



Natural Resource Protection Act Permit Application Fallbrook Commons

Prepared for
Fallbrook Commons, LLC
P.O. Box 110
Portland, ME 04112

Prepared by
Sebago Technics
75 John Roberts Rd.
South Portland, ME 04106

November 2019
18347

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A

NRPA Tier 2 Application/Signature Page

APPLICATION FOR A NATURAL RESOURCES PROTECTION ACT PERMIT

→ PLEASE TYPE OR PRINT IN **BLACK INK ONLY**

1. Name of Applicant: Fallbrook Commons, LLC		5. Name of Agent: Sebago Technics, Inc/Daniel Danvers	
2. Applicant's Mailing Address: P.O. Box 110 Portland, ME 04112		6. Agent's Mailing Address: 75 John Roberts Road, Suite 4A South Portland, ME 04106	
3. Applicant's Daytime Phone #: 207-233-8665		7. Agent's Daytime Phone #: 207-200-2125	
4. Applicant's Email Address (Required from either applicant or agent): dmaguire@sandyriver2.com		8. Agent's Email Address: ddanvers@sebagotechnics.com	
9. Location of Activity: (Nearest Road, Street, Rt.#) Ray Street/Merrymeeting Drive		10. Town: Portland	11. County: Cumberland
12. Type of Resource: (Check all that apply)	<input type="checkbox"/> River, stream or brook <input type="checkbox"/> Great Pond <input type="checkbox"/> Coastal Wetland <input checked="" type="checkbox"/> Freshwater Wetland <input type="checkbox"/> Wetland Special Significance <input type="checkbox"/> Significant Wildlife Habitat <input type="checkbox"/> Fragile Mountain		13. Name of Resource: un-named
	14. Amount of Impact: (Sq.Ft.)		Fill: 37,787 s.f. Dredging/Veg Removal/Other:
15. Type of Wetland: (Check all that apply)	FOR FRESHWATER WETLANDS		
	<input checked="" type="checkbox"/> Forested <input type="checkbox"/> Scrub Shrub <input type="checkbox"/> Emergent <input type="checkbox"/> Wet Meadow <input type="checkbox"/> Peatland <input type="checkbox"/> Open Water <input type="checkbox"/> Other _____	<i>Tier 1</i> <input type="checkbox"/> 0 - 4,999 sq ft. <input type="checkbox"/> 5,000-9,999 sq ft <input type="checkbox"/> 10,000-14,999 sq ft	<i>Tier 2</i> <input checked="" type="checkbox"/> 15,000 – 43,560 sq. ft.
16. Proposed Start Date and Brief Activity Description:	Construction of a two-story, 58,197 sf senior care facility - construction start date of summer 2020		
17. Size of Lot or Parcel & UTM Locations:	<input type="checkbox"/> _____ square feet, or <input checked="" type="checkbox"/> 12.78 acres		UTM Northing: _____ UTM Easting: _____
18. Title, Right or Interest:	<input type="checkbox"/> own <input type="checkbox"/> lease <input checked="" type="checkbox"/> purchase option <input type="checkbox"/> written agreement		
19. Deed Reference Numbers:	Book#: 27501 Page: 183	20. Map and Lot Numbers:	Map #: 400 Lot #: D23-001
21. DEP Staff Previously Contacted:	22. Part of a larger project:		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
23. Resubmission of Application?:	<input type="checkbox"/> Yes → <input checked="" type="checkbox"/> No	If yes, previous application #	Previous project manager:
24. Written Notice of Violation?:	<input type="checkbox"/> Yes → <input checked="" type="checkbox"/> No	If yes, name of DEP enforcement staff involved:	25. Previous Wetland Alteration:
26. Detailed Directions to the Project Site:	From Canco Road - turn left onto Washington Ave - right onto Ray Street. Follow Ray Street past Maine Ave, until the intersection of Ray Street and Merrymeeting Dr. The parcel is on the left.		
27. TIER 1		TIER 2/3 AND INDIVIDUAL PERMITS	
<input type="checkbox"/> Title, right or interest documentation <input type="checkbox"/> Topographic Map <input type="checkbox"/> Narrative Project Description <input type="checkbox"/> Plan or Drawing (8 1/2" x 11") <input type="checkbox"/> Photos of Area <input type="checkbox"/> Statement of Avoidance & Minimization <input type="checkbox"/> Statement/Copy of cover letter to MHPC		<input checked="" type="checkbox"/> Title, right or interest documentation <input checked="" type="checkbox"/> Topographic Map <input checked="" type="checkbox"/> Copy of Public Notice/Public Information Meeting Documentation <input checked="" type="checkbox"/> Wetlands Delineation Report (Attachment 1) that contains the Information listed under Site Conditions <input checked="" type="checkbox"/> Alternatives Analysis (Attachment 2) including description of how wetland impacts were Avoided/Minimized <input type="checkbox"/> Erosion Control/Construction Plan <input type="checkbox"/> Functional Assessment (Attachment 3), if required <input type="checkbox"/> Compensation Plan (Attachment 4), if required <input type="checkbox"/> Appendix A and others, if required <input checked="" type="checkbox"/> Statement/Copy of cover letter to MHPC <input type="checkbox"/> Description of Previously Mined Peatland, if required	
28. FEES Amount Enclosed:	\$ 1292.32		

CERTIFICATIONS AND SIGNATURES LOCATED ON PAGE 2

IMPORTANT: IF THE SIGNATURE BELOW IS NOT THE APPLICANT'S SIGNATURE, ATTACH LETTER OF AGENT AUTHORIZATION SIGNED BY THE APPLICANT.

By signing below the applicant (or authorized agent), certifies that he or she has read and understood the following :

DEP SIGNATORY REQUIREMENT

PRIVACY ACT STATEMENT

Authority: 33 USC 401, Section 10; 1413, Section 404. Principal Purpose: These laws require permits authorizing activities in or affecting navigable waters of the United States, the discharge of dredged or fill material into waters of the United States, and the transportation of dredged material for the purpose of dumping it into ocean waters. Disclosure: Disclosure of requested information is voluntary. If information is not provided, however, the permit application cannot be processed nor a permit be issued.

CORPS SIGNATORY REQUIREMENT

USC Section 1001 provides that: Whoever, in any manner within the jurisdiction of any department or agency of the United States knowingly and willfully falsifies, conceals, or covers up any trick, scheme, or disguises a material fact or makes any false, fictitious or fraudulent statements or representations or makes or uses any false writing or document knowing same to contain any false, fictitious or fraudulent statements or entry shall be fined not more than \$10,000 or imprisoned not more than five years or both. I authorize the Corps to enter the property that is subject to this application, at reasonable hours, including buildings, structures or conveyances on the property, to determine the accuracy of any information provided herein.

DEP SIGNATORY REQUIREMENT

"I certify under penalty of law that I have personally examined the information submitted in this document and all attachments thereto and that, based on my inquiry of those individuals immediately responsible for obtaining the information, I believe the information is true, accurate, and complete. I authorize the Department to enter the property that is the subject of this application, at reasonable hours, including buildings, structures or conveyances on the property, to determine the accuracy of any information provided herein. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment.

Further, I hereby authorize the DEP to send me an electronically signed decision on the license I am applying for with this application by emailing the decision to the address located on the front page of this application (see #4 for the applicant and #8 for the agent)."

SIGNATURE OF AGENT/APPLICANT

Date:_____

NOTE: Any changes in activity plans must be submitted to the DEP and the Corps in writing and must be approved by both agencies prior to implementation. Failure to do so may result in enforcement action and/or the removal of the unapproved changes to the activity.

(pink)

B

Corporate Status

065



MAINE

Department of the Secretary of State
Bureau of Corporations, Elections and Commissions

Corporate Name Search

Information Summary

[Subscriber activity report](#)

This record contains information from the CEC database and is accurate as of: Tue Nov 12 2019 13:38:02. Please print or save for your records.

Legal Name	Charter Number	Filing Type	Status
FALLBROOK COMMONS DEVELOPMENT LLC	20200861DC	LIMITED LIABILITY COMPANY (DOMESTIC)	GOOD STANDING

Filing Date	Expiration Date	Jurisdiction
08/12/2019	N/A	MAINE

Other Names (A=Assumed ; F=Former)

NONE

Clerk/Registered Agent

JAMES N. BRODER, ESQ.
C/O BERNSTEIN SHUR
P.O. BOX 9729
PORTLAND, ME 04104 5029

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(\$30.00)

(\$30.00)

C

Notice of Intent to File

Public Notice
Notice of Intent to File

Please take notice that Fallbrook Senior Care Development, LLC is intending to file a Natural Resource Protection Act and an amended Site Location of Development Act permit application with the Maine Department of Environmental Protection pursuant to the provisions of 38 M.R.S.A. §§ 480-A thru 480-BB and §§ 481 thru 490 on or about November 13, 2019.

The applicant is proposing to construct a new two-story 58,197 s.f. senior care facility. Improvements will result in approximately 37,787 s.f of wetland impacts, the creation of approximately 2.7 acres of new impervious surface, and 5.6 acres of developed area.

A request for a public hearing or a request that the Board of Environmental Protection assume jurisdiction over this application must be received by the Department in writing, no later than 20 days after the application is found by the Department to be complete and is accepted for processing. A public hearing may or may not be held at the discretion of the Commissioner or Board of Environmental Protection. Public comment on the application will be accepted throughout the processing of the application.

The application will be filed for public inspection at the Department of Environmental Protection's office in Portland during normal working hours. A copy of the application may also be seen at the City of Portland municipal offices.

Written public comments may be sent to the Southern Maine Regional Office in Portland at MDEP, Southern Maine Regional Office, 312 Canco Road, Portland, Maine 04103 where the application is filed for public inspection.

D

**Public Notice Certification
Abutter List
Certified Mail Receipts**

DUNCAN JORDAN TYLER &
KATHERINE ELISE DUNCAN JTS
365 RAY ST
PORTLAND ME 04103

KHUU HON
316 RAY ST
PORTLAND ME 04103

ANDERSON MATTHEW A
76 FLORIDA AVE
PORTLAND ME 04103

PARADIS WILLIAM M & SARAH C
PARADIS JTS
355 RAY ST
PORTLAND ME 04103

REGAN BRENDAN S
114 FLORIDA AVE
PORTLAND ME 04103

YORK MEGAN T & JONATHAN A
YORK JTS
72 FLORIDA AVE
PORTLAND ME 04103

KWIECIEN STANISLAW
343 RAY ST
PORTLAND ME 04103

CHRISTIAN SABRINA KATHRYN
110 FLORIDA AVE
PORTLAND ME 04103

BORLAWSKY JOY M & MICHAEL
J SR
62 FLORIDA AVE
PORTLAND ME 04103

SMITH JASON D & LAURIE R
SMITH JTS
354 RAY ST
PORTLAND ME 04103

PACKARD MARY A & AMANDA
M & ALICIA L PACKARD
106 FLORIDA AVE
PORTLAND ME 04103

HAYES JEFFREY A TRUSTEE
21 MARTIN AVE
SCARBOROUGH ME 04074

MORGAN DEBORA D
352 RAY ST
PORTLAND ME 04103

HASSON HAYLEE E
100 FLORIDA AVE
PORTLAND ME 04103

JUDKINS BERTHA L
127 PINE TREE LN
FARMINGTON ME 04938

MOODY GLADYS A
344 RAY ST
PORTLAND ME 04103

CARR HILARY
96 FLORIDA AVE
PORTLAND ME 04103

HOUSE OF HOGWARTS LLC
86 CRAIGIE ST
PORTLAND ME 04102

WEBB MARILYN D
340 RAY ST
PORTLAND ME 04103

URBACH PAULA M
92 FLORIDA AVE
PORTLAND ME 04103

COOMBS PATRICIA L
459 ALLEN AVE APT 24
PORTLAND ME 04103

SCHOLZ JOHN M
334 RAY ST
PORTLAND ME 04103

HOUSEAL IAN P
86 FLORIDA AVE
PORTLAND ME 04103

MCDONALD PATRICIA A &
CATHERINE E MCDONALD
368 RAY ST
PORTLAND ME 04103

HILTZ JAIME L
11 BUNKER HILL TER
SCARBOROUGH ME 04074

GARCIA LUIS O & MONICA M
GARCIA JTS
80 FLORIDA AVE
PORTLAND ME 04103

DONOVAN ROBYN J & TIMOTHY
P DONOVAN JTS
378 RAY ST
PORTLAND ME 04103

DIPIETRO DAVID
326 RAY ST
PORTLAND ME 04103

SNOW CORY & SHEILA J
SULLIVAN JTS
398 RAY ST
PORTLAND ME 04103

JOHNSON RONALD S & LINDA J
JTS
26 MERRYMEETING DR
PORTLAND ME 04103

DOUGHTY BEN HILTON &
CAROL N DOUGHTY JTS
54 FLORIDA AVE
PORTLAND ME 04103

18347
11-12-19

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DUNCAN JORDAN TYLER & KATHERINE ELISE
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365 RAY ST
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DIPIETRO DAVID
326 RAY ST
PORTLAND ME 04103

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Service	\$ _____	
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REGAN BRENDAN S
 114 FLORIDA AVE
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Postage	\$ _____	Postmark Here
Total	\$ _____	
Service	\$ _____	
State	_____	
City	_____	

CHRISTIAN SABRINA KATHRYN
 110 FLORIDA AVE
 PORTLAND ME 04103

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Postage	\$ _____	Postmark Here
Total	\$ _____	
Service	\$ _____	
State	_____	
City	_____	

PACKARD MARY A & AMANDA M & ALICIA L
 PACKARD
 106 FLORIDA AVE
 PORTLAND ME 04103

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<input type="checkbox"/> Adult Signature Restricted Delivery	\$

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Street

City, St.

HASSON HAYLEE E
100 FLORIDA AVE
PORTLAND ME 04103

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<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

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Postage

\$ Total P

\$ Sent To

Street

City, St.

CARR HILARY
96 FLORIDA AVE
PORTLAND ME 04103

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Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postmark
Here

Postage

\$ Total

\$ Sent

Street

City, St.

URBACH PAULA M
92 FLORIDA AVE
PORTLAND ME 04103

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Street

City, State

HOUSEAL IAN P
86 FLORIDA AVE
PORTLAND ME 04103

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Street

City, State

GARCIA LUIS O & MONICA M GARCIA JTS
80 FLORIDA AVE
PORTLAND ME 04103

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Street

City, State

JOHNSON RONALD S & LINDA J JTS
26 MERRYMEETING DR
PORTLAND ME 04103

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ANDERSON MATTHEW A
76 FLORIDA AVE
PORTLAND ME 04103

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Postage

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Total

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Sen

Stre

City

YORK MEGAN T & JONATHAN A YORK JTS
72 FLORIDA AVE
PORTLAND ME 04103

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Postage

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Total

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Stre

City

BORLAWSKY JOY M & MICHAEL J SR
62 FLORIDA AVE
PORTLAND ME 04103

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See Reverse for Instructions

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Total	\$
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Sir	\$
City	\$

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HAYES JEFFREY A TRUSTEE
 21 MARTIN AVE
 SCARBOROUGH ME 04074

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Sir	\$
City	\$

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JUDKINS BERTHA L
 127 PINE TREE LN
 FARMINGTON ME 04938

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Total	\$
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Sir	\$
City	\$

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HOUSE OF HOGWARTS LLC
 86 CRAIGIE ST
 PORTLAND ME 04102

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<input type="checkbox"/> Adult Signature Restricted Delivery	\$ _____

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DOUGHTY BEN HILTON & CAROL N DOUGHTY
JTS
54 FLORIDA AVE
PORTLAND ME 04103

E

Agent Authorization

Attachment 1

Project Description, Wetlands Memo

Project Description

The project includes a new 90-bed licensed nursing care center located next to Fallbrook Woods assisted living facility. The campus approach will allow visitors to access both facilities, provide a seamless transfer for assisted living residents that might need nursing care services, and allow an opportunity for shared support services and management. The development includes the construction of a two story, 58,197 sf building that will include three separate “neighborhoods” within the building with a shared commercial kitchen, community areas, and two parking areas totaling 92 parking spaces. Fallbrook Commons proposes a main entrance off Ray Street, and an emergency connection to Merrymeeting Drive.

This project will happen as one phase, which will involve clearing the incidental vegetation, ledge removal, and site preparations for the building, and stormwater BMP’s. Construction is expected to commence Summer 2020 and be completed by late 2021.



Memorandum

18347To: Kylie Mason

From: Mike Jakubowski

Date: May 14, 2019

Subject: #18347 – Fallbrook

The wetlands on this site were delineated by Gary Fullerton and Mike Jakubowski of Sebago Technics, Inc. in September of 2018. This delineation conforms to the standards and methods outlined in the 1987 Wetlands Delineation Manual and Regional Supplement authored and published by the U.S. Army Corps of Engineers. The wetlands were marked in the field with alpha numeric pink “wetland delineation” flagging. The flags were then located using a Trimble gps backpack unit capable of decimeter accuracy.

Wetlands found are classified as forested wetlands (PFO). The vegetation in these PFO wetlands primarily consists of, maple (*Acer spp.*), speckled alder (*Alnus incana*), cinnamon fern (*Osmundastrum cinnamomeum*), sensitive fern (*Onoclea sensibilis*), and jewelweed (*Impatiens capensis*). Upland vegetation primarily consists of white pine (*Pinus strobus*) and red oak (*Quercus rubra*).

