# Formational Relationships and the Development of Great Streets

# **FORM-BASED CODES**

# Place-Based Maine & Form-Based Codes

Alan S. Manoian, Dir. of Economic & Community Development Town of Bridgton, ME



## Don't Try to Eat It All at Once





# **Accommodation of Walkable Form**



## **Foundation of Public Infrastructure & Amenities**





## The Police Power: <u>Protects Public Health, Safety & Welfare</u>

Deploy Regulations to Invite, not Discourage Sustainable Development

**Reducing the Potential for Challenges** 

Sound Basis in Planning: Addressed through Charrette Process; The Role of the Comprehensive Plan; Mandatory vs. Advisory; "In Accordance With" vs. "Consistent With"; Explain Links on the Record; Draft a Supportive Purpose Statement.

**Notice Properly** 

Hold a Fundamentally Fair Hearing

**Support the Decision** 

Link to Establishing Legislation:

Delegation of State Authority to Regulate Land Use; Promotion of "Innovative" Regulations; Home Rule; Draft a Supportive Authority Statement.

#### **Keep In Mind Federal & State Statutes**

<u>Live in the *Post-Kelo* World</u>: National Dialogue on Land Use Issues; Increased Public Scrutiny of Government Actions.

#### **Examine Non-Conformities:**

Amended Land Development Regulations Should Seek to Minimize Non-conformities;

Not Just Uses (Watch in context of Architectural Regulations).

<u>Understand Uniformity</u>: Regulations Should Equally Affect Like-Situated Properties; Origins in SSZEA & Euclid; Create an Internally Consistent District.

#### **Avoid Vagueness:**

"Design Guidelines can prove to be a legal minefield. Guidelines are a combination of law and design administered by committee and applied to a property owner seeking development approval. The number of imaginable problems with this scenario is immeasurable."

Garvin & LeRoy, "Design Guidelines: The Law of Aesthetic Controls" Land use Law & Zoning Digest, April/2003

#### **Avoid Vagueness:**

**Design Guidelines vs. Standards** 

Terms: Quality of Life; Community Character; Consistent with/Different From

**Illustrations: Diagrams vs. Photographs** 

Avoid "Ultra Vires" Delegation

Establish Clear Process: Applicants Should be Encouraged; Path to Approval Should be Easily Understood; Pre-Application Process; Multi-Disciplinary Review Teams; Not every Situation Can be Accounted For; Create Administrative "Safety Valves" to Ensure a Measure of Flexibility.

### Belfast, ME Article IX: Performance Standards;

#### Sec. 102-1187. Nonresidential structure design requirements.

The structure design standards are intended to ensure that new nonresidential developments positively contribute to the character of the Route 3 area and the city. Route 3 is a gateway to the city and new development shall use building styles, building materials, and site layouts that help create a vibrant, well-functioning and attractive area in which to eat, shop, obtain services, and work.

These standards are not rigid guidelines, and applicants are encouraged to use creativity in proposing imaginative and attractive new development. Similarly, the Planning Board or CEO should use flexibility in its review of proposed development and the application of these standards to help achieve the city's goal.

#### (1) Structure orientation.

New structures must be well oriented to site characteristics and preferably should present their "best face" toward the main access road (Route 3, Crocker Road, Lincolnville Avenue or Starrett Drive) on which the structure fronts. Further, if the site uses an interior access drive for its main access, and the structure is oriented to this access drive, the applicant shall present "attractive faces" on both the main access road and the interior access drive. This approach routinely includes the construction of an entrance and accompanying sidewalk on the side of the best face, and on any side that faces a public street or service road. No blank facades, service doors or loading areas (potential exceptions for auto service and repair facilities) shall be located on the side facing the main access road or an interior access drive.

(2) *Facades and exterior walls.* Facades and exterior walls shall comply with the following requirements:

a. The facade and exterior walls shall complement the building style proposed by the applicant and shall present an attractive appearance. Further, the relationship of the width to the height of the principal elevations shall be visually compatible with structures, public ways, and open spaces to which it is visually related.

b. Facades greater than 100 feet in length measured horizontally, should incorporate wall plane projections or recesses that have a depth of at least three percent of the length of the facade and extending at least 20 percent of the length of the facade. No uninterrupted length of any facade shall exceed 100 horizontal feet.

c. Ground floor facades that face public streets or interior access drives should use building features such as arcades, display windows, entry areas, awnings and other such features along a <u>significant portion</u> of their horizontal length to present an attractive facade. d. Building facades should include a repeating pattern that includes no less than three of the following elements:

- 1. Color change;
- 2. Texture change;
- 3. Material module change;

4. An expression of architectural or structural bays through a change in plane, such as an offset, reveal or projecting rib that is no less than 12 inches in width. At least one of elements 1., 2., or 3., should repeat horizontally. All elements should repeat at intervals of no more than 30 feet, either horizontally or vertically.

#### **Section 7: Bridgton Review Standards**

"The Standards presented herein are intended to achieve the following objectives: Preserve the traditional New England character of the downtown; to present an attractive Gateway area; facilitate safe vehicular and pedestrian access; protect the value of abutting properties and character of natural surroundings; promote intelligent, attractive, and useful design; ensure economic investment and vitality; anticipate future growth."

## Gray, ME:

# Gray Business Transitional District Standards & Guidelines

"The Town has enacted these Design Guidelines as a tool to supplement the performance standards contained in the Gray land use ordinances. Although there is greater flexibility in meeting the Design Guidelines than in other regulations, they are to be interpreted as being mandatory requirements for all projects within the district." **Brunswick**, ME:

Village Review Board Design Guidelines: Façade & Storefront Guidelines:

"The proportion, scale and organization of character-defining features <u>should</u> be maintained when renovating a storefront."

"The <u>expansive areas</u> of glass in display windows should be maintained."

"New storefronts should respond to the patterns and rhythm of neighboring buildings, <u>yet</u> they should reflect the time in which they were constructed."

## Augusta, ME:

## **Design Review**

"The purpose of this section is to provide design standards for reviewing commercial development within certain residential and mixed-use zoning districts within Augusta...These standards ensure that public safety, health, and general welfare are protected and the general interest of the public is served. The standards provide for originality, flexibility, and innovation in commercial development, including quality architectural design and outdoor signage that will enhance Augusta as a unique place to live and conduct business."

"If the proposed project <u>fails to meet one or more</u> of the applicable design standards, the application shall be denied."

# Bridgton, ME:

"Relationship to Surroundings: Proposed structures or additions to existing structures shall be harmonious with the terrain and existing buildings in the vicinity and shall..."



# Bridgton, ME

a.) Be of compatible size and scale
b.) Not exceed 35 feet in height... or above Main Street church steeple
c.) Be of compatible architectural style, incorporating features such as...







# Bridgton, ME

d.) Include as an integral element of design varying roof lines, awnings and canopies above windows or doors and other architectural elements to reduce bulk or scale of buildings. Designs shall seek to eliminate unadorned or blank walls through use of varying architectural elements, windows or other reflective surfaces.

# Bridgton, ME

d.) "The Planning Board shall consider the use, location and surroundings of the structure when determining the appropriateness of the building's façade."



# **Structuring the Coding Process:**

<u>Effectiveness</u>: Does the Code produce the desired "character" and functional form of development? (Do the Standards Work?)

<u>Usability</u>: Does the Code clearly communicate community requirements and expectations? (Sensibly organized, understandable, easy to use?)

<u>Efficiency</u>: Does the Code (and its administrative procedures) make it easy for the applicant to do what the community wants?

# The Methods of Deployment Where Does the Code Live?

 Mandatory Code (freestanding form-based code).

 Mandatory Code (integrated into existing code).

