

Project:	Camp Keys Reutilization Project – Building No. 6 Demolition and Building Nos. 7 & 8 Renovations	Date:	January 10, 2019
DFE Project No.	23SR18-456-D (Bldg 8) 23SR18-458-D (Bldgs 6 & 7)	BREM Project No.	PT 2916
Meeting:	Pre-Bid Meeting	Time:	8:30 a.m.
Location:	Camp Keys, Augusta, Maine	Issued:	January 11, 2019

Attendees

Company

E-Mail

Bob Gurney	Directorate of Facilities Engineering	robert.w.gurney3.nfg@mail.mil
Mitch Daigle	Cordjia Capital Projects Group, LLC	mdaigle@cordjiacpg.com
COL. Norm Michaud	Directorate of Facilities Engineering	normand.g.michaud.mil@mail.mil
Sherrill Hallett	Directorate of Facilities Engineering	sherrill.l.hallett.nfg@mail.mil
Phil St. Pierre	S.J. Wood Construction	phil@sjwood.net
Jeff Lizotte	Doten's Construction	tyler@dotens.com
Scott Vincent	E.J. Perry Construction	svincent@ejperry.com
Jamie Spear	Peachey Builders	jamie@peacheybuilders.com
Jeffery Connell	Wiswell Electric	kevin@wiswellelectric.com
Tim Gallagher	Blane Casey	jbecker@blanecasey.com
Mike Cassidy	The Penobscot Co.	msc@thepencogc.com
Valerie Paquin-Gould	Great Falls Construction	estimating@greatfallsinc.com vpaquingould@greatfallsinc.com
Daphne Millay	Hardypond Construction	daphne@hardypond.com
Corey Larve	St. Laurent and Son	corey@stlaurentandson.com
Bill Kapaldo	Punch Construction Services	billkapaldo@gmail.com
Dave Lafreniere	Punch Construction Services	
Scott Cooper	Jacobs Glass	scott@jacobsglass.net
Scott Stoutamyer	Travers Electric, Inc.	scott@traverselectric.com
Davidson Stevens	Ray Labbe and Sons, Inc.	davidson@raylabbeandsons.com
Scott Knightly	Envirovantage	scottk@envirovantage.com
Jon Seavey	Gordon Contracting	brian@gcmaine.com
Peter Quirion	Quirion Construction	quirion@roadrunner.com
Bob Young	Bowman Constructors	bids@bowmanconstructors.com
Chad Chandler	Benchmark Construction	cchandler@benchmarkconstruction.com
Ryan Peters & Elliot Brigham	Lakeside Concrete Cutting Inc.	rpeters@lakesideconcretecutting.com
Tom Anuszewski	Sheridan Construction	tanuszewski@sheridancorp.com

Copy of Meeting Minutes sent to: Attendees listed above.

Project:	Camp Keyes Reutilization Project – Building No. 6 Demolition and Building Nos. 7 & 8 Renovations	Date:	January 10, 2019
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1.	<p>All questions asked and responded to verbally at the pre-bid meeting must be submitted in writing for an official written response. Written responses will become part of the contract documents and will supersede verbal responses. If there is a discrepancy or question between the verbal response and the written response, please ask for clarification in writing.</p> <p>Emailed bid questions will be accepted but it is the responsibility of the Contractor to confirm that the email correspondence has been received. Please do not wait until the deadlines to submit bid questions and RFI's.</p> <p>The deadline for bid questions is before 2:00 pm on 24 January 2019.</p> <p>A final Addendum will be issued before 2:00 pm on 28 January 2019. There will be at least one Addendum which will include the, State Wage Rates, pre-bid meeting minutes, the elimination of the destratification fans in Stair #1 and Stair #2 in Building No. 7 and modification the first and second floor bathrooms in the northwest wing (Annex).</p> <p>Addendums and clarifications will be issued to the Contractor's email addresses that were provided on the pre-bid sign in sheet.</p>
2.	<p>Points of contact for bid inquiries are as follows:</p> <p><u>A/E Technical Inquiries:</u> Mr. Mitch Daigle - Cordjia; Office: 207-236-9970; Mobile: 207-333-2226; Email: mdaigle@cordjiacpg.com</p> <p><u>Bidding Inquiries & Procedures:</u> Ms. Sherrill Hallett – DFE Contracting Office; Office: 207-430-5694; Email: Sherrill.I.hallett.nfg@mail.mil</p> <p><u>DFE Project Manager:</u> Mr. Bob Gurney (DFE or Owner); Office: 207-430-5155; Email: robert.w.gurney3.nfg@mail.mil (to be copied on all correspondence with the A/E and Ms. Hallett)</p>
3.	<p>There is ample area located at the project site. Designated parking, storage and laydown areas will be further discussed during the Pre-Construction meeting with the selected Contractor. Refer to the civil drawings for the construction limits and laydown areas.</p>
4.	<p>The selected Contractor must supply names and dates of birth of ALL personnel that will need access to the project site (except for deliveries) for background checks, prior to the start of work, in accordance with the Administrative Provisions Section 01 00 00.</p>