A vernal pool survey was conducted on May 6th, 2019. No vernal pools were identified on the property. There has been no field determination for streams and it is not suspected that there are streams present on this property.



Photograph 1. PFO wetland at western extent of project boundary.



Photograph 2. PFO wetland at eastern extent of project boundary.



Photograph 3. PFO wetland at eastern extent of project boundary.



Photograph 4. PFO wetland at eastern extent of project boundary, near access road.

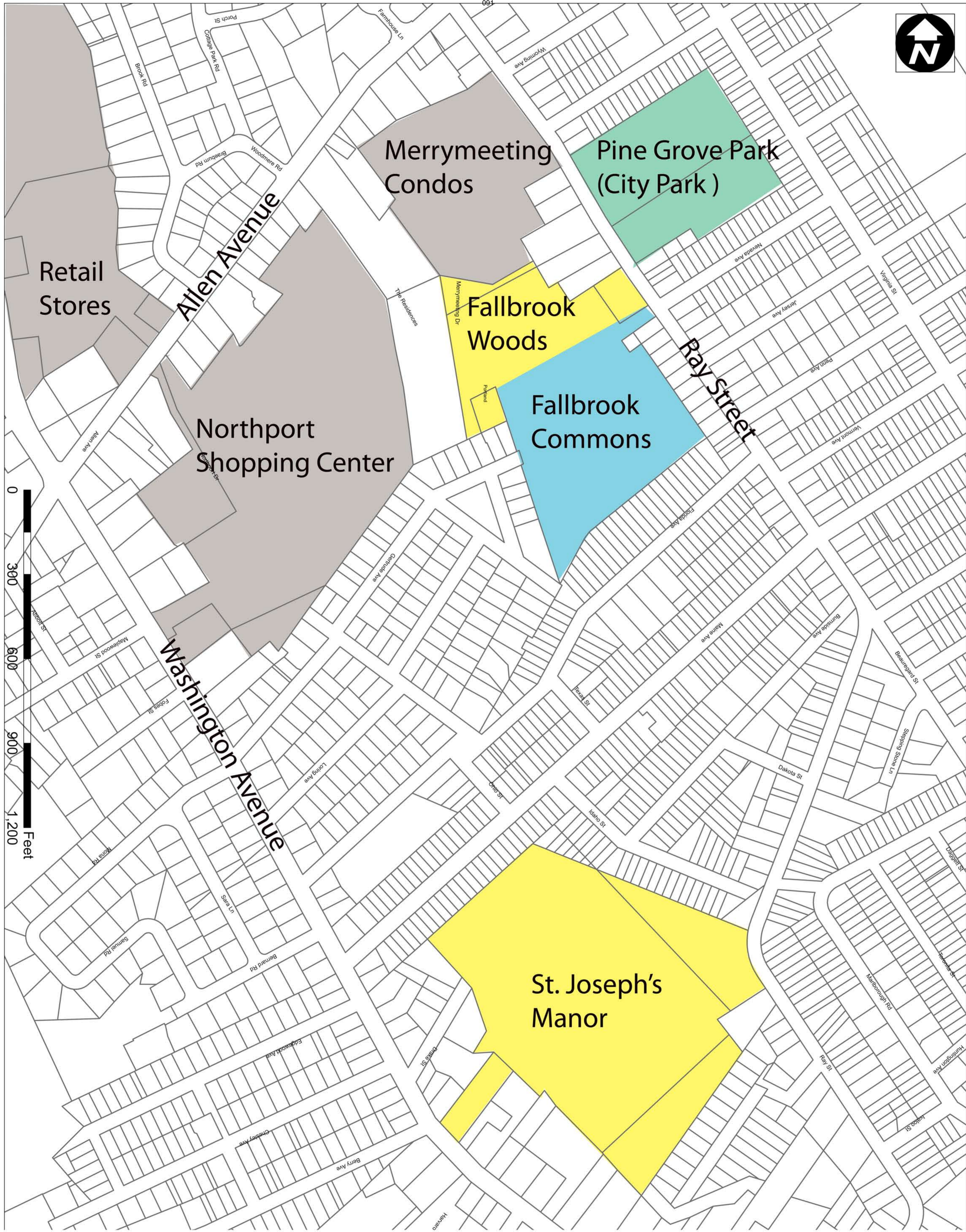
Attachment 2

Alternative Analysis

FALLBROOK COMMONS TIER 2 NRPA PERMIT

ALTERNATIVES ANALYSIS, AVOIDANCE AND MINIMIZATION

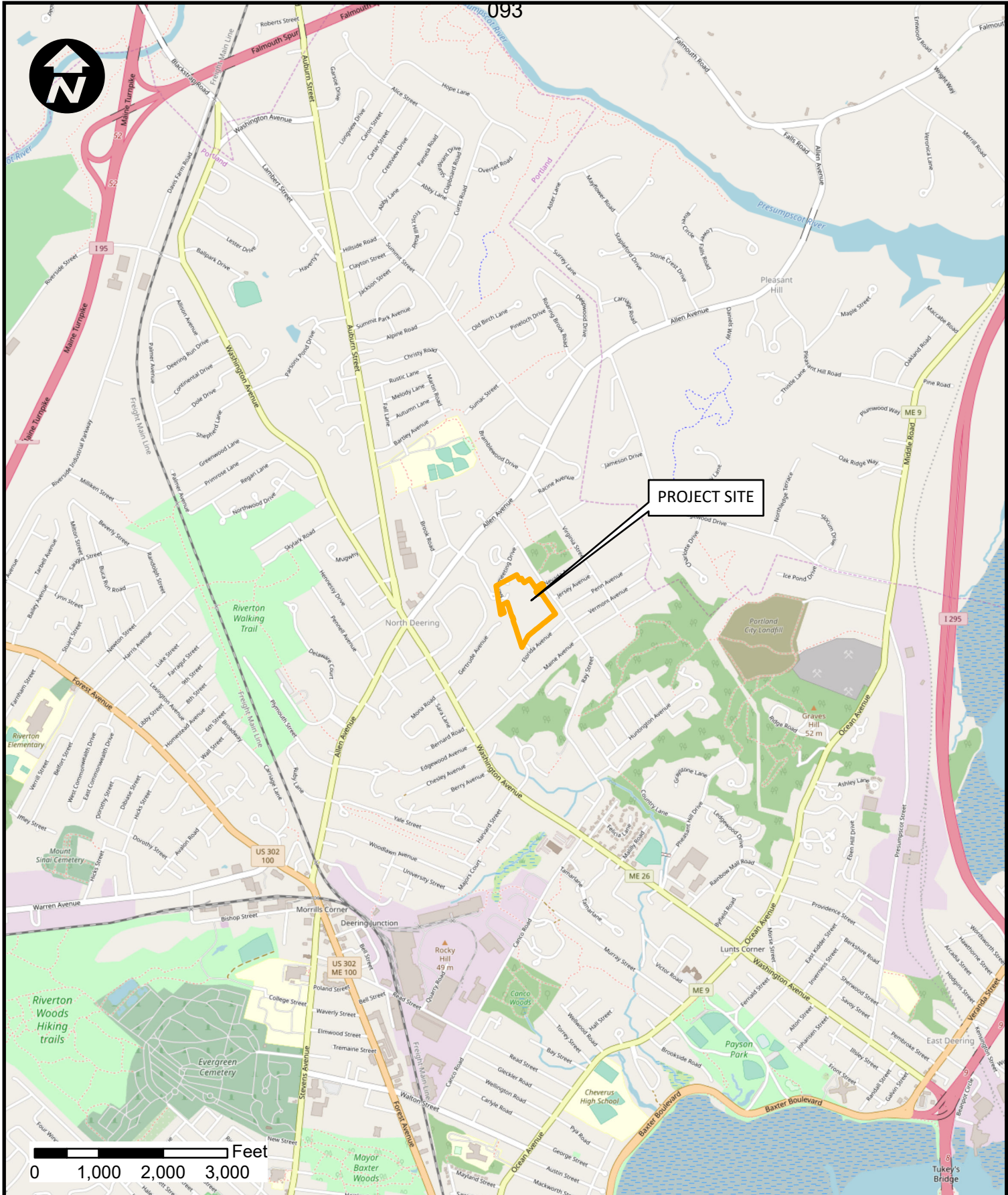
- Purpose and Need – The sole purpose of the Fallbrook Commons project is to replace the existing St. Joseph’s Manor elderly care facility located on Washington Avenue. St. Joseph’s Manor will be closing as the building is aged and does not meet the standards of today’s elderly care standards.
- Search for Available Sites – The Fallbrook Commons building accommodate 90 resident beds and the building and site improvements require approximately 6 acres of undeveloped property. The applicant searched for available sites of that size in the nearby vicinity of St. Joseph’s Manor. The search area was limited to the vicinity of St. Joseph’s, as this is very important to family members who currently visit elderly care residents.
The only site available is the site selected for the project. See the attached AREA CONTEXT MAP – most of the parcels in the vicinity are small single family homes, others are established retail centers and one City park.
- Alternative 1 – Do nothing. This alternative is not practical as the purpose and need of the project would not be met.
- Alternative 2- Build the new facility on the existing St. Joseph’s Manor property. This alternative is not possible, the applicant does not own the site, and the property owner does not wish to have a replacement building constructed on its property.
- Alternative 3 – Build the new facility on the selected site as a single story structure. This alternative is the most attractive alternative to the applicant. The new facility is ideally located adjacent to Fallbrook Woods, an existing elderly care facility. The two buildings provide different levels of care and will share management resources. It is anticipated that residents may transfer from one facility to the other, and that some families will have a relative at both buildings. A single story building is preferred for elderly care facilities, as it affords residents easy access to outdoor garden areas and courtyards.
While Alternative 3 is the most attractive alternative, the applicant has also considered Alternative 4.
- Alternative 4 – Build the new facility on the selected site, however, incorporate a second floor on a portion of the building. The purpose of this alternative is to reduce the building footprint and lessen the area of wetland impacts. A modest sized courtyard will be available to residents on the second level. This alternative removes one acre of wetland impact.
- Avoidance – The applicant has selected to move forward with Alternative 4, with a wetland impact of 37, 787 square feet. By locating the proposed building and parking areas to the greatest extent possible on upland areas, the avoidance criteria is met.
- Minimization - The applicant has met the minimization standard in two ways –
 - Incorporating a second story, reducing the building footprint and wetland impacts.
 - Incorporating 2:1 fill slopes and retaining walls, reducing wetland impacts.



**AREA CONTEXT PLAN -
VICINITY OF ST. JOSEPH'S MANOR**

Attachment 3

Location Map



**SITE LOCATION MAP
FALLBROOK COMMONS**

SCALE: 1:24,000
DATE: 10/22/2019

LOCATION: 60 MERRYMEETING DRIVE
PORTLAND, ME

INFORMATION: USGS Quadrangle: Portland West



WWW.SEBAGOTECHNICS.COM
75 John Roberts Rd., Suite 4A
South Portland, ME 04110
Tel. 207-200-2100

Attachment 4

Right, Title and/or Interest

**AGREEMENT FOR PURCHASE AND SALE
OF
REAL ESTATE**

AGREEMENT (“Agreement”) made and entered into this 28th day of August, 2019, by and between Fallbrook Properties, LLC , a Maine corporation (“Seller”), having a mailing address of 60 Merrymeeting Drive, Portland, Maine 04013 and Fallbrook Care Development LLC, a Maine corporation with an address of PO Box 110, Portland, Maine 04112 or its assigns (“Buyer”).

RECITALS

Seller is party to a Memorandum of Agreement relating to a project that entails the conveyances by Seller to a Joint Venture of real property (two land parcels) located adjacent to Fallbrook Woods in Portland, Maine, and the use of such assets by Buyer to develop, build and operate a new assisted living facility. This Agreement for the Purchase and Sale of Real Estate is contemplated by the Memorandum of Agreement., Joint Venture, dates August 28, 2019.

In consideration of the mutual covenants and agreements herein contained herein, the receipt and sufficiency of which are hereby acknowledged, Seller and Buyer hereby agree as follows:

1. PURCHASE AND SALE. Seller agrees to sell, and Buyer agrees to buy, on the terms and conditions hereinafter set forth certain real estate, and all appurtenances thereof, consisting of two parcels of real estate shown for illustration purposes in the diagram attached as Exhibit A. Copies of the legal descriptions to be used in conveying the Property are annexed hereto and incorporated herein by reference as Exhibit B (collectively to be referred to as the “Property”).
2. PURCHASE PRICE AND DEPOSIT: As consideration for the conveyance of the Property, Buyer shall pay to Seller at Closing the sum of \$800,000.
3. PERFORMANCE AT CLOSING: At Closing, Seller shall deliver to Buyer a deed, conveying the Property in fee simple with good and marketable title in accordance with standards of title adopted by the Maine Bar Association, and subject to the Permitted Encumbrances, and Buyer shall pay the Purchase Price as provided herein and execute all necessary papers for the completion of the purchase on or before August 30, 2020, unless extended by mutual agreement of the parties.

period, not to exceed 30 days from the time Seller receives written notice of the defect, unless otherwise agreed to by both parties, to remedy the title, after which time, if such defect is not corrected so that there is marketable title, Buyer may within forty-five (45) days thereafter, at Buyer's option, withdraw said earnest money and neither party shall have any further obligation hereunder. Seller hereby agrees to make a good-faith effort to cure any title defect during such period, but shall not be obligated to expend more than \$5,000 to cure. If Closing of the real estate transaction is delayed on account of such defects, the parties shall bargain regarding whether and the terms under which the remainder of the closing contemplated under the Memorandum of Agreement may be consummated and this real estate transaction completed thereafter.

- b. Seller further agrees to execute and deliver to Buyer at Closing the following documents: (i) a Certificate of Non-Foreign Status (as required by Internal Revenue Service regulations); (ii) a title insurance "Seller's Affidavit" regarding mechanics liens and persons in possession; (iii) an affidavit regarding underground storage tanks (as required by Maine Law), and (iv) documents demonstrating Seller's authority to convey and good standing as evidenced by a copy of Seller's resolution authorizing the transaction contemplated herein and all other documents regarding authority or any other matter reasonably required from the Closing.
- c. To the extent that the conveyance of title to the Property to Buyer requires the subdivision of lots, Buyer shall bear the cost, or shall reimburse Seller, for the cost of any outside legal and surveyor expense reasonably necessary to secure such subdivision, including any necessary municipal or other approvals.

4. DEED: The Property shall be conveyed by a quitclaim with covenant deed and shall be free and clear of all encumbrances except for Permitted Encumbrances, and except for covenants, conditions, easements and restrictions of record and usual public utilities servicing the Property and shall be subject to applicable land use and building laws and regulations.

5. POSSESSION/OCCUPANCY: Possession/occupancy of Property shall be given to Buyer immediately at Closing unless otherwise agreed by both parties in writing.

6. RISK OF LOSS: Until transfer of title, the risk of loss or damage to said Property by fire or otherwise is assumed by Seller unless otherwise agreed in writing. Said Property shall at closing be in substantially the same condition as at present, excepting reasonable use and wear.

7. PRORATIONS: The following items shall be prorated as of the date of closing:

- a. Buyer and Seller shall each pay one-half of the transfer tax as required by the laws of the State of Maine.

- b. Buyer and Seller shall reasonably cooperate on the proration of any other needed item at Closing. The property is vacant land, and so no heating oil or water and sewer charges are expected.
 - c. Real Estate Taxes for any portions of the Property subject to such taxes, based on the municipality's current tax year.
8. INSPECTION. Buyer may enter into any part of the Property at all reasonable times in order to inspect the Property, conduct surveys, soil tests and engineering studies and to do such things as are reasonably necessary with respect to its acquisition and intended development of the Property. In the event that the Buyer does not terminate this Agreement, this inspection contingency to its obligation to close shall be conclusively deemed waived.
9. AGENCY DISCLOSURE: Buyer and Seller acknowledge that they have not engaged a real estate broker in their transaction.
10. PRIOR STATEMENTS: This Agreement and the referenced Memorandum of Agreement set forth the entire agreement between the parties relating to the conveyance of the property described in Exhibit A, and there are no other representations, agreements or understandings with respect to the subject matter of this Agreement.
11. ASSIGNS: This Agreement shall extend to and be obligatory upon successors, and assigns of the respective parties. This Agreement may be assigned only to persons or entities controlling, controlled by, or under common control of a party.
12. COUNTERPARTS: This Agreement may be signed on any number of identical counterparts, including telefax copies, with the same binding effect as if all of the signatures were on one instrument.
13. BUYER'S NOMINEE: Buyer may transfer its rights under this Agreement to an entity or the nominee which it controls. Buyer shall, however, remain jointly and severally liable with such transferee for all of Buyer's obligations under this Agreement and under the Memorandum of Agreement, and such transferee shall be required to assume joint and several liability for all such obligations. Buyer shall give Seller prompt written notice of any such transfer at least seven (7) days before the scheduled Closing, which notice shall include sufficient information to identify the transferee entity or nominee and certified copies of its organizational documents. No assignment shall be valid unless Seller has approved the agreement pursuant to which the assignment is consummated. No other assignment of this Agreement by Buyer is permitted.
14. EFFECTIVE DATE: This Agreement is a binding contract when signed by both Seller and Buyer and when that fact has been communicated to all parties or to their agents. Time is of the essence of this Agreement to the extent set forth in the Master Agreement.