Optional (Parallel) Code

Floating Zone Code

**Belfast**, ME Part II: Code of Ordinances **Subpart A: General Ordinances Chapter 1: General Provisions Chapter 2: Administration Chapter 6: Amusement & Entertainment** Chapter 38: Parks & Recreation Chapter 50: Streets, Sidewalks, and other Public Places **Chapter 58: Traffic & Vehicles Chapter 62: Utilities** 

#### **Subpart B: Land Use Regulations**

Chapter 66: General Provisions Chapter 70: Administration Chapter 74: Buildings & Building Regulations Chapter 76: Comprehensive Plan Chapter 80: In-Town Commercial Design Review Chapter 86: Signs Chapter 90: Site Plans Chapter 94: Subdivisions Chapter 98: Technical Standards Chapter 102: Zoning

## **CONVENTIONAL USE-BASED ZONING**



## **TRADITIONAL FORM-BASED CODES**



# The Organizing Principles

Street-Type Codes
Frontage Type-Based Codes
Building Type-Based Codes
Transect-Based Codes
Modified Transect-Based Codes
# Heart of Peoria



# Peoria, Illinois

**Project:** A Masterplan with Form-Based Codes for the 8,000-Acre Heart of Peoria center city area

Client: City of Peoria, Illinois Contact: Patricia Landes, Planning Director, 305.494.8600

Status: Charrette/Master Planning Summer 2006; Comprehensive Plan amended and Form-District Codes Spring 2007; full Land Development Code adopted June 2007







Master Plan(top). Land use plan, Farmers Branch Station Area Conceptual Master Plan (middle). Regulating Plan (bottom). The clear spirit, intent and integrity of the citizen-endorsed Master Plan for the Station Area is imbued in the Regulating Plan of the form-based code.

10 Form-Based Code — Station Area

# A. Purpose

The Station Area Form-Based Code is designed to foster a vibrant town center for Farmers Branch through a lively mix of uses—with shopfronts, sidewalk cafes, and other commercial uses at street level, overlooked by canopy shade trees, upper story residences and offices.

Redevelopment within the Station Area shall be regulated by the *Station Area Form-Based Code* in order to achieve the vision set forth in the *Farmers Branch Station Area Conceptua Master Plan*. The *Station Area Conceptual Master Plan* was produced through a series of public meetings and workshop that took place during 2001 and 2002. The *Station Area Conceptual Master Plan* was adopted by the City Council on July 22, 2002 with the approval of Resolution No. 2002-076.

The Station Area Form-Based Code provides the specific means to guide implementation of the citizen-endorsed vision for the development and redevelopment of all properties in the Station Area. However, the ultimate configuration of the Dallas Area Rapid Transit (DART) light rail station and associated improvements are shown only for illustrative purposes.

The Station Area Form-Based Code (also referred to herein as the "Form-Based Code" or the "Code") is a legal document that regulates land-development by setting careful and coherent controls on building form—while employing more flexible parameters relative to building use and density. The greater emphasis on physical form is intended to produce safe, attractive and enjoyable public spaces (good streets, neighborhoods and parks) complemented with a healthy mix of uses. With proper urban form, a greater integration of building uses is natural and comfortable. The Form-Based Code uses simple and clear graphic prescriptions and parameters for height, siting, and building elements to address the basic necessities for forming good public space.

Wherever there appears to be a conflict between the *Station Area Form-Based Code* and other sections of the *Farmers Branch Comprehensive Zoning Ordinance* (as applied to a particular development in the Station Area), the requirements specifically set forth in the *Form-Based Code* shall prevail. For development standards not covered by the *Form-Based Code*, the other applicable sections in the *Farmers Branch Comprehensive Zoning Ordinance* shall be used as the requirement. Similarly, all development must comply with all relative Federal, State or local regulations and ordinances.

# A. Understanding the REGULATING PLAN

A REGULATING PLAN provides standards for the disposition of each property or lot and illustrates how each relates to the adjacent properties and STREET-SPACE. Building on the Farmers Branch public meetings and workshops that took place during 2001 and 2002 and the adoption of the Station Area Conceptual Master Plan by the City Council on July 22 (with the approval of Resolution No. 2002-076), a REGULATING PLAN has been produced for the Farmers Branch Station Area.

Building Sites are Coded by their STREET FRONTAGE



The key above explains the elements of the REGULATING PLAN and serves as a reference when examining the REGULATING PLAN.

The REGULATING PLAN is the controlling document and principal tool for implementing the *Station Area Form-Based Code*. It identifies the BUILDING ENVELOPE STANDARD (BES) for each building site and any specific characteristics assigned to it.

# **B.** Rules for New Development

## 1 Blocks/Alleys

- a. All lots shall share a frontage line with a STREET-SPACE.
- b. All lots and/or all contiguous lots shall be considered to be part of s BLOCK for this purpose. No BLOCK face shall have a length greate than 400 feet without an ALLEY, common drive or access easement or PEDESTRIAN PATHWAY providing through-access to another street ALLEY or common access easement, STREET-SPACE, or conservation restricted land. Individual lots with less than 75 feet of frontage ar

14 Form-Based Code — Station Area



# Understanding the Regulating Plan



# Notes:

The following interim regulations for selected sites as shown on this Regulating Plan are intended to serve as short-term inducements for redevelopment. These interim regulations are intended to remain in effect for a limited period of time preceding the arrival of light rail transit service to Farmers Branch and shall expire January 1, 2008. Any party aggreived by the expiration of the interim regulations may seek relief through City Council consideration of the matter prior to January 1, 2008 expiration date.

Buildings legally constructed in accordance with the interim regulations shall maintain full legal and valid status subsequent to the expiration of the interim regulations. Buildings legally under construction at the time of expiration of the interim regulations may be completed as duly permitted and shall maintain full legal and valid status subsequent to the expiration of the interim regulations.

Construction permits issued for a building designed in accordance with the interim regulations, but which construction has not commenced by the date the interim regulations expire, shall remain valid for no more than six (6) months beyond the expiration date of the interim regulations. Buildings completed under such permits shall maintain full legal and valid status subsequent to the expiration of the interim regulations.

# B. How to Use this Code

In order to understand what the *Code* allows on property within the Station Area there are three basic steps.

- Look at the REGULATING PLAN. Find the property. Note the REQUIRED BUILDING LINE (RBL) and the PARKING SETBACK LINE. Note the color of the fronting STREET-SPACE – this determines the BUILDING ENVELOPE STANDARD for buildings fronting that street(s). See the key at the upper right of the REGULATING PLAN.
- 2. Look at the appropriate BUILDING ENVELOPE STANDARD page in the *Code*. This page outlines the basic parameters for building on the site in terms of height, siting, elements, and use.
- 3. Look at the ARCHITECTURAL STANDARDS. This section outlines the parameters for the external building materials and architectural configurations.

This information explains where the building will sit on the street, the limits on its three dimensional form, the range of uses, and the palate of materials that will cover it. For exact dimensions specific to your property consult with City Staff.

For additional information regarding the STREET-SPACE, look to the STREET TYPES and the STREETSCAPE STANDARDS. These will show the prescriptions for the character of the STREET-SPACE including vehicular traffic lane widths, curb radii, sidewalk and tree planting area dimensions, and on-street parking configurations.



# **Development Standards**

**Building Height Building Siting or Placement Building Envelope Standards** Location of Parking Uses

# B. Building Envelope Standards: Shopfront Colonnade Sites

Parking Structure Height

PARAPET HEIGHT.

Ground Story Height:

Upper Story Height

**Buildable** Area

third STORY.

Side Lot Setbacks

Garage and Parking

REGULATING PLAN.

the adjacent lot owner

**Building Projections** 

shared lot line

required by this Code

Where a parking structure is within 40 feet of any principal building (built after 2005) that portion of the structure shall not exceed the buildings EAVE or

The GROUND STORY finished floor elevation shall be equal to, or greater than, the adjacent exterior sidewalk elevation up to a maximum finished floor elevation of eighteen (18) inches.

The GROUND STORY shall have at least fifteen (15) feet of clear interior height (floor to ceiling) contiguous to the GFRBL frontage for at least one-half (%) of its area.

The maximum story height for the ground story is twenty-five (25) feet.

1. The maximum floor-to-floor STORY HEIGHT for STORIES other than the GROUND is fourteen (14) feet.

maximum of one hundred twenty (120) feet.