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5.	<p>This project is subject to compliance with all requirements of the Occupational Safety and Health Administration (OSHA), Volume 36, No. 105 of the Federal Register; U.S. Department of Labor published Saturday, May 29, 1971, as amended.</p> <p>If any regulatory agency personnel arrive at the work site, contact the DFE Project Manager immediately.</p>
6.	<p>The selected Contractor shall submit as soon as possible to DFE and Cordjia before any material or equipment is purchased, the manufacturer's data, catalog cuts, samples, shop drawings, compliance with the Buy American Act or other information as required for the items listed in each section of the specifications.</p> <p>Purchase and/or installation of materials without approved submittals is done so at the sole risk of the Contractor and materials failing to meet the minimum requirements of the specifications may need to be removed at the cost of the Contractor.</p> <p>Submittals listing products that are not consistent with the products listed in the specifications are considered a substitution. The deadline for substitution requests is 1 week prior to the bid opening. Substitutions after award are not acceptable.</p> <p>Refer to the Administrative Provisions, Section 01 00 00 for the submittal requirements.</p> <p>The adequacy and accuracy of submittals and their compliance with contract documents are the responsibility of the Contractor. All approval actions taken by the Architect/Engineer will in no way relieve the Contractor of their quality control requirements.</p>
7.	<p>Requests for Information will be conducted as follows:</p> <ol style="list-style-type: none"> a. Immediately on discovery of the need for additional information or interpretation of the Contract Documents, the Contractor shall prepare and submit an RFI on a form that is acceptable to the Owner. RFI's shall reference the specific drawing or specification section in question and the information being requested shall be clear and concise. b. During bidding, the Contractor may submit Bid RFI's via email to Cordjia and the DFE Project Manager prior to the bid question deadline. Questions received after the deadline will not be responded to. It will be the Contractor's responsibility to ensure that the email has been received by Cordjia and DFE. Please do not wait until the deadline to ask your questions which will be responded to via Addendum or Bid Clarification.

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	c. Any material ordering or work completed that is related to a potential change order is at-risk without an approved change order.
8.	The Contractor shall submit final closeout documentation to Cordjia and DFE with claim for final Application for Payment. Refer to PART 3 of the Administrative Provisions, Section 01 00 00.
9.	<p>Specific Work Conditions & Clarifications to Bid Questions that were asked:</p> <ul style="list-style-type: none"> a. The Owner's operations in and around the subject buildings must continue throughout the entire construction period. The Contractor will be responsible for coordinating and scheduling with the Owner to include changes to the means of egress for the building occupants and Owner conducted occupant and furniture relocations. b. The substantial completion date of 31 March 2020 is critical and anyone bidding on this project will be expected to achieve this completion date. Normal working hours at Camp Keys are Monday through Friday, 7:00 am to 4:00 pm. MEARNNG will work with the selected contractor to provide working hours, including late weekdays, weekends and holidays, as needed to achieve this schedule. c. Bidders are discouraged from mailing their bids whereas mail deliveries are received at the mailroom and there is no way to ensure that the bids are received by the contracting officer at the location listed in the contract documents prior to the bid deadline. d. State wage rates are in affect for this project and will be issued by addendum when they have been made available by the Department of Labor. e. All Owner furnishings and equipment will be relocated from the work areas by the Owner. The Contractor will be responsible for coordinating and providing the Owner with sufficient notice of the need for relocations. f. All work conducted within the Barbershop of Building No. 7 must be conducted concurrently with a scheduled day in which the Barbershop is normally closed. g. Smoking and tobacco products are only allowed at the designated smoking areas. h. An access isle around the buildings must be maintained and kept clear at all times for emergency vehicles and MEARNNG equipment.