15. BEST EFFORTS: Each of the parties shall undertake to take all reasonable steps necessary to achieve the satisfaction of conditions leading to a Closing under this Agreement.

16. FACSIMILE COPIES: All parties to this Agreement agree to accept facsimile or photocopies of this document and any signatures thereto as originals.

17. REPRESENTATIONS OF SELLER: Seller represents to Buyer that the following are true as of the date of this Agreement and will be true as of the Closing:

- a. To the best of Seller's knowledge, there are no violations of any applicable law, ordinance or regulation at the Property.
- b. To the best of Seller's knowledge, there are no special wastes, underground storage tanks, asbestos containing materials, waste oil, petroleum and any other hazardous substances, materials or wastes contaminating the Property. The terms used in the foregoing sentence shall include, without limitation, all substances, materials, etc., designated by such terms under any laws, ordinances, or regulations, whether federal, state, or local. This presentation shall except such materials used in the regular course of business and disposed of in compliance with all applicable laws.
- c. Other than matters of record that constitute Permitted Encumbrances, there are no outstanding pending or threatened liens, claims, rights of first refusal, or encumbrances against the Property.

18. NOTICES. Any notice or communication given pursuant to this Agreement by either of the parties to the other shall be in writing and delivered as provided in the Master Agreement for notices.

19. GOVERNING LAW. This Agreement shall be construed according to the laws of the State of Maine.

20. TERMINATION OF AGREEMENT. This Agreement shall terminate if:

- a. The Memorandum of Agreement is terminated.
- b. Any other condition precedent set forth in the Memorandum of Agreement required to be fulfilled is not fulfilled (or waived by the party having the waive such condition) by August 30, 2020.

a. The Memorandum of Agreement is terminated. ⁰⁹⁹

b. Any other condition precedent set forth in the Memorandum of Agreement required to be fulfilled is not fulfilled (or waived by the party having the waive such condition) by August 30, 2020.

Seller acknowledges that the laws of the State of Maine provide that every buyer of real property located in Maine must withhold a withholding tax equal to 2-1/2% of the consideration unless Seller furnishes to Buyer a certificate by the Seller stating, under penalty of perjury, that Seller is a resident of Maine or the transfer is otherwise exempt from withholding.

Buyer Fallbrook Core Development LLC
_____ ~~Tax I.D.~~




Signature

Daniel J. Maguire
Name/Title, there unto duly authorized
Member

Seller accepts Buyer's offer and agrees to deliver the Property at the price and upon the terms and conditions set forth above.

Signed this 20th day of August, 2019.

Seller FALLBROOK PROPERTIES, LLC Tax I.D. # 270433266

by: 
Signature

JOHN C. ORESTIS, PRINCIPAL & MANAGING MEMBER
Name/Title, there unto duly authorized

EXHIBIT A

(legal descriptions begin on next page)



8.28 ACRE PARCEL

PROPOSED BUILDING

101

FLORIDA AVENUE

400' STREET

200' STREET

100' STREET

50' STREET

20' STREET

DATE: 10/14/14
 PROJECT: NURSING CARE
 DRAWN BY: [Name]
 CHECKED BY: [Name]

SEBAGO
 ENGINEERS & ARCHITECTS

Exhibit A

**AGREEMENT FOR PURCHASE AND SALE
OF
REAL ESTATE**

AGREEMENT (“Agreement”) made and entered into this 28th day of August, 2019, by and between Fallbrook Properties, LLC , a Maine corporation (“Seller”), having a mailing address of 60 Merrymeeting Drive, Portland, Maine 04013 and Fallbrook Care Development LLC, a Maine corporation with an address of PO Box 110, Portland, Maine 04112 or its assigns (“Buyer”).

RECITALS

Seller is party to a Memorandum of Agreement relating to a project that entails the conveyances by Seller to a Joint Venture of real property (two land parcels) located adjacent to Fallbrook Woods in Portland, Maine, and the use of such assets by Buyer to develop, build and operate a new assisted living facility. This Agreement for the Purchase and Sale of Real Estate is contemplated by the Memorandum of Agreement., Joint Venture, dates August 28, 2019.

In consideration of the mutual covenants and agreements herein contained herein, the receipt and sufficiency of which are hereby acknowledged, Seller and Buyer hereby agree as follows:

1. PURCHASE AND SALE. Seller agrees to sell, and Buyer agrees to buy, on the terms and conditions hereinafter set forth certain real estate, and all appurtenances thereof, consisting of a parcel of real estate shown for illustration purposes in the diagram attached as Exhibit A. Copies of the legal description to be used in conveying the Property are annexed hereto and also incorporated herein by reference as Exhibit A (collectively to be referred to as the “Property”).
2. PURCHASE PRICE AND DEPOSIT: As consideration for the conveyance of the Property, Buyer shall pay to Seller at Closing the sum of \$800,000.
3. PERFORMANCE AT CLOSING: At Closing, Seller shall deliver to Buyer a deed, conveying the Property in fee simple with good and marketable title in accordance with standards of title adopted by the Maine Bar Association, and subject to the Permitted Encumbrances, and Buyer shall pay the Purchase Price as provided herein and execute all necessary papers for the completion of the purchase on or before August 30, 2020, unless extended by mutual agreement of the parties.

EXHIBIT A
Proposed Description Parcel One

A certain lot or parcel of land situated on the westerly sideline of Ray Street in the City of Portland, County of Cumberland, State of Maine as depicted on a plan titled "Existing Conditions of Fallbrook Nursing Care, Merrymeeting Drive, Portland, Maine for Sandy River Company, 217 Commercial Street, Suite 201, Portland, Maine 04112, Record Owner Fallbrook Properties, LLC, 418 Ray Street, Portland Maine 04103" by Sebago Technics, Inc., dated May 30, 2019 and revised through July 10, 2019 to be recorded in the Cumberland County Registry of Deeds (CCRD) and being more particularly bounded and described as follows:

Beginning at a 5/8-inch rebar, 6-inches above grade on the westerly sideline of Ray Street and the northerly corner of land now or formerly of Amanda J. Connelly as described in a deed recorded in the CCRD in Book 34668, Page 155;

Thence S 54°32'18" W, along land now or formerly of Amanda J. Connelly and land now or formerly of Donald A. Thompson, Jr. and Evelyn L. Thompson JTS as described in a deed recorded in the CCRD in Book 6632, Page 99, a distance of 150.00 feet to a 5/8-inch iron rod, 8-inches above grade;

Thence S 35°27'42" E, along land now or formerly of Donald A. Thompson, Jr. and Evelyn L. Thompson JTS, a distance of 50.00 feet to a 5/8-inch rebar with plastic cap inscribed "STI PLS 2534" to be set;

Thence N 54°32'18" E, along land now or formerly of Donald A. Thompson, Jr. and Evelyn L. Thompson JTS, a distance of 50.00 feet to a 5/8-inch rebar with plastic cap inscribed "STI PLS 2534" to be set at land now or formerly of Jason D. Smith and Laurie R. Smith JTS as described in a deed recorded in the CCRD in Book 32730, Page 23;

Thence S 35°27'42" E, along land now or formerly of Jason D. Smith and Laurie R. Smith JTS and land now or formerly of Debora D. Morgan as described in a deed recorded in the CCRD in Book 13636, Page 105, a distance of 72.78 feet to a point;

Thence S 34°40'07" E, along land now or formerly of Debora D. Morgan, Gladys A. Moody as described in a deed recorded in the CCRD in Book 32780, Page 65, Marilyn D. Webb as described in a deed recorded in the CCRD in Book 29023, Page 310, Anna J. Aiken and James W. Aiken JTS as described in a deed recorded in the CCRD in Book 25390, Page 8, John M. Scholz as described in a deed recorded in the CCRD in Book 10841, Page 202, Jaime L. Hiltz as described in a deed recorded in the CCRD in Book 23255, Page 247 and David DiPietro as described in a deed recorded in the CCRD in Book 32054, Page 195, a distance of 333.24 feet to a 5/8-inch iron rod, 15-inches above grade at land now or formerly of Hon Khuu as described in a deed recorded in the CCRD in Book 32424, Page 248 and land now or formerly of Regan S. Brendan as described in a deed recorded in the CCRD in Book 32806, Page 341;

Thence S 54°36'33" W, along land now or formerly of Regan S. Brendan, a distance of 51.09 feet to a point;

Thence S 51°05'03" W, along land now or formerly of Regan S. Brendan, land now or formerly of Christian Sabrina Katheryn as described in a deed recorded in the CCRD in Book 32949, Page 39, land now or formerly of Mary A. Packard and Amanda M. Packard as described in a deed recorded in the CCRD in Book 10936, Page 100, land now or formerly of Haylee E. Hasson as described in a deed recorded in the CCRD in Book 33706, Page 89, land now or formerly of Hilary Carr as described in a deed recorded in the CCRD in Book 29976, Page 255, land now or formerly of Paula M. Urbach as described in a deed recorded in the CCRD in Book 31613, Page 621, land now or formerly of Ian P. Houseal as described in a deed recorded in the CCRD in Book 30070, Page 164, land now or formerly of Luis O. Garcia and Monica M. Garcia JTS as described in a deed recorded in the CCRD in Book 30353, Page 291 and land now or formerly of Matthew A. Anderson as described in a deed recorded in the CCRD in Book 32380, Page 112, a distance of 481.12 feet to a 5/8-inch iron rod, 12-inches above grade;

Thence S 37°28'58" W, along land now or formerly of Matthew A. Anderson, a distance of 29.58 feet to a 5/8-inch rebar with plastic cap inscribed "STI PLS 2534" to be set;

Thence S 28°22'08" W, along land now or formerly of Matthew A. Anderson, land now or formerly of Megan T. and Jonathan A. York JTS as described in a deed recorded in the CCRD in Book 25317, Page 156 and land now or formerly of Joy M. and Michael J. Borlawsky as described in a deed recorded in the CCRD in Book 9606, Page 268, a distance of 186.45 feet;

Thence S 29°23'41" W, along land now or formerly of Joy M. and Michael J. Borlawsky, a distance of 20.45 feet to a 5/8-inch rebar with plastic cap inscribed "STI PLS 2534" to be set at the centerline of the vacated Wadco Street as depicted on a Plan recorded at the CCRD in Plan Book 16, Page 29;

Thence N 54°10'52" W, through the vacated Wadco Street, a distance of 182.25 feet to a 5/8-inch rebar with plastic cap inscribed "STI PLS 2534" to be set;

Thence N 18°20'52" W, through the vacated Wadco Street and the vacated Ash Street as depicted on a Plan recorded at the CCRD in Plan Book 16, Page 29, a distance of 108.08 feet to a 5/8-inch rebar with plastic cap inscribed "STI PLS 2534" to be set;

Thence N 71°39'08" E, through the vacated Ash Street and along land now or formerly of Jeffrey A. Hayes Trustee as described in a deed recorded in the CCRD in Book 30716, Page 21, a distance of 123.80 feet to a point;

Thence N 17°52'57" W, along land now or formerly of Jeffrey A. Hayes Trustee, land now or formerly of Bertha L. Judkins as described in a deed recorded in the CCRD in Book 7750, Page 196, Topsham Street as depicted on a Plan recorded at the CCRD in Plan Book 16, Page 29, land now or formerly of House of Hogwarts, LLC as described in a deed recorded in the CCRD in Book 34616, Page 309, a distance of 369.17 feet to a 1-inch iron pipe, 2-inches above grade;

Thence N 18°18'12" W, along land now or formerly of House of Hogwarts, LLC, a distance of 125.00 feet to a 5/8-inch rebar with plastic cap inscribed "STI PLS 2534" to be set;

Thence S 79°57'00" E, through land of Fallbrook Properties, LLC, a distance of 99.99 feet to a 5/8-inch rebar with plastic cap inscribed "STI PLS 2534" to be set;

Thence N 54°32'18" E, through land to be retained by Fallbrook Properties, LLC, a distance of 420.18 feet to a 5/8-inch rebar with plastic cap inscribed "STI PLS 2534" to be set at other land of Fallbrook Properties, LLC;

Thence continuing N 54°32'18" E, through other land of Fallbrook Properties, LLC, a distance of 119.82 feet to a 5/8-inch rebar with plastic cap inscribed "STI PLS 2534" to be set on the westerly sideline of Ray Street;

Thence S 35°27'42" E, along Ray Street, a distance of 55.00 feet to the Point of Beginning;

Containing approximately 8.28 Acres.

The bearings herein are Grid North, Maine State Plane Coordinate System, West Zone 1802, NAD83.

August 28, 2019

AJS/jg

Current Owner Information:

CBL	400 D023001
Land Use Type	RETAIL & PERSONAL SERVICE
Verify legal use with Inspections Division	
Property Location	60 MERRYMEETING DR
Owner Information	FALLBROOK PROPERTIES LLC 418 RAY ST PORTLAND ME 04103
Book and Page	27501/183
Legal Description	400-D-23 402-I-1 403-F-1 RAY ST 362-362 MERRYMEETING DR 60 549978 SF
Rental Registration	No
Acres	12.6258

Current Assessed Valuation:

TAX ACCT NO.	25421	OWNER OF RECORD AS OF APRIL 2019
LAND VALUE	\$305,600.00	FALLBROOK PROPERTIES LLC
BUILDING VALUE	\$3,086,400.00	418 RAY ST
NET TAXABLE - REAL ESTATE	\$3,392,000.00	PORTLAND ME 04103
TAX AMOUNT	\$79,067.52	

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).

Building Information:

Building 1

Year Built 1993
Style/Structure Type
Units 1
Square Feet 27600

[View Sketch](#)

[View Map](#)

**Exterior/Interior Information:****Building 1**

Levels 01/01
Size 27600
Use NURSING HOME
Height 9
Walls FRAME
Heating HEAT PUMP
A/C CENTRAL

Other Features:**Building 1**

Structure SPRINKLER - WET
Size 27600X1

Building 1

Structure CANOPY - ONLY
Size 708X1

Outbuildings/Yard Improvements:

Building 1

Year Built 1993
Structure ASPHALT PARKING
Size 20000
Units 1
Grade C
Condition 3

Building 1

Year Built 1993
Structure LIGHT - MERCURY VAPOR,
POLE
Size 1X1
Units 6
Grade C
Condition 3

Building 1

Year Built 1993
Structure SHED-FRAME
Size 10X14
Units 1
Grade C
Condition 3

Sales Information:

Sale Date	Type	Price	Book/Page
12/30/2009	LAND + BUILDING	\$0.00	27501/183

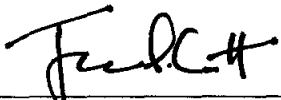
SHORT FORM QUITCLAIM DEED WITH COVENANT

FALLBROOK, INC., a Maine corporation with a principal place of business in Portland, Maine, FOR CONSIDERATION PAID, grants to **FALLBROOK PROPERTIES, LLC**, a Maine limited liability company whose mailing address is 418 Ray Street, Portland, Maine 04103, with QUITCLAIM COVENANT certain real property, together with any improvements thereon, located at 418 Ray Street, Portland, Cumberland County, Maine, and more particularly described on Exhibit A attached hereto and made a part hereof (the "Premises").


IN WITNESS WHEREOF, Fallbrook, Inc. has caused this instrument to be executed by Robert J. Feeney, its President thereunto duly authorized, this 15th day of December, 2009.

WITNESSETH:

FALLBROOK, INC.



Name:

By: 
Name: Robert J. Feeney
Title: President

State of Maine
County of Cumberland, ss.

December 15, 2009

PERSONALLY APPEARED the above-named Robert J. Feeney, President of Fallbrook, Inc., as aforesaid, and acknowledged the foregoing instrument to be his free act and deed in his said capacity and the free act and deed of said corporation.