1. Buildings may occupy any portion of the lot behind the RBL (and RGFBL) exclusive of any setbacks

A contiguous OPEN AREA equal to at least fifteen percent (15%) of the total suitDARE AREA shall be preserved on every lot. Such contiguous OPEN AREA may be located anywhere behind the PAREINE STRACK LINE, either at grade or at the second or

On a lot where a COMMON LOT LINE is shared with a single-family residential zoning district, the principal building shall be setback at least ten (10) feet from the

same BLOCK, unless otherwise designated on the

than seventy percent (70%), of the FACADE area per

AWNINGS, BALCONIES, and STOOPS shall not project closer than five (5) feet to a COMMON LOT LINE.

No part of any building, except overhanging caves, BALCONIES, BAY WINDOWS, and AWNINGS, as specified by the Code, shall encroach beyond the RBL.

3. No part of any building, except shopfronts and signs, as otherwise permitted by the Code, shall

Functioning entry door(s) shall be provided along

GROUND STORY FACADES at intervals not greater than sixty (60) linear feet.

encroach into the COLONNADE beyond the GFRBL

STORY (measured as a percentage of the FACADE between floor levels).

4. No window may face or direct views toward a

1. GARAGE ENTRIES or driveways shall be located at least seventy-five (75) feet away from any BLOCK CORNER or another GARAGE ENTRY on the

CARAGE ENTRIES shall have a clear height of no greater than sixteen (16) feet nor a clear width exceeding twenty-four (24) feet.

2. At least eighty percent (80%) of each upper story

shall have an interior clear height (floor to ceiling) of

# Height Upper thornan 14 ft Ground foor max 25 ft CFRBL lines 5 to 18 ft tall sin 13 fi Un

### **Building Height**

- 1. The height of the principal building is measured in STORIES
- Each principal building shall be at least four (4) storates in height, but no greater than ten (10) storates in height, except as otherwise provided on the RECULATING PLAN.

Siting (GFRBL) Alley of Rear Lot Lin 15% min along min open arra (ground fla campted) Regulating Building Line Parking setback line Proper

- Street Facade
- On each lot the building FACADE shall be built to the RBL for at least eighty-five percent (85%) of its RBL and/or GFRBL length.
- The building FACADE shall be built to the RBL and GFRBL within thirty (30) feet of a BLOCK CORNER.
- 3. These portions of the building FAÇADE (the required minimum build to) may include jogs of not more than eighteen (18) inches in depth except as otherwise provided to allow BAY WINDOWS (upper stories only).
- 4. GROUND STORY unit frontage widths shall be a



### Fenestration

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- Blank lengths of wall exceeding fifteen (15) linear feet are prohibited on all RBL/GFRBLS.
- 2. FENESTRATION ON the GROUND STORY FACADES FERSISTRATION ON THE GROUND STORY FACADES shall comprise at least sixty percent (60%), but not more than ninety percent (90%) of the FACADE area situated between two (2) and ten (10) feet above the adjacent public sidewalk on which the FACADE
- 3. FENESTRATION on the upper STORY FACADES shall comprise at least thirty percent (30%), but no more



# Ground Story

Doors/Entries

The GROUND STORY shall house RETAIL uses. See Height specifications above for the specific

## **Upper Stories**

The upper sTORIES shall house residential or The upper stories shall nouse residential of COMMERCE uses excluding RETALL SPECIALTY and RETAIL TRADE uses (except those that have direct RBL frontage and are second story extensions of the GROUND STORY use).

# at least nine (9) feet.

### Mezzanine

Mezzanines having a floor area greater than one-half (½) of the floor area of the story in which the mezzanine is situated shall be counted as a full story. Street Wall Height

- A STREET WALL not less than six (6) feet in height or greater than eighteen (18) feet in height shall be required along any GFRBL frontage that is not otherwise occupied by a building on the lot.
- STREET WALL height shall be measured from the adjacent public sidewalk or, when not adjacent to a sidewalk, from the ground elevation once construction is complete.

### Other

Where a SHOPFRONT COLONNADE site is located within Where a SHOPFRONT COLONNADE site is located within forty (40) feet of an existing single-family residential zoning district, the maximum EAVE OF PARAPET HEIGHT for that portion of the SHOPFRONT COLONNADE site shall be thirty-two (32) feet. This requirement shall supersede the minimum STORY requirement.

3. Designated GARAGE ENTRIES and ALLEYS shall be the sole means of vehicular access to a lot

- GARAGE ENTRIES may be setback up to a maximum of twenty-four (24) inches behind the surrounding FACADE.
- Vehicle parking areas on private property shall be located behind the PARKING SETBACK LINE, except where parking is provided below grade.
- These requirements are not applicable to on-street 6 parking.

### Allevs

3. No part of any building, except overhanging eaves, AWNINGS, or BALCONIES shall occupy the remaining lot area. There is no required setback from ALLEYS. On lots having no ALLEY access, there shall be a minimum setback of twenty-five (25) feet from the rear lot line. Corner Lots

Corner lots shall satisfy the code requirements for the full RBL length unless otherwise specified in this code.

# Unbuilt RBL and Common Lot Treatment

- A STREET WALL shall be required along any RBL frontage that is not otherwise occupied by a building on the lot. The STREET WALL shall be located not more than eight (8) inches behind the RBL.
- 2. PRIVACY FENCES may be constructed along that portion of a COMMON LOT LINE not otherwise occupied by a building on the lot.

### Colonnades

- Where designated on the REGULATING PLAN, COLONNADES shall:
- Have a minimum interior floor to ceiling clear height of fifteen (15) feet (excepting blade signs and street lighting as specified in this *Code*).
- Have minimum thirteen (13) foot FACADE opening height to beam (or to the top of the arch and minimum eleven (11) feet to the springing point.)
- Have a continuous public access easement of at least six (6) feet wide running adjacent to the columns/
- dimension greater than twenty two (22) inches or less than ten (10) inches. This limitation shall apply between grade and eleven (11) feet in height.
- as otherwise specified in the REGULATING PLAN

### Street Walls

A vehicle entry gate no wider than eighteen (18) feet or a pedestrian entry gate no wider than six (6) feet shall be permitted within any required STREET WALLS.

- COMMON LOT LINE within thirty feet (30) unless: that view is contained within the lot (e.g. by a PRIVACY PROFERENCE WHITH THE IOT (e.g., by a PRIVACY PROFEZ/GARDEN WALL) or, the window sill is at least 6' above the finished floor level. All cosmon Lor LINES within the Station Area are subject to the construction of building walls (with no setback) by
  - 3. Have an intercolumniation of fifteen (15) feet on
  - piers
  - 5. Have columns/piers with no single horizontal
  - 6. Have 15 feet between the RBL and the GFRBL except

# D. Building Envelope Standards: Local Sites

PARAPET HEIGHT.

**Ground Story Height** 

of the building.

**Upper Stories Height** 

least nine (9) feet.

specified by this BES.

occupied by a building.

Side Lot Setbacks

Garage and Parking

RECULATING PLAN.

feet are prohibited on all RBLS.

behind the REL

**Building Projections** 

encroach beyond the RBL.

Mezzanines

STORY.

The finished floor elevation shall be no less than thirty (30) inches and no more than sixty (60) inches above the exterior sidewalk elevation in front

HEIGHT of sixteen (16) feet. At least eighty percent

(80%) of the first story shall have an interior floor to ceiling height of at least nine (9) feet.

2. The first story shall have a maximum story

The maximum floor-to-floor STORY HEIGHT for upper STORIES is twelve (12) feet.

Mezzanines having a floor area greater than one half (1/2) of the floor area of the STORY in which the

mezzanine is situated shall be counted as a full story.

2. A contiguous OPEN AREA equal to at least lifteen percent (15%) of the total BUILDABLE AREA shall be preserved on every lot. Such contiguous OPEN AREA may be located anywhere behind the PARKING

SETBACK, either at grade or at the second or third

Unbuilt RBL and Common Lot Line Treatment 1. A STREET WALL shall be required along any

2. PRIVACY FENCES shall be constructed along that

On a lot where a COMMON LOT LINE is shared with

1. GARAGE ENTRIES or driveways shall be located at least seventy-five (75) feet away from any BLOCK CORNER OF Another GARAGE ENTRY on the

same BLOCK, unless otherwise designated on the

at least thirty percent (30%), but no more than seventy percent (70%), of the FACADE area per STORY

(measured as a percentage of the FACADE area per sto floor levels).

