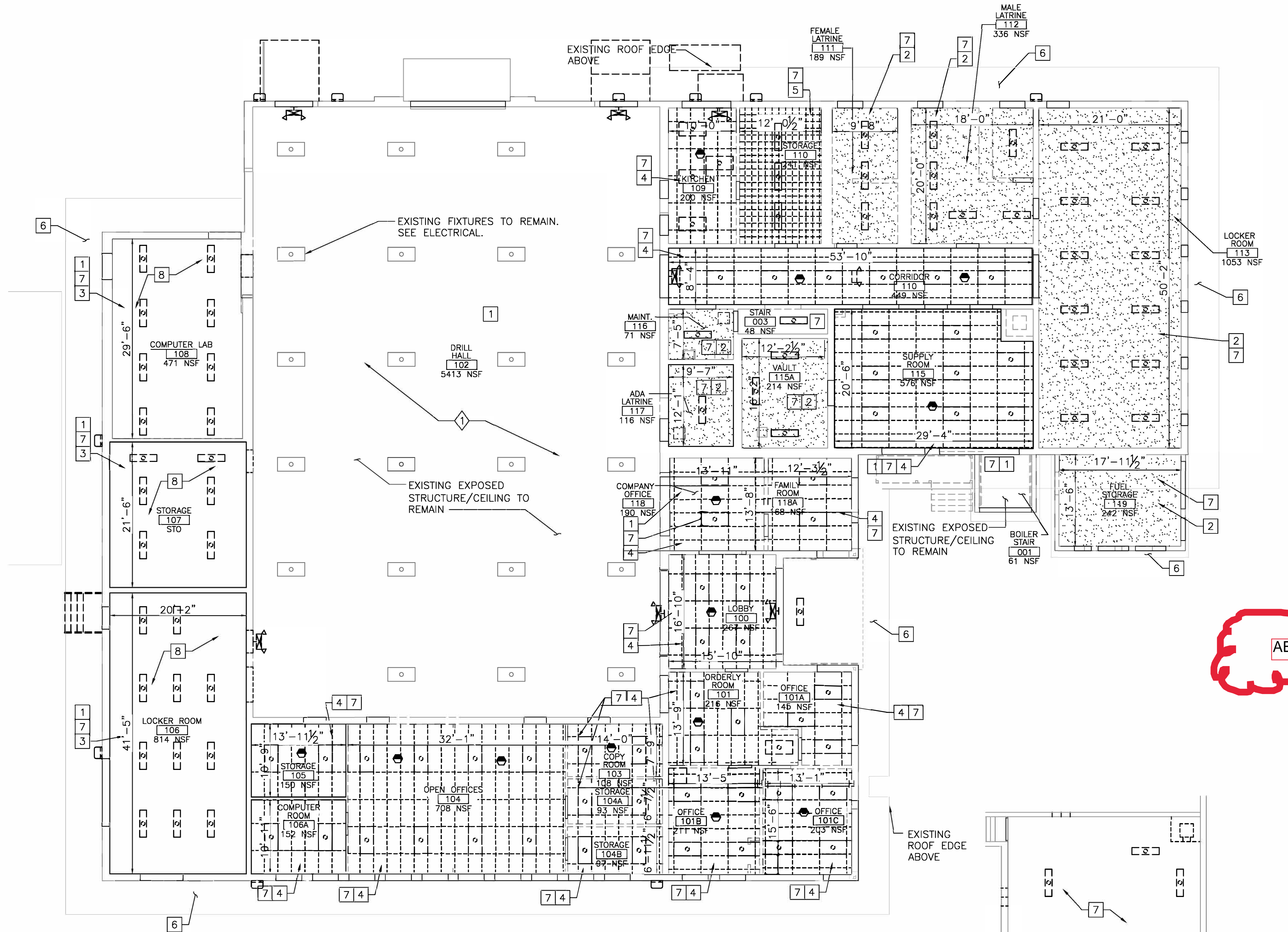
**8.3** Drawings: **9 April 2021**

**8.4** Addenda: **Addendum #1 - 26 April 2021**

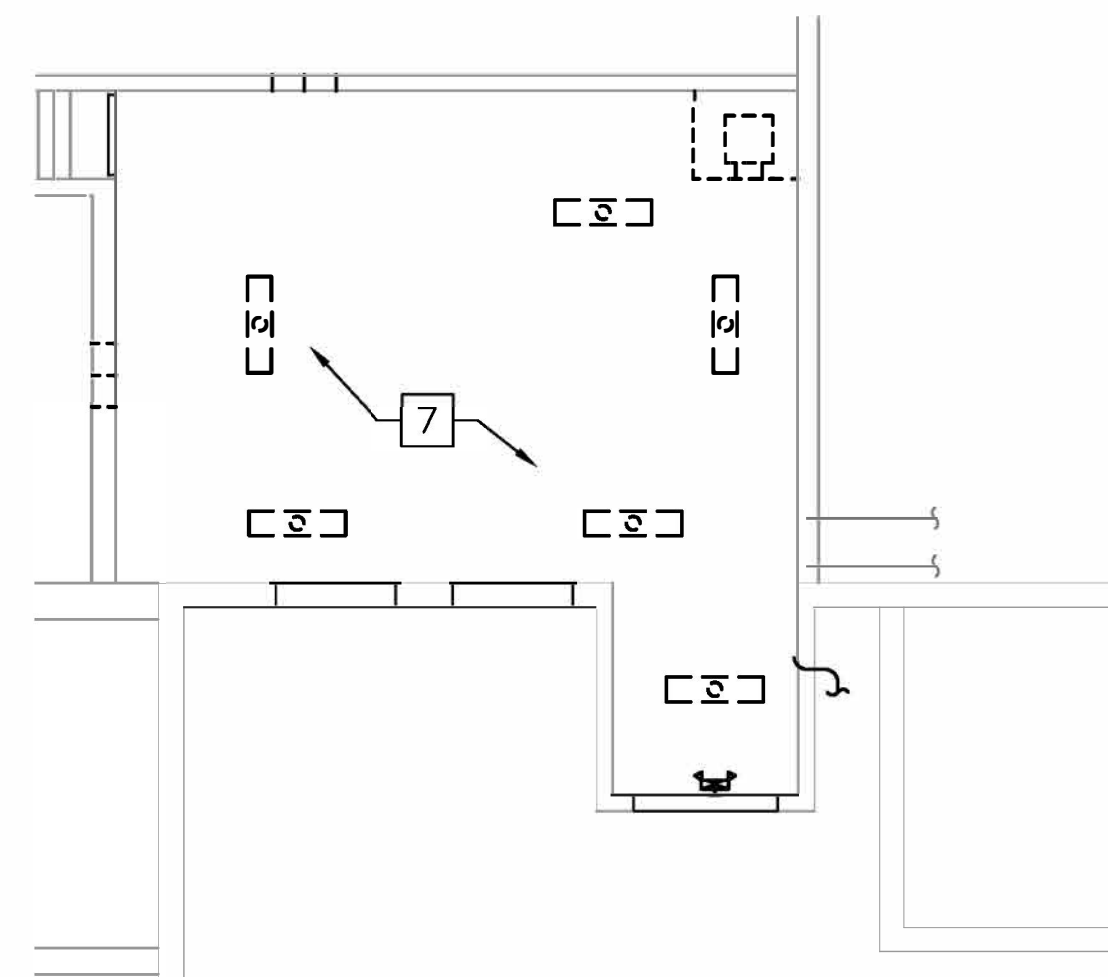
Addenda: **Addendum #2 - 30 April 2021**

Addenda: **Addendum #3 - 3 May 2021**





FIRST FLOOR  
REFLECTED CEILING DEMOLITION PLAN  
SCALE: 1/8"=1'-0"



BASEMENT  
REFLECTED CEILING DEMOLITION PLAN  
SCALE: 1/8"=1'-0"

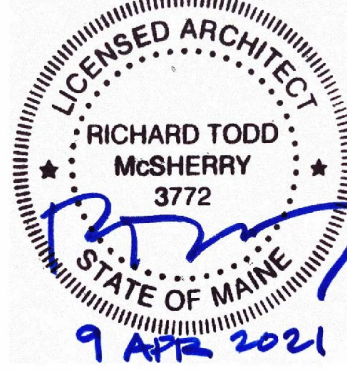
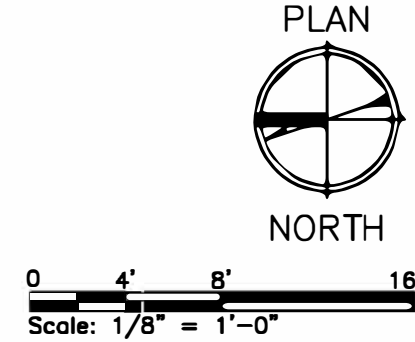
- DEMOLITION NOTES:
- SEE A-001 FOR ARCHITECTURAL NOTES AND ABBREVIATIONS.
  - SEE MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION AND STRUCTURAL DRAWINGS FOR ADDITIONAL REMOVAL INFORMATION.
  - REMOVE ALL EXISTING CEILINGS COMPLETE UNLESS NOTED OTHERWISE.
  - REMOVE ALL EXISTING CEILING AND ALL ASSOCIATED MATERIALS ABOVE THE EXISTING MAIN CEILING COMPLETE. TO UNDERSIDE OF EXISTING ROOF JOISTS UNLESS NOTED OTHERWISE.
  - REMOVE ALL EXISTING CEILING HUNG/MOUNTED EQUIPMENT, EXCEPT WHERE OTHERWISE NOTED, IN PREPARATION FOR NEW CEILING INSTALLATION. SEE MECHANICAL, ELECTRICAL, FIRE PROTECTION AND PLUMBING DRAWINGS.
  - SEE H-101 AND H-102 FOR CONTAMINATED MATERIALS. COORDINATE REMOVALS WITH HAZMAT CONTRACTOR. THE CONTRACTOR MUST REFER TO SPECIFICATIONS SECTIONS 028210 AND 028550 FOR ADDITIONAL INFORMATION.