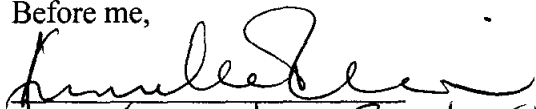
Before me,

Name: Kevan Lee Rinehart
Title: Attorney ME 9303

EXHIBIT A

A certain parcel of land situated Westerly of Ray Street in the City of Portland, County of Cumberland and State of Maine bounded and described as follows:

Beginning at the southeasterly corner of Fallbrook, a Condominium, at a point on the Westerly sideline of land now or formerly of John N. Jr. and Glennis E. Fitzpatrick (Book 2773, Page 224);

Thence, S 13°-05'-20" E by the land of Fitzpatrick 110.00 feet to a point marked by a 5/8" iron rod set;

Thence, N 76°-54'-40" E by the land of Fitzpatrick 256.90 feet to a point on the Westerly sideline of Ray Street marked by 5/8" iron rod set;

Thence, S 16°-25'-15" E by the sideline of Ray Street 1.42 feet to a point marked by a 5/8" iron rod set at the land now or formerly of Ivan G. and Edwina F. Callahan (Book 2997, Page 486);

Thence, S 73°-34'-45" W by the land of Callahan 220.00 feet to a point marked by a 5/8" iron rod set;

Thence, S 16°-25'-15" E by the land of Callahan 65.00 feet to a point marked by a 5/8" iron rod set;

Thence, N 73°-34'-45" E by the land of Callahan 100.00 feet to a point marked by a 5/8" iron rod set at the land now or formerly of Malcolm A. and Gail E. McDonald (Book 3614, Page 219);

Thence, S 18°-02'-05" E by the land of McDonald 163.18 feet to a point marked by a 5/8" iron rod set;

Thence, N 74°-25'-15" E by the land of McDonald 120.00 feet to a point on the Westerly sideline of Ray Street marked by a 5/8" iron rod set;

Thence, S 18°-35'-45" E by the sideline of Ray Street 47.17 feet to a point marked by a 5/8" iron rod set at the land now or formerly of Donald A. and Evelyn Thompson (Book 2892, Page 451);

Thence, S 71°-24'-15" W by the land of Thompson 150.00 feet to a point marked by a 5/8" iron rod set;

Thence, S 18°-35'-45" E by the land of Thompson 50.00 feet to a point marked by a 5/8" iron rod set;

Thence, N 71°-24'-15" E by the land of Thompson 50.00 feet to a point marked by a 5/8" iron rod set at the land now or formerly of Richard E. and Carolyn Grover (Book 2895, Page 492);

Thence, S 18°-35'-45" E by the land of Grover and by the land now or formerly of Raymond A. and Florence M. Sevigny (Book 2490, Page 327) 72.78 feet to a point marked by a 5/8" iron rod set;

Thence, S 17°-48'-10" E by the land of Sevigny and by the lands now or formerly of Gladys A. and Kenneth V. Moody (Book 3471, Page 62), Betty L. Denbow (Book 2682; Page 313), Anna J. Aiken (Book 3570, Page 212), David A. and Carolyn J. Matthews (Book 4483, Page 163), Laura H. Clark (Book 3708, Page 194), and George and Doris Castonia (Book 4960, Page 286) 333.24 feet to a point marked by a 5/8" iron rod set at the land now or formerly of Frances F. Gatchell (Book 6257, Page 342);

Thence, S 71°-28'-30" W by the land of Gatchell 51.09 feet to a point marked by a 5/8" iron rod set;

Thence, S 67°-57'-00" W by the land of Gatchell and lands now or formerly of Eleanor L. and Sherry Sapko, Charles E. and Linda J. Foshay (Book 3920, Page 212), Linwood J. and Ruth L. Thaxter, Charles L. Arey (Book 2320, Page 55), Dorothy M. and Richard M. Butler (Book 3765, Page 177), Norman C. and Caroline M. Walton (Book 2014, Page 140), James P. and Lula S. Cullen (Book 2044, Page 474), and Glenda R. and Roger R. Pushor (Book 4755, Page 44) 481.12 feet to a point marked by a 5/8" iron rod set;

Thence, S 54°-20'-55" W by the land of Pushor 29.58 feet to a point marked by a 5/8" iron rod set;

Thence, S 45°-14'-05" W by the land now or formerly of Claire D. and Edward L. Gulick (Book 3782, Page 285) and by the land now or formerly of John H. and Jeannette B. Greer (Book 2824, Page 131) 186.45 feet to a stone wall intersection and the end of Wadco Street;

Thence, N 01°-01'-00" W by a stone wall 7.90 feet to the Northeasterly sideline of Wadco Street;

Thence, N 37°-18'-55" W by the sideline of Wadco Street 165.51 feet to a point marked by a 5/8" iron rod set at the Easterly sideline of Ash Street;

Thence, N 01°-28'-55" W by the sideline of Ash Street 100.00 feet to a point marked by a 5/8" iron rod set at the land now or formerly of Diane M. and Richard C. Hayes (Book 3615, Page 161);

Thence, N 88°-31'-05" E by the land of Hayes 98.80 feet to a stonewall;

Thence, N 01°-01'-00" W by the land of Hayes, the land now or formerly of Bertha C. Judkins, by the end of Topsham Street, and by the land now or formerly of David F. Marshall (Book 4804, Page 317) 369.17 feet to a 1" iron pipe found;

Thence, N 01°-26'-15" W by the land of Marshall 125.00 feet;

Thence, S 80°-04'-05" W by the land of Marshall 100.00 feet to a point marked by a 5/8" iron rod set;

Thence, S 1°-09'-05" E by the land of Marshall 125.00 feet to a 1" iron pipe found at the Northeast corner of the land now or formerly of Bertha C. Judkins;

Thence, S 81°-21'-30" W by the land of Judkins 56.91 feet to a 1/4" iron rod found at the Southeast corner of the land now or formerly of F. S. Plummer Co. (Book 6869, Page 110);

Thence, N 07°-34'-10" E by land of F. S. Plummer Co. 592.31 feet;

Thence, S 63°-29'-00" E by Fallbrook, a Condominium, 190.24 feet to a point;

Thence, N 76°-59'-40" E by Fallbrook, a Condominium, 166.98 feet to the point of beginning.

Also including and subject to those easements and rights, in common with others, which are described in the below referenced documents:

(1) Easements from George and Doris Castonia dated December 20, 1985, recorded in Book 7036, Page 92;

(2) Easements from Calvin L. and Myrtle W. Gailey, dated December 20, 1985, and recorded in Book 7036, Page 96;

(3) Easement from Frances F. Gatchell dated December 20, 1985, and recorded in Book 7036, Page 100; and

(4) Easement to the City of Portland for a turn-around at the terminus of Topsham Street and other matters shown on the Plat of Fallbrook, a Condominium, recorded in Plan Book 178, Page 66.

Also, an easement for all purposes in common with others over, under and along the 50 foot wide right of way shown on the said Plat of Fallbrook, a Condominium, recorded in Plan Book 178, Page 66 and reserved in the Declaration of Fallbrook Condominium dated April 20, 1989 and recorded in Book 8730, Page 206.

Also subject to the following exceptions and matters:

1. Title to and rights of the public and others entitled thereto in and to any portion of the Premises located within the bounds of adjacent streets, roads and ways.
2. Setback and minimum building value restrictions set forth in Indenture by and between Reginald and Isabelle H. Carles and Gretta and Edith Henderson, dated January 24, 1949 and recorded in the Cumberland County Registry of Deeds in Book 1951, Page 85 (further references herein to recorded documents are

references to documents recorded in said Registry).

3. Terms and provisions of a State of Maine Department of Environmental Protection Site Location Order #L-011219-87-A-N issued to Liberty Group, Inc., dated October 10, 1985 and recorded in Book 6958, Page 88, as transferred by unrecorded Order dated January 22, 1988; as further transferred to MM II Real Estate Corporation by Order dated February 24, 1989 and recorded in Book 8681, Page 310; as further transferred to Merreal Corp. by Order dated April 3 1989 and recorded in Book 8733, Page 187; and as affected by Order dated December 28, 1992 and recorded in Book 10500, Page 287.
4. Easement from the Merrymeeting Developers to Central Maine Power Company and New England Telephone and Telegraph Company, dated May 25, 1988 and recorded in Book 8444, Page 191.
5. Easement granted to Portland Water District by instrument dated September 21, 1988 and recorded in Book 8490, Page 164.
6. Matters affecting the Premises shown on plan entitled "Condominium Plat III, Fallbrook, A Condominium on Ray Street, Portland, Maine, for Merreal Corp., by Owen Haskell, Inc., dated May 10, 1990 and recorded in Plan Book 185, Page 15.
7. Terms and conditions of a Maintenance Agreement by and between Fallbrook, Inc. and Fallbrook, A Condominium, dated February 4, 1993 and recorded in Book 10546, Page 73.
8. Utility easement from Fallbrook, Inc. to Central Maine Power Company and New England Telephone and Telegraph Company, dated May 26, 1993 and recorded in Book 10771, Page 14.
9. Utility easement granted to Northern Utilities, Inc. by instrument dated October 7, 1993 and recorded in Book 11022, Page 51.
10. Agreement for Transfer and Assumption of Special Declarant Rights by and between Fallbrook, Inc. and Fallbrook Condominium Association, dated June 28, 1993 and recorded in Book 10804, Page 329.
11. Contract for Electric Service by and between Fall Brook Woods and Central Maine Power Company, dated June 18, 1993 and recorded in Book 11243, Page 201.
12. All encumbrances, restrictions and other matters of record affecting the Premises as of the date hereof.

Meaning and intending to convey the premises conveyed to Grantor herein by Deed from Merreal Corp., formerly named MM II Real Estate Corporation, to Fallbrook, Inc., dated December 20, 1991 and recorded in Book 9831, Page 59.

Received
Recorded Register of Deeds
Dec 30 2009 02:11:13P
Cumberland County
Pamela E. Lovley

Attachment 5

Maine Natural Areas Program Site Review



115

STATE OF MAINE
DEPARTMENT OF AGRICULTURE, CONSERVATION & FORESTRY

177 STATE HOUSE STATION
AUGUSTA, MAINE 04333

JANET T. MILLS
GOVERNOR

AMANDA E. BEAL
COMMISSIONER

November 7, 2019

Stefanie Nichols
Sebago Technics
75 John Roberts Road, Suite 4A
South Portland, ME 04106

Via email: snichols@sebagotechnics.com

Re: Rare and exemplary botanical features in proximity to: #18347, Fallbrook Commons Senior Living Facility, Portland, Maine

Dear Ms. Nichols:

I have searched the Maine Natural Areas Program's Biological and Conservation Data System files in response to your request received November 7, 2019 for information on the presence of rare or unique botanical features documented from the vicinity of the project in Portland, Maine. Rare and unique botanical features include the habitat of rare, threatened, or endangered plant species and unique or exemplary natural communities. Our review involves examining maps, manual and computerized records, other sources of information such as scientific articles or published references, and the personal knowledge of staff or cooperating experts.

Our official response covers only botanical features. For authoritative information and official response for zoological features you must make a similar request to the Maine Department of Inland Fisheries and Wildlife, 284 State Street, Augusta, Maine 04333.

According to the information currently in our Biological and Conservation Data System files, there are no rare botanical features documented specifically within the project area. This lack of data may indicate minimal survey efforts rather than confirm the absence of rare botanical features. You may want to have the site inventoried by a qualified field biologist to ensure that no undocumented rare features are inadvertently harmed.

If a field survey of the project area is conducted, please refer to the enclosed supplemental information regarding rare and exemplary botanical features documented to occur in the vicinity of the project site. The list may include information on features that have been known to occur historically in the area as well as recently field-verified information. While historic records have not been documented in several years, they may persist in the area if suitable habitat exists. The enclosed list identifies features with potential to occur in the area, and it should be considered if you choose to conduct field surveys.

This finding is available and appropriate for preparation and review of environmental assessments, but it is not a substitute for on-site surveys. Comprehensive field surveys do not exist for all natural areas in Maine, and in the absence of a specific field investigation, the Maine Natural Areas Program cannot provide a definitive statement on the presence or absence of unusual natural features at this site.

MOLLY DOCHERTY, DIRECTOR
MAINE NATURAL AREAS PROGRAM
BLOSSOM LANE, DEERING BUILDING



PHONE: (207) 287-804490
WWW.MAINE.GOV/DACF/MNAP

Letter to Sebago Technics
Comments RE: Fallbrook Commons, Portland
November 7, 2019
Page 2 of 2

The Maine Natural Areas Program (MNAP) is continuously working to achieve a more comprehensive database of exemplary natural features in Maine. We would appreciate the contribution of any information obtained should you decide to do field work. MNAP welcomes coordination with individuals or organizations proposing environmental alteration, or conducting environmental assessments. If, however, data provided by MNAP are to be published in any form, the Program should be informed at the outset and credited as the source.

The Maine Natural Areas Program has instituted a fee structure of \$75.00 an hour to recover the actual cost of processing your request for information. You will receive an invoice for \$150.00 for two hours of our services.

Thank you for using MNAP in the environmental review process. Please do not hesitate to contact me if you have further questions about the Natural Areas Program or about rare or unique botanical features on this site.

Sincerely,



Kristen Puryear | Ecologist | Maine Natural Areas Program
207-287-8043 | kristen.puryear@maine.gov

Rare and Exemplary Botanical Features within 4 miles of Project: #18347, Fallbrook Commons Senior Living Facility, Portland, Maine

Common Name	State Status	State Rank	Global Rank	Date Last Observed	Occurrence Number	Habitat
Allegheny Vine						
	E	S1	G4	1860-10	9	Rocky summits and outcrops (non-forested, upland), Dry barrens (partly forested, upland)
American Sea-blite						
	T	S2	G5	1932-09-12	5	Tidal wetland (non-forested, wetland)
	T	S2	G5	2011-08-15	17	Tidal wetland (non-forested, wetland)
Bottlebrush Grass						
	SC	S3	G5	1905-09-13	10	Hardwood to mixed forest (forest, upland)
Broad Beech Fern						
	SC	S2	G5	1872-08	15	Hardwood to mixed forest (forest, upland)
Columbia Water-meal						
	SC	S2	G5	2002-08-04	2	Open water (non-forested, wetland)
Ebony Spleenwort						
	SC	S2	G5	1910-06-06	10	Rocky summits and outcrops (non-forested, upland), Hardwood to mixed forest (forest, upland)
Engelmann's Spikerush						
	PE	SH	G4G5	1916-08-31	2	Open wetland, not coastal nor rivershore (non-forested, wetland)
Fern-leaved False Foxglove						
	SC	S3	G5	1902-09-02	13	Dry barrens (partly forested, upland), Hardwood to mixed forest (forest, upland)
Great Blue Lobelia						
	PE	SX	G5	1905-09	3	Forested wetland, Non-tidal rivershore (non-forested, seasonally wet)
Hollow Joe-pye Weed						
	SC	S2	G5?	2014-06-18	24	Open wetland, not coastal nor rivershore (non-forested, wetland), Old field/roadside (non-forested, wetland or upland)
	SC	S2	G5?	2011-08-04	19	Open wetland, not coastal nor rivershore (non-forested, wetland), Old

Rare and Exemplary Botanical Features within 4 miles of Project: #18347, Fallbrook Commons Senior Living Facility, Portland, Maine

Common Name	State Status	State Rank	Global Rank	Date Last Observed	Occurrence Number	Habitat
						field/roadside (non-forested, wetland or upland)
Horned Pondweed						
	SC	S2	G5	1913-09-13	9	Tidal wetland (non-forested, wetland)
MacGregor's Rye						
	SC	S2	G5	2016-09-11	13	<null>
Marsh Milkwort						
	PE	SH	G5T4	1903-08-18	1	Dry barrens (partly forested, upland),Open wetland, not coastal nor rivershore (non-forested, wetland)
Missouri Rockcress						
	T	S1	G5	1905-06-11	5	Rocky summits and outcrops (non-forested, upland),Hardwood to mixed forest (forest, upland)
Mountain-laurel						
	SC	S2	G5	1985-08-01	13	Conifer forest (forest, upland),Hardwood to mixed forest (forest, upland)
Mountain Honeysuckle						
	E	S2	G5	2018-06-02	14	Dry barrens (partly forested, upland),Hardwood to mixed forest (forest, upland)
	E	S2	G5	2007-07-30	10	Dry barrens (partly forested, upland),Hardwood to mixed forest (forest, upland)
	E	S2	G5	2015-07-07	17	Dry barrens (partly forested, upland),Hardwood to mixed forest (forest, upland)
Pale Green Orchis						
	SC	S2	G4?T4Q	1907-07-05	27	Non-tidal rivershore (non-forested, seasonally wet),Open wetland, not coastal nor rivershore (non-forested, wetland)
Palmate-leaved Violet						
	PE	SH	G5	1908	1	Hardwood to mixed forest (forest, upland)
Slender Knotweed						
	PE	SH	G5	1902-09-07	1	Dry barrens (partly forested, upland)

Rare and Exemplary Botanical Features within 4 miles of Project: #18347, Fallbrook Commons Senior Living Facility, Portland, Maine

Common Name	State Status	State Rank	Global Rank	Date Last Observed	Occurrence Number	Habitat
Small Reed Grass						
	SC	S3	G5	2011-08-28	18	Old field/roadside (non-forested, wetland or upland)
Spotted Wintergreen						
	T	S2	G5	1991-09	11	Conifer forest (forest, upland),Hardwood to mixed forest (forest, upland)
Tidal Marsh Estuary Ecosystem						
	<null>	S3	GNR	2011-08-25	8	Tidal wetland (non-forested, wetland)
Upper Floodplain Hardwood Forest						
	<null>	S3	GNR	2012	20	Forested wetland
Upright Bindweed						
	T	S2	G4G5	2007-06-28	5	Dry barrens (partly forested, upland),Old field/roadside (non-forested, wetland or upland)
Variable Sedge						
	E	S1	G3	1911	8	Dry barrens (partly forested, upland),Hardwood to mixed forest (forest, upland)
	E	S1	G3	1911-06-29	9	Dry barrens (partly forested, upland),Hardwood to mixed forest (forest, upland)
	E	S1	G3	2018-08-29	6	Dry barrens (partly forested, upland),Hardwood to mixed forest (forest, upland)
	E	S1	G3	2017-08-22	4	Dry barrens (partly forested, upland),Hardwood to mixed forest (forest, upland)
Vasey's Pondweed						
	SC	S2	G4	1901-08-04	7	Open water (non-forested, wetland)
Wild Garlic						
	SC	S2	G5	1918-07-16	6	Forested wetland,Hardwood to mixed forest (forest, upland)
Wild Leek						
	SC	S3	G5	2018-05-02	55	Hardwood to mixed forest (forest, upland),Forested wetland

STATE RARITY RANKS

- S1** Critically imperiled in Maine because of extreme rarity (five or fewer occurrences or very few remaining individuals or acres) or because some aspect of its biology makes it especially vulnerable to extirpation from the State of Maine.
- S2** Imperiled in Maine because of rarity (6-20 occurrences or few remaining individuals or acres) or because of other factors making it vulnerable to further decline.
- S3** Rare in Maine (20-100 occurrences).
- S4** Apparently secure in Maine.
- S5** Demonstrably secure in Maine.
- SU** Under consideration for assigning rarity status; more information needed on threats or distribution.
- SNR** Not yet ranked.
- SNA** Rank not applicable.
- S#?** Current occurrence data suggests assigned rank, but lack of survey effort along with amount of potential habitat create uncertainty (e.g. S3?).