COMMON LOT LINE within twenty feet (20) unless: that view is contained within the lot (e.g. by a privacy FENCE/GARDEN WALL) or the sill is at least

6' above the finished floor level. All COMMON LOT LINES within the Station Area are subject to the

construction of building walls (with no setback) by the adjacent lot owner.

1. No part of any building, except overhanging eaves,

BAY WINDOWS shall project not more than thirty-six (36)inches beyond the RBL; shall maintain an interior clear width of at least four (4) feet; and be

PORCHES, and STOOPS, as specified by the Code, shall

AWNINGS, BALCONIES, BAY WINDOWS, FRON

a single-family residential zoning district, the principal building shall be setback at least ten (10) feet from the shared lot line.

portion of a COMMON LOT LINE not otherwise

A STREET WALL Shall be required along any RBL frontage that is not otherwise occupied by a building. The STREET WALL shall be located not more than eight (8) inches behind the RBL.

At least eighty percent (80%) of each upper STORY shall have an interior floor to ceiling height of at



### **Building Height**

- 1. The height of the principal building is measured in STORIES
- Each principal building shall be at least three (3) stories in height, but no greater than four (4) STORIES in height, except as otherwise provided on the REGULATING PLAN.

### **Parking Structure Height**

Where a parking structure is within 40 feet of any



### Street Facade

- On each lot the building FACADE shall be built to the RBL for at least seventy-five percent (75%) of the RBL length.
- The building FACADE shall be built to all the RBL within thirty (30) feet of a BLOCK CORNER.
- 3. These portions of the building FACADE (the required minimum build to) may include jogs of not more than twenty four (24) inches in depth except as otherwise provided to allow BAY WINDOWS, and BALCONIES.

### **Buildable** Area

1. Buildings may occupy the portion of the lot



### Stoops and Porches

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- Each lot/unit shall include a STOOP or a FRONT PORCH. 1. A stoop shall be built forward of the RBL and be
- not more than five (5) feet deep and six (6) feet wide (plus steps).
- A FRONT PORCH shall project forward of the RBL and be between eight (8) and ten (10) feet deep, with a width not less than fifty percent (50%) of the RBL. The building raçant shall be placed a two (2) feet

### principal building (built after 2005) that portion of the structure shall not exceed the building's EAVE or 1. A STREET WALL not less than four (4) feet in

- A STREET WALL not less than four (4) leet in height or greater than ten (10) feet in height shall be required along any REL frontage that is not otherwise occupied by the principal building. A PRIVACY FENCE not less than six (6) feet in height or greater than nine (9) feet in height shall be required along any COMMON LOT LINE that is not otherwise occupied the a building. occupied by a building.
- 2. The height of the STREET WALL shall be measured from the adjacent public sidewalk or, when not adjacent to a sidewalk, from the ground elevation once construction is complete.

### Other

Where a LOCAL site is located within forty (40) feet of an existing single-family residential zoning district, the maximum EAVE or PARAPET HEIGHT for that portion of the LOCAL site shall be thirty-two (32) feet. This requirement shall supersede the minimum STORY requirement.

- 2. GARAGE ENTRIES shall have a clear height no greater thansixteen (16) feet nor a clear width exceeding twenty-four (24) feet.
- 3. Designated GARAGE ENTRIES and ALLEYS shall be the sole means of vehicular access to a lot.
- GARAGE ENTRIES may be setback a maximum of twenty-four (24) inches behind the surrounding FACADE.
- No part of any building, except overhanging eaves, awnings, or BALCONIES shall occupy the remaining lot area. Vehicle parking areas on private property shall be located behind the PARKING SETBACK LINE, except where parking is provided below grade.
  - 6. These requirements are not applicable to on-street parking.

### Alleys

There is no required setback from ALLEYS. On lots having no alley access, there shall be a minimum setback of twenty-five (25) feet from the rear lot line. Corner Lots

Corner lots shall satisfy the code requirements for the full RBL length - unless otherwise specified in this code.

### Frontage Widths

No more than 1/3 of the lots in any phase shall be two more than 1/3 of the loss in any prase shall be less than 18 feet wide. A maximum of 150 feet of RBL frontage shall be continuous as a single (attached) building. There shall be a 10-foot gap (with a gated STREET WALL) between adjacent LOCAL FRONTAGE buildings.

constructed such that the walls and windows are constructed such that the waits and wholows are between ninety (90) degrees (i.e., perpendicular) and zero (0) degrees (i.e., parallel) to the primary wall from which they project.

3. AWNINGS that project beyond the RBL shall maintain a clear height of at least ten (10) feet.

### Doors/Entries

Functioning entry door(s) shall be provided along GROUND STORY FACADES at intervals not greater than seventy-five (75) linear feet.

### Fences/Garden Walls

the rear of the lot.

A fence or GARDEN WALL, 20 to 40 inches in height, is permitted along the front and the COMMON LOT LINES of the DOORYARD. A PRIVACY FENCE, six (6) to nine (9) feet in height, shall be placed along any unbuilt rear lot lines and COMMON LOT LINES.

feet) uses are permitted in the BUILDABLE AREA at



The GROUND STORY shall house residential and home occupation uses, as defined by the city.

### **Upper Stories**

Ground Story

- The upper STORIES shall house residential and home occupation uses, as defined by the city.
- One English basement unit or one ACCESSORY UNIT is permitted per lot. Conversion of primary structure single-family units for multiple-family use is prohibited
- 2. Parking and ACCESSORY UNIT (maximum 650 square

Street Wall and Fence Height

STORIES III neight, except as otherwise provided on the REGULATING PLAN.

# **Parking Structure Height**

Where a parking structure is within 40 feet of any



# Street Facade

- 1. On each lot the building FAÇADE shall be built to the RBL for at least seventy-five percent (75%) of the RBL length.
- 2. The building FAÇADE shall be built to all the RBL within thirty (30) feet of a BLOCK CORNER.
- 3. These portions of the building FAÇADE (the required minimum build to) may include jogs of not more than twenty four (24) inches in depth except as otherwise provided to allow BAY WINDOWS, and BALCONIES.

# **Buildable** Area

1. Buildings may occupy the portion of the lot



# IVICZZAIIIIICS

Mezzanines having a floor area greater than onehalf (½) of the floor area of the STORY in which the mezzanine is situated shall be counted as a full STORY.

specified by this BES.

- 2. A contiguous OPEN AREA equal to at least fifteen percent (15%) of the total BUILDABLE AREA shall be preserved on every lot. Such contiguous OPEN AREA may be located anywhere behind the PARKING SETBACK, either at grade or at the second or third STORY.
- 3. No part of any building, except overhanging eaves, AWNINGS, OF BALCONIES shall occupy the remaining lot area.

# Unbuilt RBL and Common Lot Line Treatment

- 1. A STREET WALL shall be required along any RBL frontage that is not otherwise occupied by a building. The STREET WALL shall be located not more than eight (8) inches behind the RBL.
- PRIVACY FENCES shall be constructed along that portion of a COMMON LOT LINE not otherwise occupied by a building.

# Side Lot Setbacks

On a lot where a COMMON LOT LINE is shared with a single-family residential zoning district, the principal building shall be setback at least ten (10) feet from the shared lot line.

# Garage and Parking

1. GARAGE ENTRIES OF driveways shall be located at least seventy-five (75) feet away from any BLOCK CORNER OF ANOTHER GARAGE ENTRY ON the same BLOCK, unless otherwise designated on the REGULATING PLAN.

behind the RBL.

# Fenestration

1. Blank lengths of wall exceeding twenty (20) linear feet are prohibited on all RBLS.

- 2. GARAGE ENTRIES shall have a clear height no greater thansixteen (16) feet nor a clear width exceeding twenty-four (24) feet.
- 3. Designated GARAGE ENTRIES and ALLEYS shall be the sole means of vehicular access to a lot.
- 4. GARAGE ENTRIES may be setback a maximum of twenty-four (24) inches behind the surrounding FACADE.
- 5. Vehicle parking areas on private property shall be located behind the PARKING SETBACK LINE, except where parking is provided below grade.
- 6. These requirements are not applicable to on-street parking.

# Alleys

There is no required setback from ALLEYS. On lots having no alley access, there shall be a minimum setback of twenty-five (25) feet from the rear lot line.