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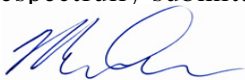
	<p>i. Materials testing will be provided by the Owner, at the Owners discretion. The Contractor will be responsible for coordination and scheduling for materials testing.</p> <p>j. Selective removals for salvage include the existing mini-split units and light fixtures as indicated on the removal plans. The contractor will be responsible to pack and palletize the salvaged materials in a manner that makes the materials suitable for shipping. The contractor shall coordinate with the DFE Project Manager for the onsite location to store the materials.</p> <p>k. Bid Question: The paving specs call for a paving machine with automatic grade and pitch control, is this required? Answer: The paving machine does not have to have automatic grade and pitch control provided the Contractor can meet the pavement grade and pitch tolerance requirements in the specification.</p> <p>l. Bid Question: The specs call for a rubber tire vibratory roller, is a steel wheel vibratory roller acceptable? Answer: A steel wheel vibratory roller is acceptable for this project.</p> <p>m. Bid Question: The paving specs call for specific installation tolerances, are these required? Answer: Yes.</p> <p>n. Bid Question: There is existing insulation above the ceilings and fastened to the framing where structural repairs are occurring. Is the contractor to remove this insulation? Answer: Yes, as indicated on the AD drawings. Once the structural repairs have been completed the insulation is to be replaced or reinstalled.</p> <p>o. Bid Question: Can you tell me who the Owner uses to service and provide support on their existing fire alarm systems for these buildings? Answer: The existing fire alarm systems are serviced by Eastern Fire.</p> <p>p. Bid Question: Will special or 3rd party firestopping inspections be required and is it the Contractors responsibility? Answer: It is the Contractors responsibility to determine and comply with all inspections as required by the Authority Having Jurisdiction.</p> <p>q. Bid Question: Where are the existing Fire Alarm Control Panels? Answer: Refer to drawing sheet ED-101 and E-101 for the location.</p>
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	<p>r. Bid Question: The plans and specs call for reuse and extending existing circuits. If there are code issues with these or other uncovered electrical circuits, how is the Contractor to handle these conditions? Answer: The Contractor is responsible to make the circuits within scope that they are working with code compliant and this needs to be included in the bids. As to those items that are not currently in the scope, the Owner needs to be made aware of any code issues that are observed or conditions of equipment or wiring that is uncovered during construction. At that time a determination can be made as to how to address the non-compliant existing conditions.</p> <p>s. Bid Question: Do you have to be pre-approved to bid on this project? Answer: No.</p> <p>t. Bid Question: Do we have steam heat in the Barber Shop? Answer: Yes. Refer to drawing sheet MD-102.</p>
10.	<p>A brief description of the Project scope, sequencing and administrative procedures were provided during the pre-bid meeting and all prospective bidders were permitted to tour the project sites and ask pertinent questions.</p> <p>Any bidders wishing to return to the project site for further examination must request so in writing, email is acceptable, by contacting the DFE Project Manager. When such a date and time has been established, it will be made available to all bidders. Bidders are not required to attend the second walk-through.</p>
11.	<p>Attachments:</p> <p>i. Pre-Bid Meeting Sign-In Sheet.</p>

If any information in these meeting minutes is incorrect or there are any questions, please contact Cordjia as soon as possible so that corrections or clarifications may be made.