Note: **State Rarity Ranks** are determined by the Maine Natural Areas Program for rare plants and rare and exemplary natural communities and ecosystems. The Maine Department of Inland Fisheries and Wildlife determines State Rarity Ranks for animals.

GLOBAL RARITY RANKS

- G1** Critically imperiled globally because of extreme rarity (five or fewer occurrences or very few remaining individuals or acres) or because some aspect of its biology makes it especially vulnerable to extinction.
- G2** Globally imperiled because of rarity (6-20 occurrences or few remaining individuals or acres) or because of other factors making it vulnerable to further decline.
- G3** Globally rare (20-100 occurrences).
- G4** Apparently secure globally.
- G5** Demonstrably secure globally.
- GNR** Not yet ranked.

Note: **Global Ranks** are determined by NatureServe.

STATE LEGAL STATUS

Note: State legal status is according to 5 M.R.S.A. § 13076-13079, which mandates the Department of Conservation to produce and biennially update the official list of Maine's **Endangered and Threatened** plants. The list is derived by a technical advisory committee of botanists who use data in the Natural Areas Program's database to recommend status changes to the Department of Conservation.

- E** ENDANGERED; Rare and in danger of being lost from the state in the foreseeable future; or federally listed as Endangered.
- T** THREATENED; Rare and, with further decline, could become endangered; or federally listed as Threatened.

NON-LEGAL STATUS

- SC** SPECIAL CONCERN; Rare in Maine, based on available information, but not sufficiently rare to be considered Threatened or Endangered.
- PE** Potentially Extirpated; Species has not been documented in Maine in past 20 years or loss of last known occurrence has been documented.

ELEMENT OCCURRENCE RANKS - EO RANKS

Element Occurrence ranks are used to describe the quality of a rare plant population or natural community based on three factors:

- **Size:** Size of community or population relative to other known examples in Maine. Community or population's viability, capability to maintain itself.
- **Condition:** For communities, condition includes presence of representative species, maturity of species, and evidence of human-caused disturbance. For plants, factors include species vigor and evidence of human-caused disturbance.
- **Landscape context:** Land uses and/or condition of natural communities surrounding the observed area. Ability of the observed community or population to be protected from effects of adjacent land uses.

These three factors are combined into an overall ranking of the feature of **A**, **B**, **C**, or **D**, where **A** indicates an **excellent** example of the community or population and **D** indicates a **poor** example of the community or population. A rank of **E** indicates that the community or population is **extant** but there is not enough data to assign a quality rank. The Maine Natural Areas Program tracks all occurrences of rare (S1-S3) plants and natural communities as well as A and B ranked common (S4-S5) natural communities.

Note: **Element Occurrence Ranks** are determined by the Maine Natural Areas Program for rare plants and rare and exemplary natural communities and ecosystems. The Maine Department of Inland Fisheries and Wildlife determines Element Occurrence ranks for animals.

Visit our website for more information on rare, threatened, and endangered species!
<http://www.maine.gov/dacf/mnap>

Attachment 6

Maine Historic Preservation Inquiry



November 7, 2019
18347

Mr. Kirk Mohney
Maine Historic Preservation Commission
65 State House Station
Augusta, Maine 04333

Re: Fallbrook Commons - Senior Living Facility
Ray Street / Merrymeeting Drive, Portland
Parcel ID: 403 F001, 403-F005

Dear Mr. Mohney:

On behalf of the project applicant, Sebago Technics respectfully requests site review for a proposed new senior living facility adjacent to an existing senior facility in the North Deering section of Portland on Ray Street. The property is 12.78± acres and is located in the City Residential-3 zone. Per available resources we have determined that the site is not located in a local Historic District.

The project includes a new senior living facility that will be located next to the existing Fallbrook Woods assisted living community. The development includes the construction of a two-story, 37,450± sf building with 90 bedrooms and two adjacent parking areas. The new senior facility will be accessed by a new driveway from Ray Street with secondary access for emergency use over Merrymeeting Drive.

The project area is mostly wooded and will be cleared for the proposed site improvements. The applicant intends to leave the majority of the municipal building setbacks vegetated. Post-construction views to and from the new facility will be filtered through a combination of the existing mature vegetation and new landscaping.

We respectfully request review of the Maine Historic Preservation Commission database for any properties or structures of historic significance in the vicinity of the project site. For your reference, I have enclosed a site location map, the site property cards and Google Earth street view images of the surrounding residential areas. At your earliest convenience, please review and forward your findings. If you have any questions on this project, please do not hesitate to contact me at snichols@sebagotechnics.com or on my direct line at (207) 200-2120. I look forward to hearing from you.

Sincerely, 18347

SEBAGO TECHNICS, INC.

A handwritten signature in black ink that reads "Stefanie Nichols".

Stefanie Nichols
Permitting Specialist / Project Coordinator

enc.

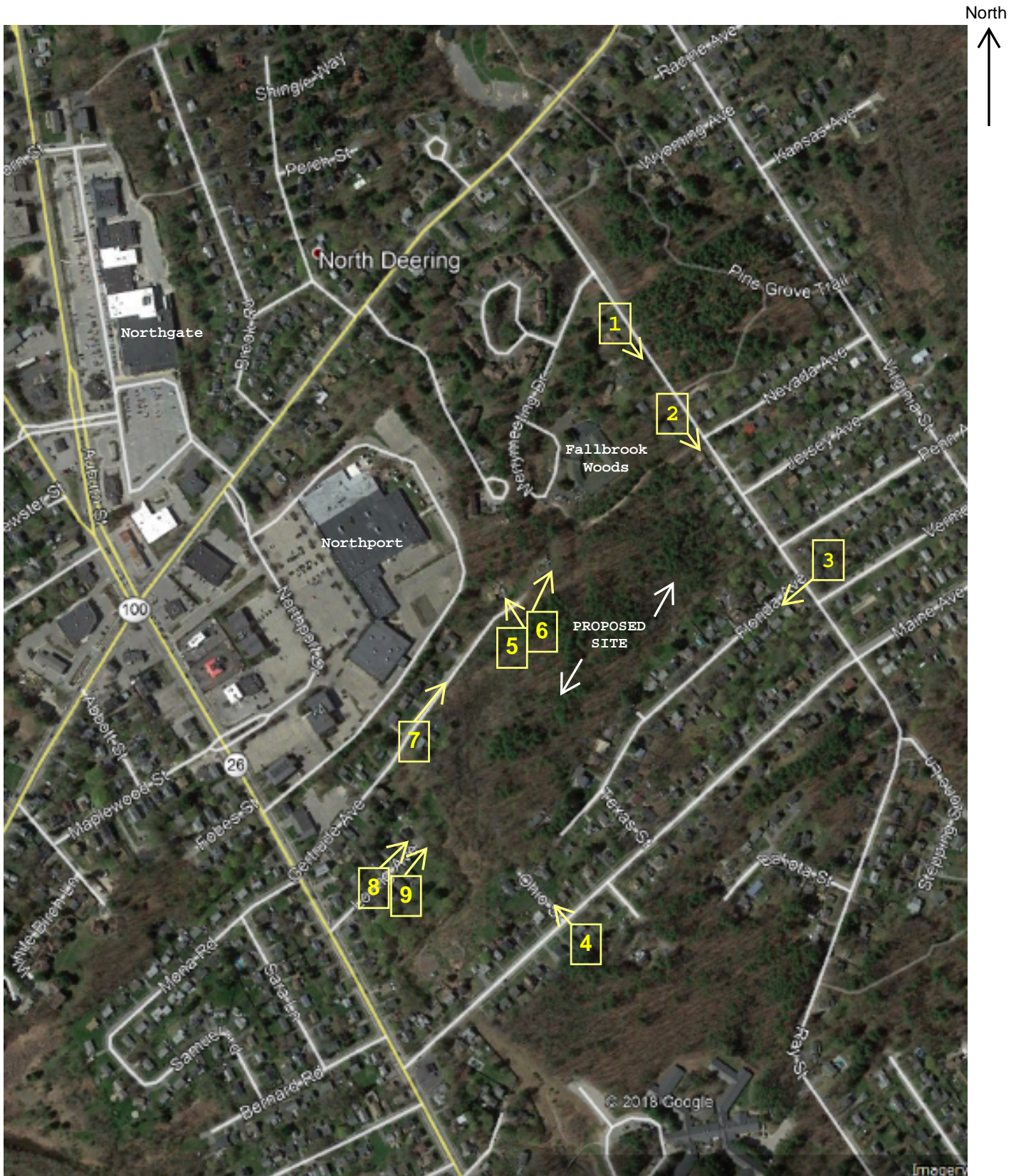


PHOTO KEY – Fallbrook Commons, Portland



Street view looking southeast along Ray Street toward the project entrance location



Street view looking southeast from the proposed Ray Street project entrance location



View along Florida Avenue from Ray Street



View along Ohio Street from Maine Avenue



Gertrude Avenue terminus -1



Gertrude Avenue terminus -2



Mid Gertrude Avenue Existing Conditions – residences and wooded area



View along Loring Avenue to end



View 2 - Loring Avenue to end



PORTLAND MAINE Assessor's Office

Assessor's Office | 389 Congress Street | Portland, Maine 04101 | Room 115 | (207) 874-8486

City Home Departments City Council E-Services Calendar Jobs

This page contains a detailed description of the Parcel ID you selected.

[New Search!](#)

Current Owner Information:

CBL 403 F005001
Land Use Type SINGLE FAMILY
Verify legal use with Inspections Division
Property Location 368 RAY ST
Owner Information MCDONALD PATRICIA A & CATHERINE E MCDONALD
 368 RAY ST
 PORTLAND ME 04103
Book and Page 8818/50
Legal Description 403-F-5
 RAY ST 368

Rental Registration 19695 SF
Acres No
 0.4522

Current Assessed Valuation:

TAX ACCT NO.	25541	OWNER OF RECORD AS OF APRIL 2019
LAND VALUE	\$79,700.00	MCDONALD PATRICIA A &
BUILDING VALUE	\$105,800.00	CATHERINE E MCDONALD
HOMESTEAD	(\$16,800.00)	368 RAY ST
NET TAXABLE - REAL ESTATE	\$168,700.00	PORTLAND ME 04103
TAX AMOUNT	\$3,932.40	

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).

Building Information:

Building 1

Year Built 1955
Style/Structure Type 3
Units 1
Bedrooms 2
Full Baths 1
Total Rooms 5
Attic NONE
Basement FULL
Square Feet 1200

[View Sketch](#) [View Map](#) [View Picture](#)

Outbuildings/Yard Improvements:

Building 1

Year Built 1980
Structure GARAGE-WD/CB
Size 14X22
Units 1

Grade C
Condition A

Sales Information:

Sale Date	Type	Price	Book/Page
7/7/1989	LAND + BUILDING	\$0.00	8818/50

[New Search!](#)



PORTLAND MAINE Assessor's Office

Assessor's Office | 389 Congress Street | Portland, Maine 04101 | Room 115 | (207) 874-8486

City Home Departments City Council E-Services Calendar Jobs

This page contains a detailed description of the Parcel ID you selected.

[New Search!](#)

Current Owner Information:

CBL 400 D023001
Land Use Type RETAIL & PERSONAL SERVICE
Verify legal use with Inspections Division
Property Location 60 MERRYMEETING DR
Owner Information FALLBROOK PROPERTIES LLC
 418 RAY ST
 PORTLAND ME 04103
Book and Page 27501/183
Legal Description 400-D-23 402-I-1 403-F-1
 RAY ST 362-362
 MERRYMEETING DR 60
 549978 SF
Rental Registration No
Acres 12.6258

Current Assessed Valuation:

TAX ACCT NO.	25421	OWNER OF RECORD AS OF APRIL 2019
LAND VALUE	\$305,600.00	FALLBROOK PROPERTIES LLC
BUILDING VALUE	\$3,086,400.00	
NET TAXABLE - REAL ESTATE	\$3,392,000.00	418 RAY ST PORTLAND ME 04103
TAX AMOUNT	\$79,067.52	

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).

Building Information:

Building 1
Year Built 1993
Style/Structure Type
Units 1
Square Feet 27600

[View Sketch](#) [View Map](#) [View Picture](#)

Exterior/Interior Information:

Building 1
Levels 01/01
Size 27600
Use NURSING HOME
Height 9
Walls FRAME
Heating HEAT PUMP
A/C CENTRAL

Other Features:

Building 1
Structure SPRINKLER - WET
Size 27600X1

Building 1
Structure CANOPY - ONLY
Size 708X1

Outbuildings/Yard Improvements:

Building 1
Year Built 1993
Structure ASPHALT PARKING
Size 20000
Units 1
Grade C
Condition 3

Building 1
Year Built 1993
Structure LIGHT - MERCURY VAPOR, POLE
Size 1X1
Units 6
Grade C
Condition 3

Building 1
Year Built 1993
Structure SHED-FRAME
Size 10X14
Units 1
Grade C
Condition 3

Sales Information:

Sale Date	Type	Price	Book/Page
12/30/2009	LAND + BUILDING	\$0.00	27501/183

[New Search!](#)

Attachment 7

Visual Field Survey – Appendix A

**APPENDIX A: MDEP VISUAL EVALUATION
FIELD SURVEY CHECKLIST**

(Natural Resources Protection Act, 38 M.R.S. §§ 480 A - Z)

Name of applicant: Fallbrook Commons, LLC Phone: 207-233-8665

Application Type: NRPA Tier 2

Activity Type: (brief activity description) wetland fill associated with construction

Activity Location: Town: Portland County: Cumberland

GIS Coordinates, if known: _____

Date of Survey: 11/18/2019 Observer: R. Gabryszewski Phone: 207-200-2065

**Distance Between the Proposed Visibility
Activity and Resource (in Miles)**

1. Would the activity be visible from:	0-1/4	1/4-1	1+
A. <i>A National Natural Landmark or other outstanding natural feature?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
B. <i>A State or National Wildlife Refuge, Sanctuary, or Preserve or a State Game Refuge?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
C. <i>A state or federal trail?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
D. <i>A public site or structure listed on the National Register of Historic Places?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
E. <i>A National or State Park?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
F. 1) <i>A municipal park or public open space?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Note: Pine Grove Park is within a 1/4 mile - but the activity will not be visible			
2) <i>A publicly owned land visited, in part, for the use, observation, enjoyment and appreciation of natural or man-made visual qualities?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3) <i>A public resource, such as the Atlantic Ocean, a great pond or a navigable river?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. What is the closest estimated distance to a similar activity?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. What is the closest distance to a public facility intended for a similar use?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Is the visibility of the activity seasonal? (i.e., screened by summer foliage, but visible during other seasons)		<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
5. Are any of the resources checked in question 1 used by the public during the time of year during which the activity will be visible?		<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No

A listing of National Natural Landmarks and other outstanding natural features in the State of Maine can be found at: www.nature.nps.gov/nnl/Registry/USA_map/states/Maine/maine.htm . In addition, unique natural areas are listed in the Maine Atlas and Gazetteer published by DeLorme.

(pink)

Attachment 8

MDIFW Inquiry



139
STATE OF MAINE
DEPARTMENT OF
INLAND FISHERIES & WILDLIFE
284 STATE STREET
41 STATE HOUSE STATION
AUGUSTA ME 04333-0041



November 20, 2019

Stefanie Nichols
Sebago Technics
75 John Roberts Road, Suite 1A
Portland, ME 04101

RE: Information Request - Fallbrook Commons Senior Living Facility, Portland

Dear Stefanie:

Per your request received November 12, 2019, we have reviewed current Maine Department of Inland Fisheries and Wildlife (MDIFW) information for known locations of Endangered, Threatened, and Special Concern species; designated Essential and Significant Wildlife Habitats; and fisheries habitat concerns within the vicinity of the *Fallbrook Commons Senior Living Facility Project* in Portland.

Our Department has not mapped any Essential Habitats that would be directly affected by your project.

Endangered, Threatened, and Special Concern Species

Bats

Of the eight species of bats that occur in Maine, the three *Myotis* species are protected under Maine's Endangered Species Act (MESA) and are afforded special protection under 12 M.R.S §12801 - §12810. The three *Myotis* species include little brown bat (State Endangered), northern long-eared bat (State Endangered), and eastern small-footed bat (State Threatened). The five remaining bat species are listed as Special Concern: big brown bat, red bat, hoary bat, silver-haired bat, and tri-colored bat.

While a comprehensive statewide inventory for bats has not been completed, based on historical evidence it is likely that several of these species occur within the project area during migration and/or the breeding season. However, our Agency does not anticipate significant impacts to any of the bat species as a result of this project.