# Corner Lots

Corner lots shall satisfy the code requirements for the full RBL length – unless otherwise specified in this code.

# **Frontage Widths**

No more than 1/3 of the lots in any phase shall be less than 18 feet wide. A maximum of 150 feet of RBL frontage shall be continuous as a single (attached) building. There shall be a 10-foot gap (with a gated STREET WALL) between adjacent LOCAL FRONTAGE buildings.

constructed such that the walls and windows are between ninety (90) degrees (i.e., perpendicular) and zero (0) degrees (i.e., parallel) to the primary wall from which they project.

3 AWNINGS that project beyond the BRI shall maintain

# **Buildable Area**

1. Buildings may occupy the portion of the lot



# **Stoops and Porches**

Each lot/unit shall include a STOOP or a FRONT PORCH.

- 1. A STOOP shall be built forward of the RBL and be not more than five (5) feet deep and six (6) feet wide (plus steps).
- 2. A FRONT PORCH shall project forward of the RBL and be between eight (8) and ten (10) feet deep, with a width not less than fifty percent (50%) of the RBL. The building FACADE shall be placed a two (2) feet

BLOCK CORNER OF ANOTHER GARAGE ENTRY ON the same BLOCK, unless otherwise designated on the REGULATING PLAN.

behind the RBL.

# Fenestration

- 1. Blank lengths of wall exceeding twenty (20) linear feet are prohibited on all RBLS.
- 2. FENESTRATION ON all RBL FACADES shall comprise at least thirty percent (30%), but no more than seventy percent (70%), of the FACADE area per STORY (measured as a percentage of the FACADE between floor levels).
- 3. No window may face or direct views toward a COMMON LOT LINE within twenty feet (20) unless: that view is contained within the lot (e.g. by a PRIVACY FENCE/GARDEN WALL) or the sill is at least 6' above the finished floor level. All COMMON LOT LINES within the Station Area are subject to the construction of building walls (with no setback) by the adjacent lot owner.

# **Building Projections**

- 1. No part of any building, except overhanging eaves, AWNINGS, BALCONIES, BAY WINDOWS, FRONT PORCHES, and STOOPS, as specified by the *Code*, shall encroach beyond the RBL.
- 2. BAY WINDOWS shall project not more than thirtysix (36)inches beyond the RBL; shall maintain an interior clear width of at least four (4) feet; and be

STREET WALL) between adjacent LOCAL FRONTAGE buildings.

constructed such that the walls and windows are between ninety (90) degrees (i.e., perpendicular) and zero (0) degrees (i.e., parallel) to the primary wall from which they project.

3. AWNINGS that project beyond the RBL shall maintain a clear height of at least ten (10) feet.

# **Doors/Entries**

Functioning entry door(s) shall be provided along GROUND STORY FACADES at intervals not greater than seventy-five (75) linear feet.

# Fences/Garden Walls

A fence of GARDEN WALL, 20 to 40 inches in height, is permitted along the front and the COMMON LOT LINES of the DOORYARD. A PRIVACY FENCE, six (6) to nine (9) feet in height, shall be placed along any unbuilt rear lot lines and COMMON LOT LINES.



# Ground Story

The GROUND STORY shall house residential and home occupation uses, as defined by the city.

# **Upper Stories**

The upper STORIES shall house residential and home occupation uses, as defined by the city.

1. One English basement unit or one ACCESSORY UNIT is permitted per lot. Conversion of primary structure single-family units for multiple-family use is prohibited. feet) uses are permitted in the BUILDABLE AREA at the rear of the lot.







# B. Building Walls (Exterior)

# Intent and Guiding Illustrations for Buiding Walls

Building walls should reflect and complement the traditional materials and techniques of the Texas region. They should express the construction techniques and structural constraints of traditional, long-lasting, building materials. Simple configurations and solid craftsmanship are favored over complexity and ostentation in building form and the articulation of details. All building materials to be used shall express their specific properties. For example, heavier more permanent materials (masonry) support lighter materials (wood). The illustrations and statements on this page are advisory only. Refer to the Code standards below for the specific prescriptions of this section.







# E. Windows and Doors

# Intent and Guiding Illustrations for Windows and Doors

The placement, type, and size of windows and doors help to establish the scale and vitality of the STREET-SPACE. For commercial buildings, they allow interplay between the shop interiors and the STREET-SPACE. For residential streets, they foster the "eyes on the street" surveillance which provides for the security and safety for the area. Windows should be divided by multiple panes of glass. This helps the window "hold" the surface of the façade, rather than appearing like a "hole" in the wall (an effect produced by a large single sheet of glass). The illustrations and statements on this page are advisory only. Refer to the *Code* standards below for the specific prescriptions of this section.





# DOWNTOWN VENTURA REGULATING PLAN

















This Figure may be amended from time to time through a zoning map amendment and as parcel information is updated. Up-to-date source data, including the latest Assessor's parcel data, may

# DOWNTOWN VENTURA REGULATING PLAN



# **ARTICLE III. BUILDING TYPES**

# 3.10.030 FRONT YARD HOUSE



Front Yard House Example Diagram

### A. DESCRIPTION

A detached building designed as a single dwelling unit that may be located upon a qualifying lot in the T4.1 Urban General 1 and T4.1 Main Frontage zones. A Front Yard House may be used for nonresidential purposes where allowed by Table E. Allowed Land Uses of the applicable zone (see Article II). A Front Yard House is accessed from the sidewalk adjacent to the street build-to line. The following text provides performance standards for Front Yard Houses.

### **B. ACCESS**

- The main entrance shall be located within the façade and accessed directly from the street through an allowed frontage type. [W]
- 2. Where an alley is present, parking and services shall be accessed through the alley. [E]
- Where an alley is not present, parking and services shall be accessed by way of a driveway 7 to 10 feet wide, and with 2-foot min. planters on each side. [W]
- 4. On a corner lot without access to an alley, parking and services shall be accessed by a driveway of 18 feet maximum width, and with 2-foot min. planters on each side. [W]



Allowed in Transects: T4.1 & T4.1 Main Frontage

### C. PARKING AND SERVICES

- Required parking for one car shall be within a garage. The remainder of required parking may be provided in a garage, carport or uncovered. [W]
- 2. An alley accessed garage or carport may accommodate up to three cars. [W]
- Parking facing a side street build-to line shall be accommodated in a two-car (max.) garage with one-car garage doors. [W]
- Where an alley is present, services, above ground equipment and trash container areas should be located on the alley. [DR]
- 5. Where an alley is not present, above ground equipment and trash container areas shall be located at least 10 feet behind the façade of the house and be screened from view from the street with landscaping or a fence. [W]

City of San Buenaventura DOWNTOWN SPECIFIC PLAN III-34



Illustrative Photo

# D. OPEN SPACE

- Front yards are defined by the street build-to line or front yard setback and frontage type requirements of the applicable zone. [DR]
- One usable, outdoor space shall be provided behind the Front Yard House at no less than 15% of the area of each lot and of a regular geometry (e.g., rectangular) with a minimum dimension of 20 feet. [W]

### E. LANDSCAPE

- Front yard trees are encouraged to be of porch scale (no more that 1.5 times the height of the porch at maturity) except at the margins of the lot, where they may be of house scale (no more that 1.5 times the height of the house at maturity). [DR]
- Side yard trees may be placed to protect the privacy of neighbors. [DR]



Illustrative Photo

### F. FRONTAGE

 Other than Frontage Type performance measures, there are no additional frontage requirements for this building type.

# G. BUILDING SIZE AND MASSING

- Building elevations abutting side yards should be designed to provide at least one horizontal plane break of at least three feet, and one vertical break. [DR]
- Houses on corner lots should be designed with two facades of equal architectural expression. [DR]
- Buildings should be composed of one and/or two story volumes, each designed to house scale. [DR]
- Attic space may be occupied and not count as a story when applying the height limits of the applicable zone. [DR]

Deviations from a standard of guideline require the following Variance (pg. III-120): [DR] = Design Review [W] = Warrant [E] = Exception City of San Buenaventura DOWNTOWN SPECII

# ARTICLE III. BUILDING TYPES

3.10.130 COMMERCIAL BLOCK



Commercial Block Example Diagram

### A. DESCRIPTION

A building designed for occupancy by retail, service, and/or office uses on the ground floor, with upper floors also configured for those uses or for dwelling units. A Commercial Block may be located upon a qualifying lot in the T4.4 Thompson Corridor, T5.1 Neighborhood Center and T6.1 Urban Core zones.