Respectfully submitted;



Mitch Daigle
VP & Senior Project Manager
Cordjia Capital Projects Group, LLC

Pre Bid Attendance Sheet

Camp Keyes Reutilization Project – Building No. 6 Demolition & Building Nos. 7 & 8 Renovations, Augusta, Maine

Fill out Completely and Please Print Clearly

Please make sure your Email Address is accurate

DFE Project Number: 23SR18-456-D (Bldg 8) & 23SR18-458-D (Bldgs 6 & 7)

January 10, 2019 @ 8:30 AM

Incomplete or illegible information may exclude you from bidding

	Company Name & Address	Attendee Name	Phone Number	E-mail Address
1	S.J. WOOD CONST.	PHIL ST. PIERRE	207-377-8543	PHIL@SIWOOD.NET
2	DOTEN'S CONSTRUCTION	JEFF LIZOTTE	207-749-4400	JEFF@DOTENS.COM tyler@dotens.com
3	E.J. Perry Construction	Scott Vincent	207-622-2259	SVINCENT@EJPERRY.COM
4	Peackey Builders	Jamie Spear	207-822-7531	Jamie@peackeybuilders.com
5	Wiswell Electric	Jeffery Connell	207-426-3789	Kevin@wiswellElectric.com
6	BLANE CASEY	Tim Gallagher	622-5600	JBECKER@BLANECLASEY.COM
7	The Penobscot Co.	Mike Cassidy	236-6390	MSC@ThePencogc.com
8	Great Falls Construction 20 Mechanic St. Gorham, ME	Valerie Paquin-Gould	839-2744	estimating@greatfallsinc.com vpaqingould@greatfallsinc.com
9	Hardypand Construction 7 Tee Drive Portland 04103	Daphne Millay	797-6066 318-7517	daphne@hardypand.com
10	ST. LAURENT AND SON 20 HIGHLAND SPRING RD LEWISTON, MAINE	COREY LARVE	207-784-7944	COREY@STLAURENTANDSON.COM

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11	(SUB-CONTRACTOR) Punch Construction Services, Inc.	Bill Kapaldo	207-944-1524	billkapaldo@gmail.com
12	(SUB-CONTRACTOR) Punch Construction Services	Dave Lafreniere	207-660-3499	
13	Jacobs Glass	Scott Cooper	207-798-1815	scott@jacobsglass.net
14	TRAVERS Electric Inc.	SCOTT STOUTAMPER	207-474-5829	SCOTT@TRAVERSELECTRIC.COM
15	Ray Lobbe and Sons, Inc.	Davidson Stevens	207-725-7336	davidson@raylobbeandsons.com
16	Envirovantage	SCOTT KNIGHTLY	800-640-5323	SCOTTK@Envirovantage.com
17	Gordon Contracting	Jon Seaway	876-3798	Brian@GCMaine.com
18	QUIRION CONSTRUCTION	Peter Quirion	Office 621-2985	QUIRION INC at Road Runner.com
19	Bauman Constructors 552 Moushead Trail Newport, ME 04953	Bob Young	368-2405	bids@baumanconstructors.com
20	BENCHMARK CONSTRUCTION 31 THOMAS DRIVE WEATBORO, ME 04092	CHAD CHANDLER	591-7600	cchandler@benchmarkconstruction.org

Pre Bid Attendance Sheet

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21	Lakeside Concrete Cutting Inc 12 Railroad St Newport ME 04953 (Subcontractor)	Ryan Peters and Elliott Brigham	745-8137	rpeters@lakesideconcretecutting.com
22	Sheridan Construction 739 Warren Ave. Portland ME 04103	TOM ANUSZEWSKI	774-6138	TANUSZEWSKI@SHERIDANCORP.COM
23	T-Book Construction 502B Auburn Rd Turner 04292	Tim Cunningham	753-6223	TRCUNNINGHAM@TBUCKCON.NET
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