- DEMOLITION KEY NOTES:
- SCRAPE DOWN METAL, AND CLEAN EXISTING TRUSSES AND CEILING/DECKING, WHERE IT IS REMAINING, IN PREPARATION FOR PAINT. COORDINATE REMOVAL WORK WITH HAZMAT DRAWINGS
  - REMOVE EXISTING HARD CEILING, AND ALL ASSOCIATED MATERIALS.
  - REMOVE EXISTING WOOD ROOF DECKING, AND ANY ASSOCIATED MATERIALS. COORDINATE WITH STRUCTURAL.
  - REMOVE EXISTING ACOUSTICAL CEILING PANELS AND GRID AND ASSOCIATED MATERIALS COMPLETE.
  - REMOVE EXISTING GLUED-ON ACOUSTICAL CEILING TILES, AND ASSOCIATED MATERIALS COMPLETE. REMOVE ALL FURRING AND BLOCKING COMPLETE.
  - REMOVE EXISTING SOFFIT BOARD AND FRAMING COMPLETE. SEE H-102.
  - REMOVE EXISTING LIGHTS COMPLETE, SEE ELECTRICAL DEMOLITION DRAWINGS.
  - REMOVE LED LIGHTS, PALLETIZE, SHRINK WRAP AND RETURN TO OWNER.

ALTERNATIVE BID ITEM (ABI):

**ABI #2** COMPLETELY REMOVE HIGHBAY LIGHT FIXTURES BACK TO ENERGIZING SOURCE.

- DEMOLITION LEGEND:
- ITEMS TO BE DEMOLISHED
  - EXISTING ITEMS TO REMAIN
  - [Pattern] EXISTING PLASTER CEILING TO BE REMOVED
  - [Pattern] EXISTING GLUED ON ACOUSTICAL CEILING TILES TO BE REMOVED
  - [Pattern] EXISTING ACOUSTICAL CEILING PANELS AND GRID TO BE REMOVED
  - [Symbol] DENOTES 1X4 LIGHTING TO BE REMOVED
  - [Symbol] DENOTES 2X2 LIGHTING TO BE REMOVED
  - [Symbol] DENOTES 1X2 LIGHTING TO BE REMOVED
  - [Symbol] DENOTES 2X4 LIGHTING TO BE REMOVED
  - [Symbol] EXIT SIGN, CEILING MOUNTED  
SHADING INDICATES SIGN FACE  
ARROW INDICATES EGRESS DIRECTION
  - [Symbol] EXIT SIGN, WALL MOUNTED
  - [Symbol] DUAL HEAD EMERGENCY LIGHT BATTERY PACK
  - [Symbol] WALLPACK
  - [Symbol] OCCUPANCY SENSOR  
INDICATES CONTROLLED FIXTURE  
INDICATES AIMING DIRECTION



PLAN REVISIONS			
Rev#	Description	Date	Appr.
0	ISSUED FOR BID	3/31/20	CBC

DESIGNED BY: SRP  
DRAWN BY: SRP  
CHECKED BY: RTM  
DATE: 03/31/2020  
SCALE: AS NOTED  
DPE PROJECT NO: 23SR19-427-D

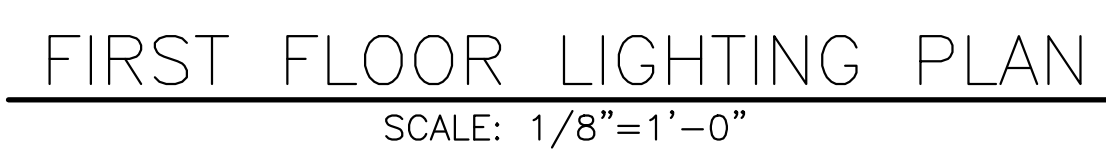
STATE OF MAINE  
DEPARTMENT OF DEFENSE, VETERANS  
AND EMERGENCY MANAGEMENT  
COLBY COMPANY ENGINEERING  
CCE JOB #14-054.002  
47A YORK STREET  
PORTLAND, MAINE  
207.553.7753

WESTBROOK ARMORY  
WESTBROOK, MAINE  
BUILDING RENOVATION  
REFLECTED CEILING DEMOLITION  
PLANS

PLAN PROGRESS	
<input type="checkbox"/> DRAFT	
<input type="checkbox"/> 35% REVIEW	
<input type="checkbox"/> 65% REVIEW	
<input type="checkbox"/> 95% REVIEW	
<input type="checkbox"/> FINAL REVIEW	
<input checked="" type="checkbox"/> FOR BIDDING	
<input type="checkbox"/> ISSUED FOR CONSTRUCTION	
<input type="checkbox"/> RECORD DRAWINGS	

SHEET ID:  
AD-103  
SHEET: 44 OF 145





\_\_\_\_\_ EXISTING  
 \_\_\_\_\_ NEW  
 - - - - - PART PLAN OUTLINE

- ALTERNATIVE BID ITEM (ABI):
- ☒ PROVIDE NEW LED HIGHBAY LIGHT FIXTURES AS INDICATED ON LIGHT FIXTURE SCHEDULE.