### **B. ACCESS**

- The main entrance to each ground floor area shall be directly from and face the street. [E]
- Entrance to the residential and/or non-residential portions of the building above the ground floor shall be through a street level lobby or through a podium lobby accessible from the street. [E]
- Elevator access shall be provided between the subterranean garage and each level of the building where dwelling and/or commerce access occurs. [W]
- Interior circulation to each dwelling shall be through a corridor which may be single or double-loaded. [E]
- Where an alley is present, parking shall be accessed through the alley. [E]
- Where an alley is not present, parking shall be accessed by a driveway of 14' min. width. [E]
- On a corner lot without access to an alley, parking shall be accessed by a driveway of 14' min. width. [E]
- Dwellings can be accessed via a single-loaded, exterior corridor, provided the corridor is designed per the following requirements:
  - The open corridor length does not exceed 40 feet. [W]
  - b. The open corridor is designed in the form of a Monterey balcony, loggia, terrace, or a wall with window openings. [DR]

City of San Buenaventura  ${\tt DOWNTOWN}$  SPECIFIC PLAN III-54



Allowed in Transects: T4 through T6

### C. PARKING & SERVICES

- Required parking may be at-grade or as subterranean. If provided at-grade, parking spaces may be within a garage, carport, or uncovered. [W]
- Dwellings may have indirect access to their parking stalls. [DR]
- Where an alley is present, services, above ground equipment and trash container areas shall be located on the alley. [W]
- 4. Where an alley is not present, above ground equipment and trash container areas should be located at least 10 feet behind the façade of the building and be screened from view from the street with landscaping or a fence. [DR]
- Parking entrances to subterranean garages and/or driveways should be located as close as possible to the side or rear of each lot. [DR]
- D. OPEN SPACE
- Front yards are defined by the street build-to line or front yard setback and frontage type requirements of the applicable zone. [DR]
- The primary shared open space is the rear yard, which shall be designed as a courtyard. Courtyards may be located on the ground or on a podium. Side yards may also be provided for outdoor patios connected to ground floor commercial uses. [E]
- Minimum courtyard dimensions shall be 40 feet when the long axis of the courtyard is oriented East/West, and 30 feet when the courtyard is oriented North/South. [W]
- 4. The minimum courtyard area shall be twenty percent (20%) of the lot area. [W]
- Courtyards shall not be of a proportion of less than 1:1 between their width and height. [W]



### Illustrative Photo

- In 40-foot wide courtyards, the frontages and architectural projections allowed within the applicable zone are permitted on two sides of the courtyard; they are permitted on one side of a 30-foot wide courtyard. [W]
- Private patios may be provided in side and rear yards. [DR]

## E. LANDSCAPE

- 1. No private landscaping is required in front of the building. [DR]
- Trees may be placed in side yards to create a particular sense of place. [DR]
- Courtyards located over garages should be designed to avoid the sensation of forced podium hardscape through the use of ample landscaping. [DR]

## F. FRONTAGE

1. No arcade or gallery may encroach into the required minimum width of a courtyard. [W]



Illustrative Photo

# G. BUILDING SIZE & MASSING

- 1. Buildings may contain any of three dwelling types: flats, townhouses, and lofts. [W]
- Dwellings may be as repetitive or unique, as determined by individual designs. [DR]
- Buildings may be composed of one dominant volume, and may be flanked by secondary ones. [DR]
- The intent of these regulations is to provide for buildings with varying heights. Suggested height ratios are as follows:
  - a. 1.0 story: 100% 1 story [W]
  - b. 2.0 stories: 85% 2 stories, 15% 3 stories
     [W]
  - c. 3.0 stories: 85% 3 stories, 15% 4 stories
     [W]
  - d. 4.0 stories: 75% 4 stories, 25% 5 stories
     [W]

These height ratios are maximums that may exceed that allowed by the applicable zone (e.g., Commercial Block 4.0 may exceed the 4.0 75% 4-story, 25% 5-story limitation of the T6.1 Urban Core zone).

 The visibility of elevators and of exterior corridors at the third, fourth and/or fifth stories should be minimized by incorporation into the mass of the building. [DR]

Deviations from a standard of guideline require the following Variance (pg. III-120): [DR] = Design Review [W] = Warrant [E] = Exception City of San Buenaventura DOWNTOWN SPECIFIC

# **ARTICLE IV. FRONTAGE TYPES**

All drawings C 2006 Moule & Polyzoides Architects and Urbanists

### C. Shopfront

Shopfronts are facades placed at or close to the right-of-way line, with the entrance at side walk grade. This type is conventional for retail frontage and is commonly equipped with cantilevered shed roof(s) or awning(s). Recessed Shopfronts are also acceptable.

- Configuration. A great variety of shopfront designs are possible, but the following guidelines apply:
  - a. 10 feet to 16 feet tall, as measured from the adjacent sidewalk.
  - b. The Shopfront opening(s) along the primary frontage may be at least 10 feet tall and comprise 65% of the 1st floor wall area facing the street and not have opaque or reflective glazing.
  - c. The Shopfront may be recessed from the frontage line by up to 5 feet. The storefront assembly (the doors, display windows, bulkheads and associated framing) should not be deeply set back (maximum of 2 feet) in the Shopfront openings, so that passing pedestrians have a clear view of the shop interior. However, the storefront may be set back up to 12 feet, but not less than 8', for up to 25' of the building Frontage in order to create a covered Alcove in which outdoor dining or merchandising can occur within the volume of the building.
  - d. A bulkhead is a transition between the opening(s) and the adjacent grade. The bulkhead may be between 10 inches and 28 inches tall (aluminum shopfront or spandrel panel may not substitute for a bulkhead)
  - e. The adjacent sidewalk may not be raised more than 6" without installation of the necessary stair or ramp access.
- 2. Elements
  - f. Awnings, signs, etc, may be located 8 feet min. above the adjacent sidewalk.
  - g. Awnings may only cover openings so as to not cover the entire facade.

### D. Forecourt



On a Shopfront, Galley, or Arcade frontage, a Forecourt may be created by recessing the Facade for a portion of the building Frontage. A Forecourt is not covered, and must be at least 10' by 10'. A Forecourt may be suitable for gardens, outdoor dining, or in some cases vehicular drop-offs. A fence or wall at the Frontage Line, with a pedestrian opening in all cases, may be provided to define the space of the court. This Frontage type should be used sparingly and in conjunction with Stoops or Shopfronts.

- Configuration. A great variety of forecourt designs are possible, but the following guidelines apply:
  - a. 10 feet deep (clear) min, 30 feet deep (clear) max. Forecourts between 10' and 15' in depth shall be substantially paved, and enhanced with landscaping. Forecourts between 15' and 30' in depth shall be designed with a balance of paving and landscaping.
  - b. 10' wide min; up to 50% of lot width
  - c. Shopfronts may be between 10 feet and 16 feet tall, as measured from the adjacent sidewalk.
  - The corresponding shopfront(s) opening(s) along the primary frontage may be at least 65% of the 1st floor wall area and not have opaque or reflective glazing.
  - · Shopfronts may be recessed from the frontage line by up to 5 feet.
  - d. Bulkhead: 10 inches min, 28 inches max (aluminum shopfront or spandrel panel may not be substituted for a bulkhead).
- 2. Elements
  - e. A 1-story fence or wall at the property line may be used to define the private space of the yard.
  - f. Minimum clearances: vertical: 8' from sidewalk; horizontal: width of sidewalk.

City of San Buenaventura DOWNTOWN SPECIFIC PLAN III-62





Illustrative Photo: Shopfront







Axonometric Diagram: Shopfront

Plan Diagram: Shopfront

Section Diagram: Shopfront



Axonometric Diagram: Forecourt



Plan Diagram: Forecourt



Section Diagram: Forecourt





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Street

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### 2-10





# Building Placement Build-to Line (Distance from Property Line) Front 0' Side Street, corner lot 0'

0'	G
15'	O
10'	D
80% min.*	Ø
. 30% min.*	Ø
100' max.	G
200' max.	0
	15' 10' 80% min.* 30% min.* 100' max.