Significant Wildlife Habitat

Significant Vernal Pools

At this time MDIFW Significant Wildlife Habitat (SWH) maps indicate no known presence of SWHs subject to protection under the Natural Resources Protection Act (NRPA) within the project area, which include Waterfowl and Wading Bird Habitats, Seabird Nesting Islands, Shorebird Areas, and Significant Vernal Pools. However, a comprehensive statewide inventory for Significant Vernal Pools has not been completed. Therefore, we recommend that surveys for vernal pools be conducted within the project boundary by qualified wetland scientists prior to final project design to determine whether there are

Significant Vernal Pools present in the area. These surveys should extend up to 250 feet beyond the anticipated project footprint because of potential performance standard requirements for off-site Significant Vernal Pools, assuming such pools are located on land owned or controlled by the applicant. Once surveys are completed, survey forms should be submitted to our Agency for review well before the submission of any necessary permits. Our Department will need to review and verify any vernal pool data prior to final determination of significance.

Fisheries Habitat

We recommend that 100-foot undisturbed vegetated buffers be maintained along streams. Buffers should be measured from the edge of stream or associated fringe and floodplain wetlands. Maintaining and enhancing buffers along streams that support coldwater fisheries is critical to the protection of water temperatures, water quality, natural inputs of coarse woody debris, and various forms of aquatic life necessary to support conditions required by many fish species. Stream crossings should be avoided, but if a stream crossing is necessary, or an existing crossing needs to be modified, it should be designed to provide full fish passage. Small streams, including intermittent streams, can provide crucial rearing habitat, cold water for thermal refugia, and abundant food for juvenile salmonids on a seasonal basis and undersized crossings may inhibit these functions. Generally, MDIFW recommends that all new, modified, and replacement stream crossings be sized to span at least 1.2 times the bankfull width of the stream. In addition, we generally recommend that stream crossings be open bottomed (i.e. natural bottom), although embedded structures which are backfilled with representative streambed material have been shown to be effective in not only providing habitat connectivity for fish but also for other aquatic organisms. Construction Best Management Practices should be closely followed to avoid erosion, sedimentation, alteration of stream flow, and other impacts as eroding soils from construction activities can travel significant distances as well as transport other pollutants resulting in direct impacts to fish and fisheries habitat. In addition, we recommend that any necessary instream work occur between July 15 and October 1.

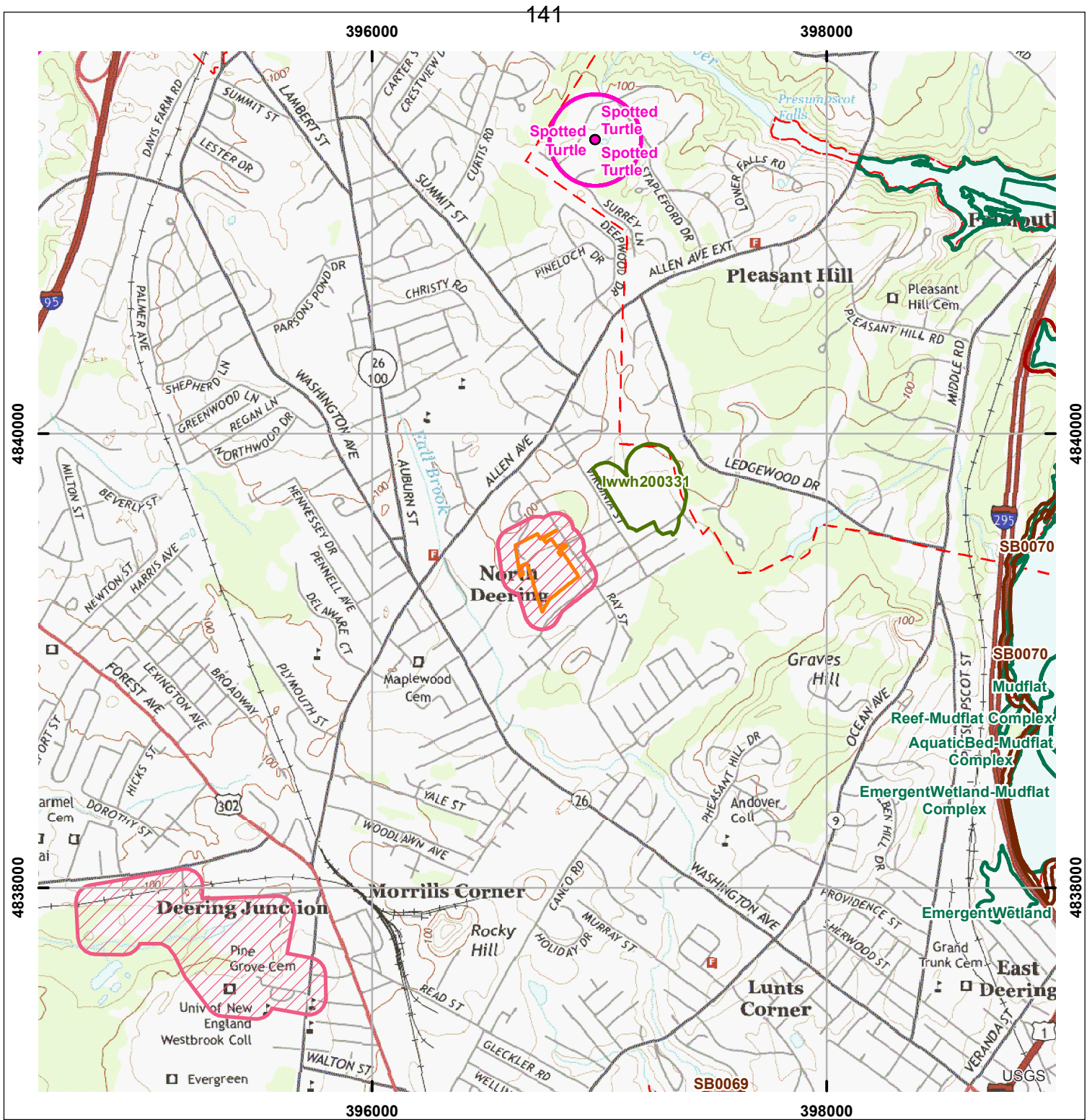
This consultation review has been conducted specifically for known MDIFW jurisdictional features and should not be interpreted as a comprehensive review for the presence of other regulated features that may occur in this area. Prior to the start of any future site disturbance we recommend additional consultation with the municipality, and other state resource agencies including the Maine Natural Areas Program and Maine Department of Environmental Protection in order to avoid unintended protected resource disturbance.

Please feel free to contact my office if you have any questions regarding this information, or if I can be of any further assistance.

Best regards,



Becca Settele
Wildlife Biologist

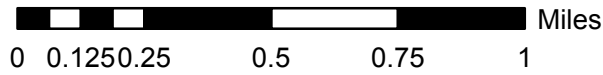


Environmental Review of Fish and Wildlife Observations and Priority Habitats

Project Name: Portland, Fallbrook Commons Senior Living Facility (Version 1)



Maine Department of Inland Fisheries and Wildlife



Projection: UTM, NAD83, Zone 19N

Date: 11/14/2019

	ProjectPoints		Deer Winter Area		Roseate Tern
	ProjectLines		LUPC p-fw		Piping Plover and Least Tern
	ProjectPolys		Cooperative DWAs		Aquatic ETSc - 2.5 mi review
	ProjectSearchAreas		Seabird Nesting Islands		Rare Mussels - 5 mi review
			Shorebird Areas		Maine Heritage Fish Waters
			Inland Waterfowl and Wading Bird		Arctic Charr Habitat
			2008 lwwh - Shoreland Zoning		Redfin Pickerel and Swamp Darter Habitats - buffer100ft
			Tidal Waterfowl and Wading Bird		Special Concern occupied habitats - 100ft buffer
			Significant Vernal Pools		Wild Lake Trout Habitats
			Environmental Review Polygons		





United States Department of the Interior



FISH AND WILDLIFE SERVICE

Maine Ecological Services Field Office

P. O. Box A

East Orland, ME 04431

Phone: (207) 469-7300 Fax: (207) 902-1588

<http://www.fws.gov/mainefieldoffice/index.html>

In Reply Refer To:

November 11, 2019

Consultation Code: 05E1ME00-2020-SLI-0136

Event Code: 05E1ME00-2020-E-00642

Project Name: Fallbrook Commons

Subject: List of threatened and endangered species that may occur in your proposed project location, and/or may be affected by your proposed project

To Whom It May Concern:

The enclosed species list identifies the threatened, endangered, candidate, and proposed species and designated or proposed critical habitat that may occur within the boundary of your proposed project or may be affected by your proposed project. This species list fulfills the requirements of the U.S. Fish and Wildlife Service (Service) under section 7(c) of the Endangered Species Act (Act) of 1973, as amended (16 U.S.C. 1531 et seq.).

New information based on updated surveys, changes in the abundance and distribution of species, changed habitat conditions, or other factors could change this list. Please feel free to contact us if you need more current information or assistance regarding the potential impacts to federally proposed, listed, and candidate species and federally designated and proposed critical habitat. Please note that under 50 CFR 402.12(e) of the regulations implementing section 7 of the Act, the accuracy of this species list should be verified after 90 days. This verification can be completed formally or informally as desired. The Service recommends that verification be completed by visiting the ECOS-IPaC Web site at regular intervals during project planning and implementation for updates to species lists and information. An updated list may be requested through the ECOS-IPaC system by completing the same process used to receive the enclosed list.

The purpose of the Act is to provide a means whereby threatened and endangered species and the ecosystems upon which they depend may be conserved. Under sections 7(a)(1) and 7(a)(2) of the Act and its implementing regulations (50 CFR 402 et seq.), Federal agencies are required to utilize their authorities to carry out programs for the conservation of threatened and endangered species and to determine whether projects may affect threatened and endangered species and/or designated critical habitat.

A Biological Assessment is required for construction projects (or other undertakings having similar physical impacts) that are major Federal actions significantly affecting the quality of the human environment as defined in the National Environmental Policy Act (42 U.S.C. 4332(2)(c)). For projects other than major construction activities, the Service suggests that a biological evaluation similar to a Biological Assessment be prepared to determine whether the project may affect listed or proposed species and designated or proposed critical habitat. Recommended contents of a Biological Assessment are described at 50 CFR 402.12.

If a Federal agency determines, based on the Biological Assessment or biological evaluation, that listed species or designated critical habitat may be affected by the proposed project, the agency is required to consult with the Service pursuant to 50 CFR 402. In addition, the Service recommends that candidate species, proposed species and proposed critical habitat be addressed within the consultation. More information on the regulations and procedures for section 7 consultation, including the role of permit or license applicants, can be found in the Endangered Species Consultation Handbook at: <http://www.fws.gov/endangered/esa-library/pdf/TOC-GLOS.PDF>

This species list also identifies candidate species under review for listing and those species that the Service considers species of concern. Candidate species have no protection under the Act but are included for consideration because they could be listed prior to completion of your project. Species of concern are those taxa whose conservation status is of concern to the Service (i.e., species previously known as Category 2 candidates), but for which further information is needed.

If a proposed project may affect only candidate species or species of concern, you are not required to prepare a Biological Assessment or biological evaluation or to consult with the Service. However, the Service recommends minimizing effects to these species to prevent future conflicts. Therefore, if early evaluation indicates that a project will affect a candidate species or species of concern, you may wish to request technical assistance from this office to identify appropriate minimization measures.

Please be aware that bald and golden eagles are not protected under the Endangered Species Act but are protected under the Bald and Golden Eagle Protection Act (16 U.S.C. 668 et seq.). Projects affecting these species may require development of an eagle conservation plan: http://www.fws.gov/windenergy/eagle_guidance.html Information on the location of bald eagle nests in Maine can be found on the Maine Field Office Web site: <http://www.fws.gov/mainefieldoffice/Project%20review4.html>

Additionally, wind energy projects should follow the wind energy guidelines: <http://www.fws.gov/windenergy/> for minimizing impacts to migratory birds and bats. Projects may require development of an avian and bat protection plan.

Migratory birds are also a Service trust resource. Under the Migratory Bird Treaty Act, construction activities in grassland, wetland, stream, woodland, and other habitats that would result in the take of migratory birds, eggs, young, or active nests should be avoided. Guidance for minimizing impacts to migratory birds for projects including communications towers (e.g.,

cellular, digital television, radio, and emergency broadcast) can be found at:
<http://www.fws.gov/migratorybirds/CurrentBirdIssues/Hazards/towers/towers.htm> and at:
<http://www.towerkill.com>; and at:
<http://www.fws.gov/migratorybirds/CurrentBirdIssues/Hazards/towers/comtow.html>

We appreciate your concern for threatened and endangered species. The Service encourages Federal agencies to include conservation of threatened and endangered species into their project planning to further the purposes of the Act. Please include the Consultation Tracking Number in the header of this letter with any request for consultation or correspondence about your project that you submit to our office.

Attachment(s):

- Official Species List

Official Species List

This list is provided pursuant to Section 7 of the Endangered Species Act, and fulfills the requirement for Federal agencies to "request of the Secretary of the Interior information whether any species which is listed or proposed to be listed may be present in the area of a proposed action".

This species list is provided by:

Maine Ecological Services Field Office

P. O. Box A

East Orland, ME 04431

(207) 469-7300

Project Summary

Consultation Code: 05E1ME00-2020-SLI-0136

Event Code: 05E1ME00-2020-E-00642

Project Name: Fallbrook Commons

Project Type: DEVELOPMENT

Project Description: Location: Ray Street, Portland
Size: 12.78+/- Acres
Scope: New senior living facility
Timing: Summer 2020, upon receipt of permit approvals

Project Location:

Approximate location of the project can be viewed in Google Maps: <https://www.google.com/maps/place/43.700464181223296N70.28103459445164W>



Counties: Cumberland, ME

Endangered Species Act Species

There is a total of 1 threatened, endangered, or candidate species on this species list.

Species on this list should be considered in an effects analysis for your project and could include species that exist in another geographic area. For example, certain fish may appear on the species list because a project could affect downstream species.

IPaC does not display listed species or critical habitats under the sole jurisdiction of NOAA Fisheries¹, as USFWS does not have the authority to speak on behalf of NOAA and the Department of Commerce.

See the "Critical habitats" section below for those critical habitats that lie wholly or partially within your project area under this office's jurisdiction. Please contact the designated FWS office if you have questions.

-
1. [NOAA Fisheries](#), also known as the National Marine Fisheries Service (NMFS), is an office of the National Oceanic and Atmospheric Administration within the Department of Commerce.

Mammals

NAME	STATUS
Northern Long-eared Bat <i>Myotis septentrionalis</i> No critical habitat has been designated for this species. Species profile: https://ecos.fws.gov/ecp/species/9045	Threatened

Critical habitats

THERE ARE NO CRITICAL HABITATS WITHIN YOUR PROJECT AREA UNDER THIS OFFICE'S JURISDICTION.



United States Department of the Interior



FISH AND WILDLIFE SERVICE

Maine Ecological Services Field Office

P. O. Box A

East Orland, ME 04431

Phone: (207) 469-7300 Fax: (207) 902-1588

<http://www.fws.gov/mainefieldoffice/index.html>

In Reply Refer To:

November 11, 2019

Consultation Code: 05E1ME00-2020-TA-0136

Event Code: 05E1ME00-2020-E-00643

Project Name: Fallbrook Commons

Subject: Verification letter for the 'Fallbrook Commons' project under the January 5, 2016, Programmatic Biological Opinion on Final 4(d) Rule for the Northern Long-eared Bat and Activities Excepted from Take Prohibitions.

Dear Stefanie Nichols:

The U.S. Fish and Wildlife Service (Service) received on November 11, 2019 your effects determination for the 'Fallbrook Commons' (the Action) using the northern long-eared bat (*Myotis septentrionalis*) key within the Information for Planning and Consultation (IPaC) system. This IPaC key assists users in determining whether a Federal action is consistent with the activities analyzed in the Service's January 5, 2016, Programmatic Biological Opinion (PBO). The PBO addresses activities excepted from "take"^[1] prohibitions applicable to the northern long-eared bat under the Endangered Species Act of 1973 (ESA) (87 Stat.884, as amended; 16 U.S.C. 1531 et seq.).

Based upon your IPaC submission, the Action is consistent with activities analyzed in the PBO. The Action may affect the northern long-eared bat; however, any take that may occur as a result of the Action is not prohibited under the ESA Section 4(d) rule adopted for this species at 50 CFR §17.40(o). Unless the Service advises you within 30 days of the date of this letter that your IPaC-assisted determination was incorrect, this letter verifies that the PBO satisfies and concludes your responsibilities for this Action under ESA Section 7(a)(2) with respect to the northern long-eared bat.

Please report to our office any changes to the information about the Action that you submitted in IPaC, the results of any bat surveys conducted in the Action area, and any dead, injured, or sick northern long-eared bats that are found during Action implementation. If the Action is not completed within one year of the date of this letter, you must update and resubmit the information required in the IPaC key.

If the Action may affect other federally listed species besides the northern long-eared bat, a proposed species, and/or designated critical habitat, additional consultation between you and this Service office is required. If the Action may disturb bald or golden eagles, additional coordination with the Service under the Bald and Golden Eagle Protection Act is recommended.

[1]Take means to harass, harm, pursue, hunt, shoot, wound, kill, trap, capture, or collect, or to attempt to engage in any such conduct [ESA Section 3(19)].

Action Description

You provided to IPaC the following name and description for the subject Action.