0

0

\* Street facades must be built to BTL within 30' of every corner.

# Notes

All floors must have a primary ground-floor entrance that faces the primary or side street.

Rear-facing buildings, loading docks, overhead doors, and other service entries are prohibited on street-facing facades. Any building over 75' must be broken down to read as a series of buildings no wider than 75' each.



Height		
Building Minimum	22'	Ø
Building Maximum	3 stories,* 45′ **	Ø
Ancillary Building Max.	2 1/2 stories, 30' **	
Ground Floor Finish Level	12" max. above sidewalk	0
First Floor Ceiling Height	12' min. clear	۵
Upper Floor(s) Ceiling Heig	ht 8' min. clear	۵
*Up to 5 stories with approv	ed use permit	
** All heights measured to ear	ves or base of parapet	
Notes		
Mansard roof forms are not :	allowed.	
Buildings greater than 16 un	nits must provide adequate o	com
mon space for residents in th	ne form of community rooms	5,
roof terraces, or courtyards		
Any section along the BTL r	not defined by a building mu	st

Any section along the BTL not defined by a building must be defined by a 2'6'' to 4'6'' high fence or stucco or masonry wall.





----- Property Line

Parking Area

Parking		
Location (Distance fro	om Property Line)	
Front Setback	20'	Θ
Side Setback	0'	0
Side Street Setback	5′	Θ
Rear Setback	5'	0
Required Spaces		
Ground Floor		
Uses <3,000 sf	No off-street parking required	
Uses >3,000 sf	1 space/400 sf	
Upper Floors		
<b>Residential uses</b>	1 space/unit; .5 space/studio	
Otheruses	1 space/450 sf	
Notes		
Parking Drive Width	15' max. *	Ø
* Or as required by Fire D	epartment	
On corner lots, primary p	arking drive shall not be	O
located on primary street.	· · · · · · · · · · · · · · · · · · ·	
Shared drives are encoura	aged between adjacent lots to	)
minimize curb cuts along	the street.	
Parking may be provided	off-site within 1,300' or as	
shared parking.		
Bicycle parking must be pr	ovided and in a secure enviro	nment.
See Chapter 17.36 for furt	ther parking specifications.	



**Key** ---- Property Line

---- Build-to Line (BTL)

Line (BTL) Encroachment Area

Encroachments		
Location		
Front	12′ max.	O
Side Street	8' max.	Ø
Rear	4' max.	0

--- Setback Line

Notes

Canopies, Awnings, and Balconies may encroach over the BTL on the street sides and into the setback on the rear, as shown in the shaded areas. Only Balconies are allowed at the rear encroachment.

Upper-story galleries facing the street must not be used to meet primary circulation requirements.

Frontage Types	
Canopies	
Clearance	1' min. back from curb line
Height	9' min. clear, 2 stories max.
Awnings	
Depth	10' max.
Forecourts	
Depth	20' min., not to exceed width
Width	20' min., 50% of lot width max.

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# Key

----- Property Line

Parking Area

# Parking Location (Distance from Property Line) 20' 0 Front Setback 0' Side Setback 0 5' 0 Side Street Setback 5' Ø Rear Setback **Required Spaces** Ground Floor No off-street parking required Uses <3,000 sf 1 space/400 sf Uses >3,000 sf Upper Floors **Residential uses** 1 space/unit; .5 space/studio 1 space/450 sf Other uses Notes 6 Parking Drive Width 15' max. \* \* Or as required by Fire Department O On corner lots, primary parking drive shall not be located on primary street. Shared drives are encouraged between adjacent lots to minimize curb cuts along the street. Parking may be provided off-site within 1,300' or as shared parking. Bicycle parking must be provided and in a secure environment.

See Chapter 17.36 for further parking specifications.

**Primary Street** 

# Key

- ---- Property Line
- --- Setback Line
- ---- Build-to Line (BTL)
- Encroachment Area

# Encroachments Location Front 12' max. Side Street 8' max. Rear 4' max.

# Notes

Canopies, Awnings, and Balconies may encroach over the BTL on the street sides and into the setback on the rear, as shown in the shaded areas. Only Balconies are allowed at the rear encroachment.

Upper-story galleries facing the street must not be used to meet primary circulation requirements.

Frontage Types	
Canopies	
Clearance	1' min. back from curb line
Height	9' min. clear, 2 stories max.
Awnings	
Depth	10' max.
Forecourts	
Depth	20' min., not to exceed width
Width	20' min., 50% of lot width max.

Ø

Sidewalk

Property Line

# 17.21.060 - Neighborhood Center-Flex (NC-Flex) Standards

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# Key

Property Line	Setback Line
Build-to Line (BTL)	Building Area

Building Placement			
Build-to Line (Distance from Property Line)			
Front	12'*	۵	
Side Street, corner lot	8'	B	

\* For redeveloping properties where adjacent buildings are set back less than 12' from the public right-of-way, the Front Build-to Line may be set to align with the front face of im-

mediately adjacent properties.		
Setback		
Side	3' min., 10' max.	Θ
Rear		
Adjacent to residential	10'	Ø
Adjacent to any other use	5'	Ø
Building Form		
Primary Street built to BTL	60% min.*	0
Side Street, Corner Lot built to BTI	. 30% min.*	Ø
Lot Width	75' max.	G

Use Ground Floor	Residential, Service, Re	tail,
	Recreation, Education &	
	Public Assembly*	0
Upper Floor(s)	Residential or Service*	0
*See Table 2.3 for specifi	ic uses.	
Height		
<b>Building Minimum</b>	16'	G

10	-
2-1/2 stories, 30' *	0
2 stories, 25' *	
12" max. above sidewalk	O
10' min. clear	0
8' min. clear	0
s or base of parapet	
owed.	
	2 stories, 25' * 12" max. above sidewalk 10' min. clear 8' min. clear s or base of parapet

Street edge must be defined by a 2'6" to 4' high fence or

\* Street facades must be built to BTL within 30' of every corner. stucco or masonry wall.

0

# Notes

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Lot Depth

All floors must have a primary ground-floor entrance which

150' max.

# faces the street.

Service entries are prohibited on street facades.

# Grass Valley Development Code - March 6, 2007




# Key

----- Property Line

Parking Area

Parking		
Location (Distance fro	om Property Line)	
Front Setback	20'	o
Side Setback	0'	0
Side Street Setback	5′	Θ
Rear Setback	5′	0
Required Spaces		
Ground Floor		
<b>Residential Use</b>	1 space/unit, .5 spaces/studio	
Uses < 3,000 sf	No off-street parking required	
Uses > 3,000 sf	1 space/500 sf	
Upper Floor(s)		
<b>Residential uses</b>	1 space/unit; .5 space/studio	
Other uses	1 space/300 sf	
Notes		
Parking Drive Width	15' max. *	Ø
* Or as required by Fire D	Pepartment	
On corner lots, parking d	rive shall not be located	ion 🖸
primary street.		
Parking may be provided	off-site within 1,300' o	r as shared
parking .		
Bicycle parking must be p	provided and in a secure	,
environment.		
0 01 150/0 0	1	e al anno 1

# Key ---- Property Line

--- Setback Line --- Build-to Line (BTL)

12′ max.	U
8' max.	Ø
5' max.	8
	8' max.

Encroachment Area

orches, Commercial Storefronts, Balconies, and Bay Winows may encroach over the BTL on the street sides and into he setback on the rear, as shown in the shaded areas. Only alconies are allowed at the rear encroachment.

10' max.
4' min., 6' max.
20' min., not to exceed width
20' min., 50% of lot width max
8' min.
2 stories max.

See Chapter 17.36 for further parking specifications.

Grass Valley Development Code - March 6, 2007

Land Use Type <sup>1</sup>	Permit Required	Specific Use Regulations	Land Use Type <sup>1</sup>	Permit Required	Specific Use Regulations
Recreation, Education & Public A	Assembl	y	Retail		
Health/fitness facility	MUP		Bar, tavern, night club	UP	
Library, museum	Р		General retail, except with any of the	Р	
Meeting facility, public or private	UP		following features:		
Park, playground	Р		Alcoholic beverage sales	MUP	
School, public or private	UP		Floor area over 10,000 sf	UP	
Studio: Art, dance, martial arts,	Р		On-site production of items sold	MUP	
music, etc.			Operating between 9pm and 7am	UP	
Residential	1100	California (	Neighborhood market	MUP	
Dwelling: Multi-family - Duplex,	Р	17.44.160	Restaurant, café, coffee shop	MUP	
triplex, fourplex			Services: Business, Financial, Pr	ofession	al
Dwelling: Multi-family - Rowhouse	Р	17.44.140	ATM	Р	
Dwelling: Single family	Р	17.44.210	Business support service	Р	
Home occupation	Р	17.44.100	Medical services: Clinic, urgent care	Р	
Live/work unit	Р	17.44.130	Medical services: Doctor office	Р	
Mixed use project residential	Р	17.44.140	Medical services: Extended care	UP	
component			Office: Business, service	Р	
Residential accessory use or structure	Р	17.44.020	Office: Professional, administrative	Р	
Residential care, 6 or fewer clients,	Р		Services: General		
in a home			Day care center: Child or adult	MUP	17.44.060
Residential care, 7 or more clients	UP				17.44.110
Second unit or carriage house	Р	17.44.190	Day care center: Large family	Р	17.44.060
			Day care: Small family	Р	
			Lodging: Bed & breakfast inn (B&B)	MUP	
			Lodging: Hotel	MUP	
			Personal Services	Р	
Key	101 22		Public Safety facility	UP	

# Table 2.3: Neighborhood Center-Flex (NC-Flex) Zone Allowed Land Uses and Permit Requirements

Key	
P	Permitted Use

- MUP Minor Use Permit Required
- UP **Use Permit Required**
- NA Use Not Allowed

## End Notes

<sup>1</sup> A definition of each listed use type is in Article 10 (Glossary).

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Parking facility, public or commercial UP

Wireless telecommunications facility UP



# TOWNHOUSE - 2 (TH2)







(\* Photos are illustrative only)

LOT OCCUPATION	Lot Area (by Unit)	1,500 sq.ft. minimum - 2,500 sq.ft. maximum
	Lot Coverage	70% maximum
BUILDING SETBACKS	Front	10 feet minimum -15 feet maximum
	Side	No required setback except 3 feet minimum setback for lots with side lot line on residential street
	Rear	0 feet minimum -5 feet maximum
FRONTAGE		18 feet minimum
BUILDING HEIGHT	Principal Building	35 feet maximum height
	Out Building	25 feet maximum height
PARKING	Spaces	maximum 2/unit - minimum 1/unit
	Area	20 feet x 24 feet maximum
	Access	Rear access from alley
USES		Residential. First Floor of Principal Building could include Retail or Live-work. Second Floor of Out Building could include Live-work. See Main Street Overlay District for special First Floor requirement.
DISTRICTS	19 A	Village Center District, Mixed-Use Village District, Resi- dential District

**Structuring the Process-Pre-Drafting:** 

**Selecting the District or Corridor Defining the Planning & Coding Approach** Assembling the Team **Designing the Public Process Drafting the Code: Existing Conditions Inventory & Analysis Public Visioning/Charrette(s) Illustrative Plan Regulating Plan Development Standards & Administration** 

# **Post Coding Tasks:**

Completing the Document Formal Review & Adoption Rolling It Out Day-to-Day Administration Review & Refinement Code Elements (Standard): Illustrative Plan Regulating Plan Streetscape Standards Development Form Standards Administration Definitions

Additional Elements: Architectural Standards Signage Standards













# B. BUILDING ENVELOPE STANDARDS: MAIN STREET SITES

#### Height Specifications



#### Building Height

 Principal building height is measured in STORES. These parameters preserve appropriate STREET-space and allow for greater variety in building height.

2. Each building shall be between 3 and 6 STORIES in height, except where otherwise noted here or in the REGULATING PLAN.

#### Parking Structure Height

No parking structure within the BLOCK shall exceed the EAVE height of any building (built after 2002) within 40 feet of the parking structure.

#### GROUND STORY Height

1. The GROUND STORY floor elevation shall be between 6 inches below and 24 inches above the sidewalk elevation at the front of the building. The maximum floor-to-floor STORY HEIGHT limit for the GROUND FLOOR is 24 feet

The GROUND FLOOR shall have at least a 15 foot clear (floor to ceiling) height for at least 1/3 of its area contiguous to RBL frontage.

Upper STORIES Height
1. The maximum floor-to-floor STORY HEIGHT limit for STORIES other than the GROUND STORY is 14 feet.

2. At least 80 percent of the upper STORIES shall each have at least a 9 foot dear (floor to ceiling) height and a minimum 10 foot clear height for the uppermost STORY.

#### Mezzanines

Mezzanines greater than 2/3 of the floor area footprint shall be counted as full STORIES.

#### STREET WALL Height

1. Any unbuilt ALLEY and/or COMMON LOT LINE frontage shall have a STREET WALL built along it. 7 feet in height.

2. STREET WALL heights are measured relative to the adjacent sidewalk or to the ground elevation when not fronting on a sidewalk.

#### Other

Where a MAIN STREET site is within 40 feet of a LOCAL site, NEIGHBORHOOD site or a single-family home, the maximum height for that portion is 32 feet to the EAVES or PARAPET.



#### STREET Facade

Siting Specifications

The STREET facade shall be built to not less than 75 percent of the 1. overall RBL. However, the GROUND FLOOR portions of the STREET facade within 7 feet of a BLOCK CORNER are exempt from this requirement in order to allow special corner treatments in these areas.

2. The STREET facade shall be composed as a simple plane (limited jogs less than 24 inches are considered a simple plane within this requirement) interrupted only by porches, STOOPS, BAY WINDOWS, shop fronts and BALCONDES.

#### BUILDABLE AREA

Buildings shall occupy only the area of the Lot specified in the siting specifications of the BUILDING EWELOPE STANDARDS as BUILDABLE AREA. No part of any building excepting overhanging EAVES and BES permitted BALCONTES, BAY WINDOWS, STOOPS, and shop fronts shall encroach into the STRET beyond the RBL. No part of any building (excepting overhanging EAVES, BALCONIES, STOOPS, and small and unroofed garden structures) shall occupy the remaining Lot area. The minimum OPEN CONTIGUOUS LOT AREA shall comprise at least 15% of the total BUILDABLE AREA of the site.

#### Side Lot Line

There are no required side Lot line setbacks unless shared with an existing single family house where an 8-foot setback is required.

### Garage and Parking Entrances

Garage/parking entrances shall be no closer than 50 feet from any 1. BUILDING CORNER (except where otherwise designated on the REGULATING PLAN).

2. Designated GARAGE ENTRIES and ALLES shall be the sole means of automobile access to a site.

3. Garage doors shall not face (be at an angle of less than 90 degrees from the RBL or right of way) the RBL. Vehicle parking areas (except where a STREET WALL exists or parking is endosed within an ancillary building) on private property shall not be located within 25 feet of the RBL. These requirements are not applicable to on-STREET parallel parking.

#### ALLEYS

On sites with no ALLEY access, there shall be a 25-foot setback from the rear LOT line.

#### Corner Lots

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Corner Lots shall be treated as having STREET FRONTAGE on both the front and side STREETS (or RBLs).

#### Unbuilt RBL and COMMON LOT LINE Treatment

Any unbuilt RBL shall have a STREET WALL along it, between 6 feet and 10 feet in height. STREET WALLS may also be constructed along any UNDUIL COMMON LOT LINE.

ARLINGTON, VIRGINIA

BUILDING ENVELOPE STANDARDS





# **The Economics of Place**

SPIN

RIVERS IS OPEN COME IN COMPANIES

R.S. KAREL D.D.S. S.A. KENNE D.D.S. FAMILY DENTISTR USE SIDE ENTRA



Maine's first complete Form-Based Code Community Planning Process will take place (Summer & Fall 2010) in Downtown Bridgton; come-up and participate in the landmark planning effort.