1. Name

Fallbrook Commons

2. Description

The following description was provided for the project 'Fallbrook Commons':

Location: Ray Street, Portland

Size: 12.78+/- Acres

Scope: New senior living facility

Timing: Summer 2020, upon receipt of permit approvals

Approximate location of the project can be viewed in Google Maps: <https://www.google.com/maps/place/43.700464181223296N70.28103459445164W>



Determination Key Result

This Federal Action may affect the northern long-eared bat in a manner consistent with the description of activities addressed by the Service's PBO dated January 5, 2016. Any taking that may occur incidental to this Action is not prohibited under the final 4(d) rule at 50 CFR §17.40(o). Therefore, the PBO satisfies your responsibilities for this Action under ESA Section 7(a)(2) relative to the northern long-eared bat.

Determination Key Description: Northern Long-eared Bat 4(d) Rule

This key was last updated in IPaC on May 15, 2017. Keys are subject to periodic revision.

This key is intended for actions that may affect the threatened northern long-eared bat.

The purpose of the key for Federal actions is to assist determinations as to whether proposed actions are consistent with those analyzed in the Service's PBO dated January 5, 2016.

Federal actions that may cause prohibited take of northern long-eared bats, affect ESA-listed species other than the northern long-eared bat, or affect any designated critical habitat, require ESA Section 7(a)(2) consultation in addition to the use of this key. Federal actions that may affect species proposed for listing or critical habitat proposed for designation may require a conference under ESA Section 7(a)(4).

Determination Key Result

This project may affect the threatened Northern long-eared bat; therefore, consultation with the Service pursuant to Section 7(a)(2) of the Endangered Species Act of 1973 (87 Stat.884, as amended; 16 U.S.C. 1531 et seq.) is required. However, based on the information you provided, this project may rely on the Service's January 5, 2016, *Programmatic Biological Opinion on Final 4(d) Rule for the Northern Long-Eared Bat and Activities Excepted from Take Prohibitions* to fulfill its Section 7(a)(2) consultation obligation.

Qualification Interview

1. Is the action authorized, funded, or being carried out by a Federal agency?

Yes

2. Have you determined that the proposed action will have "no effect" on the northern long-eared bat? (If you are unsure select "No")

No

3. Will your activity purposefully **Take** northern long-eared bats?

No

4. Is the project action area located wholly outside the White-nose Syndrome Zone?

Automatically answered

No

5. Is the project action area located within 0.25 miles of a known northern long-eared bat hibernaculum?

Note: The map queried for this question contains proprietary information and cannot be displayed. If you need additional information, please contact your State wildlife agency

Automatically answered

No

6. Is the project action area located within 150 feet of a known occupied northern long-eared bat maternity roost tree?

Note: The map queried for this question contains proprietary information and cannot be displayed. If you need additional information, please contact your State wildlife agency

Automatically answered

No

Project Questionnaire

If the project includes forest conversion, report the appropriate acreages below. Otherwise, type '0' in questions 1-3.

1. Estimated total acres of forest conversion:

5

2. If known, estimated acres of forest conversion from April 1 to October 31

5

3. If known, estimated acres of forest conversion from June 1 to July 31

0

If the project includes timber harvest, report the appropriate acreages below. Otherwise, type '0' in questions 4-6.

4. Estimated total acres of timber harvest

0

5. If known, estimated acres of timber harvest from April 1 to October 31

0

6. If known, estimated acres of timber harvest from June 1 to July 31

0

If the project includes prescribed fire, report the appropriate acreages below. Otherwise, type '0' in questions 7-9.

7. Estimated total acres of prescribed fire

0

8. If known, estimated acres of prescribed fire from April 1 to October 31

0

9. If known, estimated acres of prescribed fire from June 1 to July 31

0

If the project includes new wind turbines, report the megawatts of wind capacity below. Otherwise, type '0' in question 10.

10. What is the estimated wind capacity (in megawatts) of the new turbine(s)?
0

Attachment 9

Native American Tribe Inquiries/Responses

From: Sue Young <ogs1@maliseets.com>
Sent: Thursday, November 14, 2019 11:23 AM
To: Stefanie Nichols
Subject: RE: 18347-Fallbrook Commons, Portland - Houlton Band of Maliseet

Good morning Stefanie,

We do not have an immediate concern with your project or project site, and do not currently have the resources to fully investigate same. Should any human remains, archaeological properties or other items of historical importance be unearthed while working on this project, we recommend that you stop your project and report your findings to the appropriate authorities including the Houlton Band of Maliseet Indians.

Thank you.

<><><><><><><><><><><><>

Susan Young

Tribal Historic Preservation Officer
Natural Resources Director
Houlton Band of Maliseet Indians
88 Bell Road
Littleton, ME 04730
207-532-4273 ext. 202
fax 207-532-6883

ogs1@maliseets.com

www.maliseets.com

From: Stefanie Nichols [mailto:snichols@sebagotechnics.com]
Sent: Thursday, November 07, 2019 9:29 AM
To: Sue Young
Subject: 18347-Fallbrook Commons, Portland - Houlton Band of Maliseet

Sue,

Please find a formal site review request attached. Please let me know if you require additional information.

Best, Stefanie

Stefanie Nichols *Permitting Specialist/Project Coordinator*

Sebago Technics, Inc. | An Employee-Owned Company
75 John Roberts Rd., Suite 4A, South Portland, ME 04106
Office: 207.200.2100 | Direct: 207.200.2120 | Fax: 207.856.2206

Transmittal

18347

To: Ms. Jennifer Pictou, THPO
Aroostook Band of Micmacs
jpictou@micmac-nsn.gov

From: Stefanie Nichols
Permitting Specialist/Project Coordinator

Date: November 7, 2019

Subject: **Fallbrook Commons – Portland, ME**

On behalf of the applicant, Sandy River Co., we respectfully request a project review for an 11.8-acre± property located on Merrymeeting Drive in the City of Portland. The applicant intends to build a new senior living facility and other associated site improvements requiring review by the City of Portland, Maine Department of Environmental Protection and U.S. Army Corps of Engineers.

Please review available resources for the presence of any structures or sites of historic, architectural or archaeological significance to the Aroostook Band of Micmacs as defined by the amended National Historic Preservation Act of 1966. Should you have any questions, or if you need additional information please do not hesitate to contact me. Thank you in advance for your assistance.

enc. Site location map



Transmittal

18347

To: Mr. Donald Soctomah, THPO
Passamaquoddy Tribe
soctomah@gmail.com

From: Stefanie Nichols
Permitting Specialist/Project Coordinator

Date: November 7, 2019

Subject: **Fallbrook Commons – Portland, ME**

On behalf of the applicant, Sandy River Co., we respectfully request a project review for an 11.8-acre± property located on Merrymeeting Drive in the City of Portland. The applicant intends to build a new senior living facility and other associated site improvements requiring review by the City of Portland, Maine Department of Environmental Protection and U.S. Army Corps of Engineers.

Please review available resources for the presence of any structures or sites of historic, architectural or archaeological significance to the Passamaquoddy Tribe as defined by the amended National Historic Preservation Act of 1966. Should you have any questions, or if you need additional information please do not hesitate to contact me. Thank you in advance for your assistance.

enc. Site location map



Transmittal

18347

To: Mr. Christopher Sockalexis, THPO
Cultural & Historic Preservation Department
Penobscot Nation
chris.sockalexis@penobscotnation.com

From: Stefanie Nichols
Permitting Specialist/Project Coordinator

Date: November 7, 2019

Subject: **Fallbrook Commons – Portland, ME**

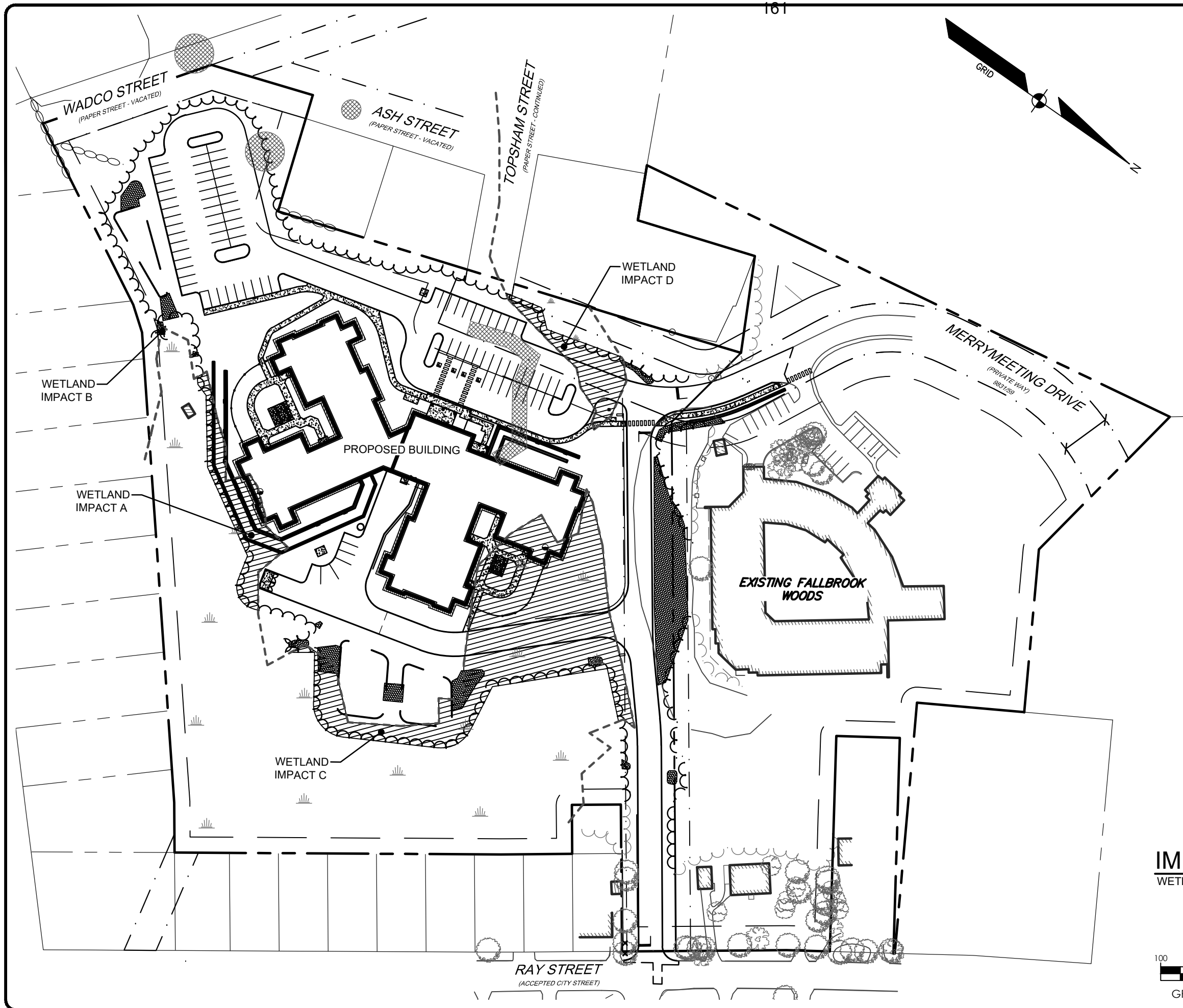
On behalf of the applicant, Sandy River Co., we respectfully request a project review for an 11.8-acre± property located on Merrymeeting Drive in the City of Portland. The applicant intends to build a new senior living facility and other associated site improvements requiring review by the City of Portland, Maine Department of Environmental Protection and U.S. Army Corps of Engineers.

Please review available resources for the presence of any structures or sites of historic, architectural or archaeological significance to Penobscot Nation as defined by the amended National Historic Preservation Act of 1966. Should you have any questions, or if you need additional information please do not hesitate to contact me. Thank you in advance for your assistance.

enc. Site location map

Attachment 10

Impact Figures



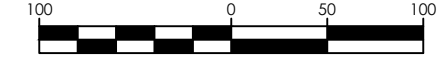
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

SEBAGO
TECHNICS
WWW.SEBAGOTECHNICS.COM
75 John Roberts Rd.
Suite 4A
South Portland, ME 04106
Tel. 207-200-2100

OVER ALL WETLAND IMPACTS
OF:
FALLBROOK COMMONS
RAY STREET
PORTLAND, MAINE
FOR:
SANDY RIVER COMPANY
217 COMMERCIAL STREET, SUITE 201
PORTLAND, MAINE

IMPACT SCHEDULE

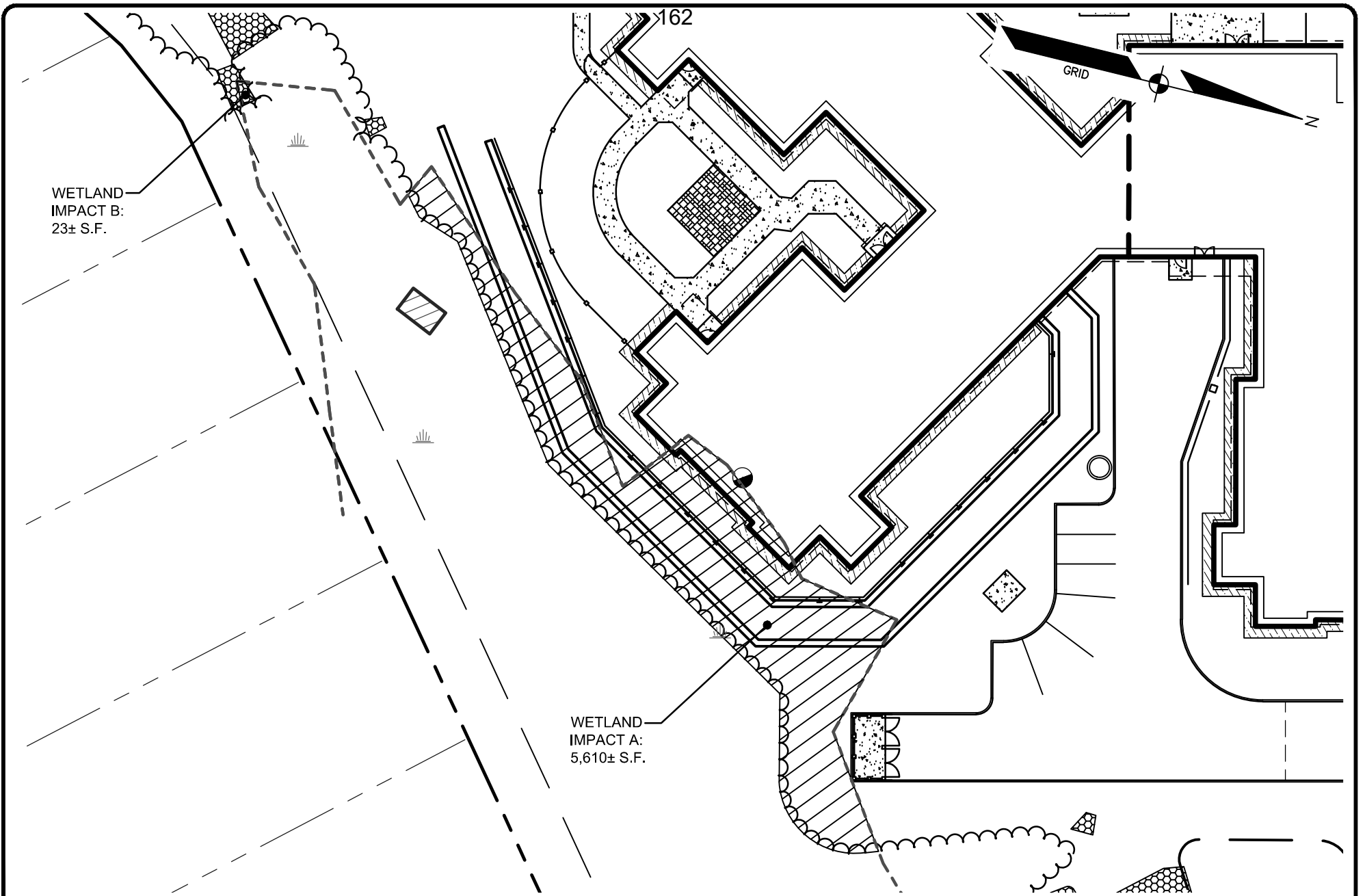
WETLAND IMPACTS
A: 5,610±S.F.
B: 23±S.F.
C: 28,095±S.F.
D: 4,059±S.F.
TOTAL: 37,787±S.F.



DESIGNED	CHECKED
DMD	BJB

PROJECT NO.	SCALE
PROJ. NO.	1" = 100'

SHEET 1 OF 1



SEBAGO
TECHNICS

WWW.SEBAGOTECHNICS.COM

75 John Roberts Rd.
Suite 4A
South Portland, ME 04106
Tel. 207-200-2100

WETLAND IMPACT - A & B
OF

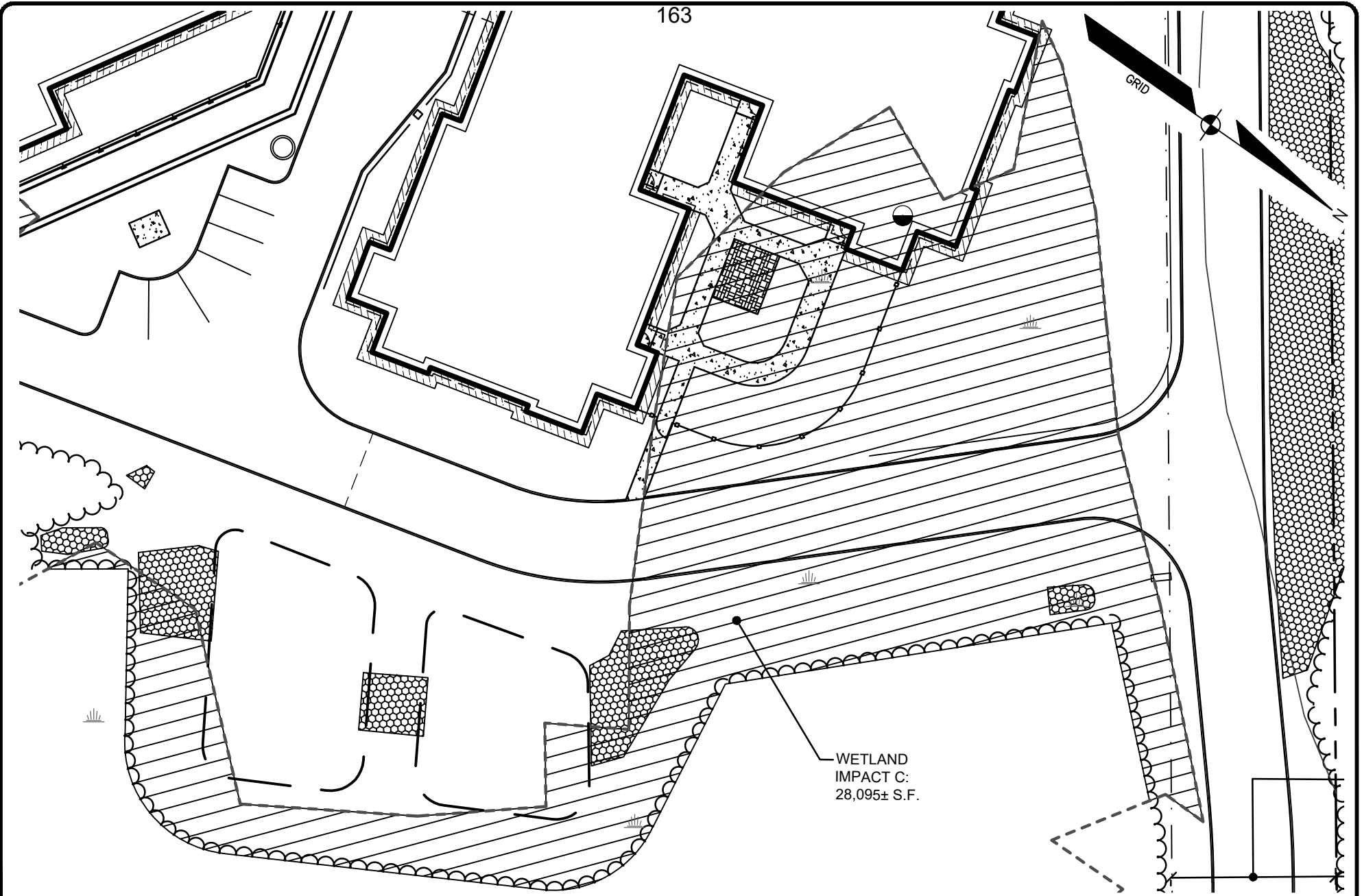
LOCATION:
FALLBROOK COMMONS
PORTLAND, MAINE

FOR:
SANDY RIVER COMPANY
PORTLAND, MAINE

SCALE: 1" = 40'

DATE: 11/01/19

SHEET:
1 OF 1



WETLAND
IMPACT C:
28,095± S.F.

SEBAGO
TECHNICS

WWW.SEAGOTECHNICS.COM
75 John Roberts Rd.
Suite 4A
South Portland, ME 04106
Tel. 207-200-2100

WETLAND IMPACT - C
OF

LOCATION:
FALLBROOK COMMONS
PORTLAND, MAINE

FOR:
SANDY RIVER COMPANY
PORTLAND, MAINE

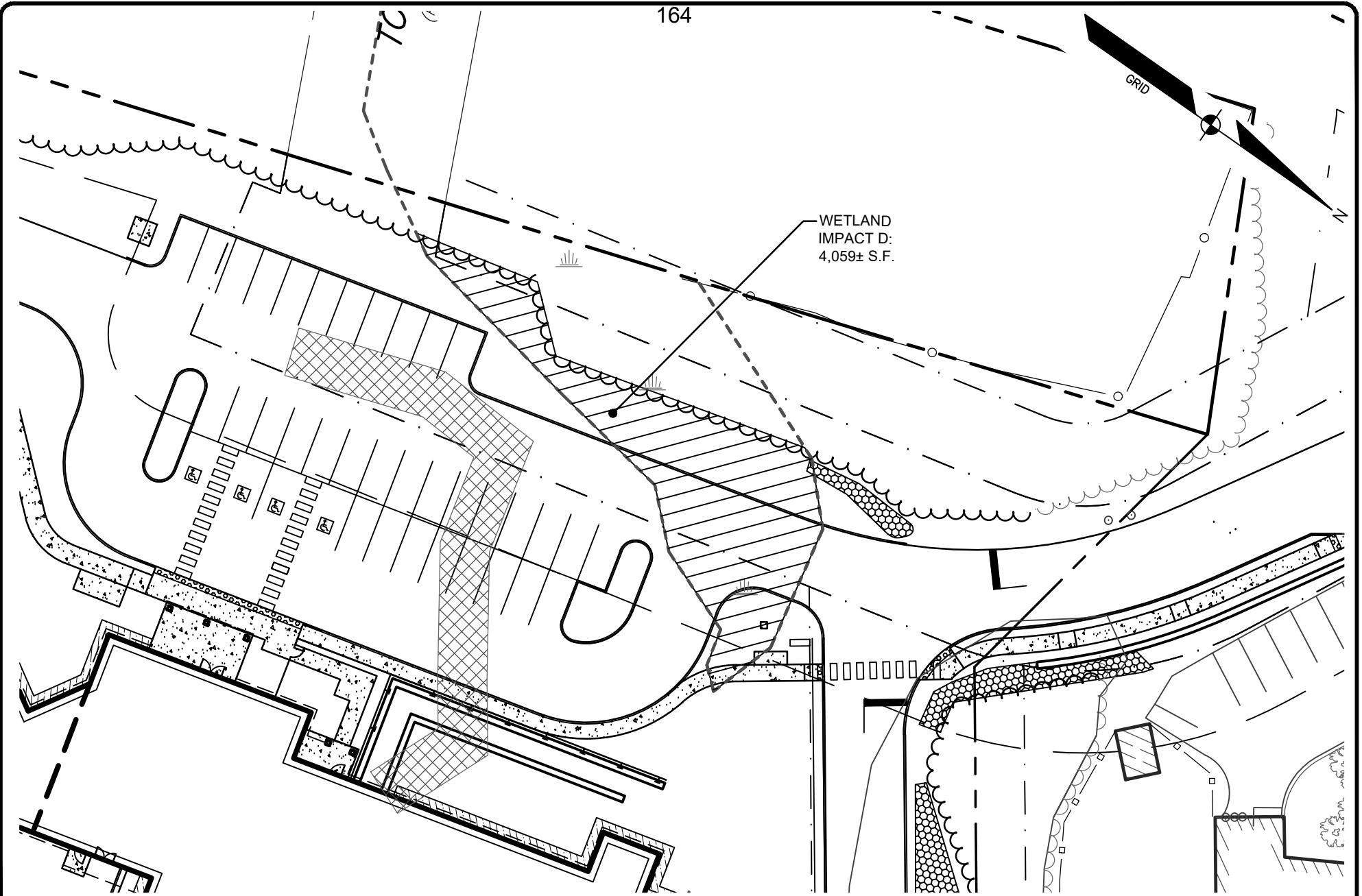
SCALE: 1" = 40'

DATE: 11/01/19

SHEET:
1 OF 1

GRID

WETLAND
IMPACT D:
4,059± S.F.



75 John Roberts Rd.
Suite 4A
South Portland, ME 04106
Tel. 207-200-2100

WETLAND IMPACT - D
OF

LOCATION:
FALLBROOK COMMONS
PORTLAND, MAINE

FOR:
SANDY RIVER COMPANY
PORTLAND, MAINE

SCALE: 1" = 40'

DATE: 11/01/19

SHEET:
1 OF 1



Natural Resource Protection Act Permit Application Fallbrook Commons

Prepared for
Fallbrook Commons Development, LLC
P.O. Box 110
Portland, ME 04112

Prepared by
Sebago Technics
75 John Roberts Rd.
South Portland, ME 04106

February 2020
18347

TABLE OF CONTENTS

A - NRPA Tier 2 Application

B – Corporate Status

C – Notice of Intent to File

D - Public Notice Certification, Abutter List, Certified Mail Receipts

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Attachment 2 Alternative Analysis

Attachment 3 Location Map

Attachment 4 Right, Title and/or Interest

Attachment 5 Maine Natural Areas Program Site Review

Attachment 6 Maine Historic Preservation Inquiry

Attachment 7 Visual Field Survey – Appendix A

Attachment 8 MDIFW Inquiry

Attachment 9 Native American Tribe Inquiries/Responses

Attachment 10 Impact Figures

APPLICATION FOR A NATURAL RESOURCES PROTECTION ACT PERMIT

→ PLEASE TYPE OR PRINT IN **BLACK INK ONLY**

1. Name of Applicant: Fallbrook Commons Development, LLC		5. Name of Agent: Sebago Technics, Inc/Daniel Danvers	
2. Applicant's Mailing Address: P.O. Box 110 Portland, ME 04112		6. Agent's Mailing Address: 75 John Roberts Road, Suite 4A South Portland, ME 04106	
3. Applicant's Daytime Phone #: 207-233-8665		7. Agent's Daytime Phone #: 207-200-2125	
4. Applicant's Email Address (Required from either applicant or agent): dmaguire@sandyriver2.com		8. Agent's Email Address: ddanvers@sebagotechnics.com	
9. Location of Activity: (Nearest Road, Street, Rt.#) Ray Street/Merrymeeting Drive		10. Town: Portland	11. County: Cumberland
12. Type of Resource: (Check all that apply)	<input type="checkbox"/> River, stream or brook <input type="checkbox"/> Great Pond <input type="checkbox"/> Coastal Wetland <input checked="" type="checkbox"/> Freshwater Wetland <input type="checkbox"/> Wetland Special Significance <input type="checkbox"/> Significant Wildlife Habitat <input type="checkbox"/> Fragile Mountain		13. Name of Resource: un-named
	14. Amount of Impact: (Sq.Ft.)		Fill: 37,787 s.f. Dredging/Veg Removal/Other:
15. Type of Wetland: (Check all that apply)	FOR FRESHWATER WETLANDS		
	<input checked="" type="checkbox"/> Forested <input type="checkbox"/> Scrub Shrub <input type="checkbox"/> Emergent <input type="checkbox"/> Wet Meadow <input type="checkbox"/> Peatland <input type="checkbox"/> Open Water <input type="checkbox"/> Other _____	<i>Tier 1</i>	<i>Tier 2</i>
16. Proposed Start Date and Brief Activity Description:		Construction of a two-story, 58,197 sf senior care facility - construction start date of summer 2020	
17. Size of Lot or Parcel & UTM Locations:		<input type="checkbox"/> _____ square feet, or <input checked="" type="checkbox"/> 12.78 acres UTM Northing: _____ UTM Easting: _____	
18. Title, Right or Interest: <input type="checkbox"/> own <input type="checkbox"/> lease <input checked="" type="checkbox"/> purchase option <input type="checkbox"/> written agreement			
19. Deed Reference Numbers: Book#: 27501 Page: 183		20. Map and Lot Numbers: Map #: 400 Lot #: D23-001	
21. DEP Staff Previously Contacted:		22. Part of a larger project: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
23. Resubmission of Application?: <input type="checkbox"/> Yes → <input checked="" type="checkbox"/> No		25. Previous Wetland Alteration: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
24. Written Notice of Violation?: <input type="checkbox"/> Yes → <input checked="" type="checkbox"/> No		25. Previous Wetland Alteration: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
26. Detailed Directions to the Project Site:		From Canco Road - turn left onto Washington Ave - right onto Ray Street. Follow Ray Street past Maine Ave, until the intersection of Ray Street and Merrymeeting Dr. The parcel is on the left.	
TIER 1		TIER 2/3 AND INDIVIDUAL PERMITS	
<input checked="" type="checkbox"/> Title, right or interest documentation <input checked="" type="checkbox"/> Topographic Map <input checked="" type="checkbox"/> Narrative Project Description <input checked="" type="checkbox"/> Plan or Drawing (8 1/2" x 11") <input checked="" type="checkbox"/> Photos of Area <input checked="" type="checkbox"/> Statement of Avoidance & Minimization <input checked="" type="checkbox"/> Statement/Copy of cover letter to MHPC		<input checked="" type="checkbox"/> Title, right or interest documentation <input checked="" type="checkbox"/> Topographic Map <input checked="" type="checkbox"/> Copy of Public Notice/Public Information Meeting Documentation <input checked="" type="checkbox"/> Wetlands Delineation Report (Attachment 1) that contains the Information listed under Site Conditions <input checked="" type="checkbox"/> Alternatives Analysis (Attachment 2) including description of how wetland impacts were Avoided/Minimized <input type="checkbox"/> Erosion Control/Construction Plan <input checked="" type="checkbox"/> Functional Assessment (Attachment 3), if required <input checked="" type="checkbox"/> Compensation Plan (Attachment 4), if required <input checked="" type="checkbox"/> Appendix A and others, if required <input checked="" type="checkbox"/> Statement/Copy of cover letter to MHPC <input type="checkbox"/> Description of Previously Mined Peatland, if required	
28. FEES Amount Enclosed: \$ 1292.32			

CERTIFICATIONS AND SIGNATURES LOCATED ON PAGE 2

IMPORTANT: IF THE SIGNATURE BELOW IS NOT THE APPLICANT'S SIGNATURE, ATTACH LETTER OF AGENT AUTHORIZATION SIGNED BY THE APPLICANT.

By signing below the applicant (or authorized agent), certifies that he or she has read and understood the following :

DEP SIGNATORY REQUIREMENT

PRIVACY ACT STATEMENT

Authority: 33 USC 401, Section 10; 1413, Section 404. Principal Purpose: These laws require permits authorizing activities in or affecting navigable waters of the United States, the discharge of dredged or fill material into waters of the United States, and the transportation of dredged material for the purpose of dumping it into ocean waters. Disclosure: Disclosure of requested information is voluntary. If information is not provided, however, the permit application cannot be processed nor a permit be issued.

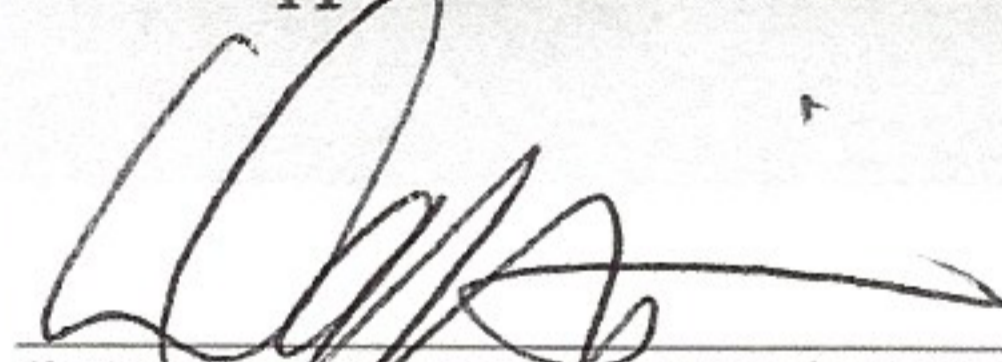
CORPS SIGNATORY REQUIREMENT

USC Section 1001 provides that: Whoever, in any manner within the jurisdiction of any department or agency of the United States knowingly and willfully falsifies, conceals, or covers up any trick, scheme, or disguises a material fact or makes any false, fictitious or fraudulent statements or representations or makes or uses any false writing or document knowing same to contain any false, fictitious or fraudulent statements or entry shall be fined not more than \$10,000 or imprisoned not more than five years or both. I authorize the Corps to enter the property that is subject to this application, at reasonable hours, including buildings, structures or conveyances on the property, to determine the accuracy of any information provided herein.

DEP SIGNATORY REQUIREMENT

"I certify under penalty of law that I have personally examined the information submitted in this document and all attachments thereto and that, based on my inquiry of those individuals immediately responsible for obtaining the information, I believe the information is true, accurate, and complete. I authorize the Department to enter the property that is the subject of this application, at reasonable hours, including buildings, structures or conveyances on the property, to determine the accuracy of any information provided herein. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment.

Further, I hereby authorize the DEP to send me an electronically signed decision on the license I am applying for with this application by emailing the decision to the address located on the front page of this application (see #4 for the applicant and #8 for the agent)."



SIGNATURE OF AGENT/APPLICANT

Date: _____

11/21/19

NOTE: Any changes in activity plans must be submitted to the DEP and the Corps in writing and must be approved by both agencies prior to implementation. Failure to do so may result in enforcement action and/or the removal of the unapproved changes to the activity.

(pink)

Attachment 1

Project Information

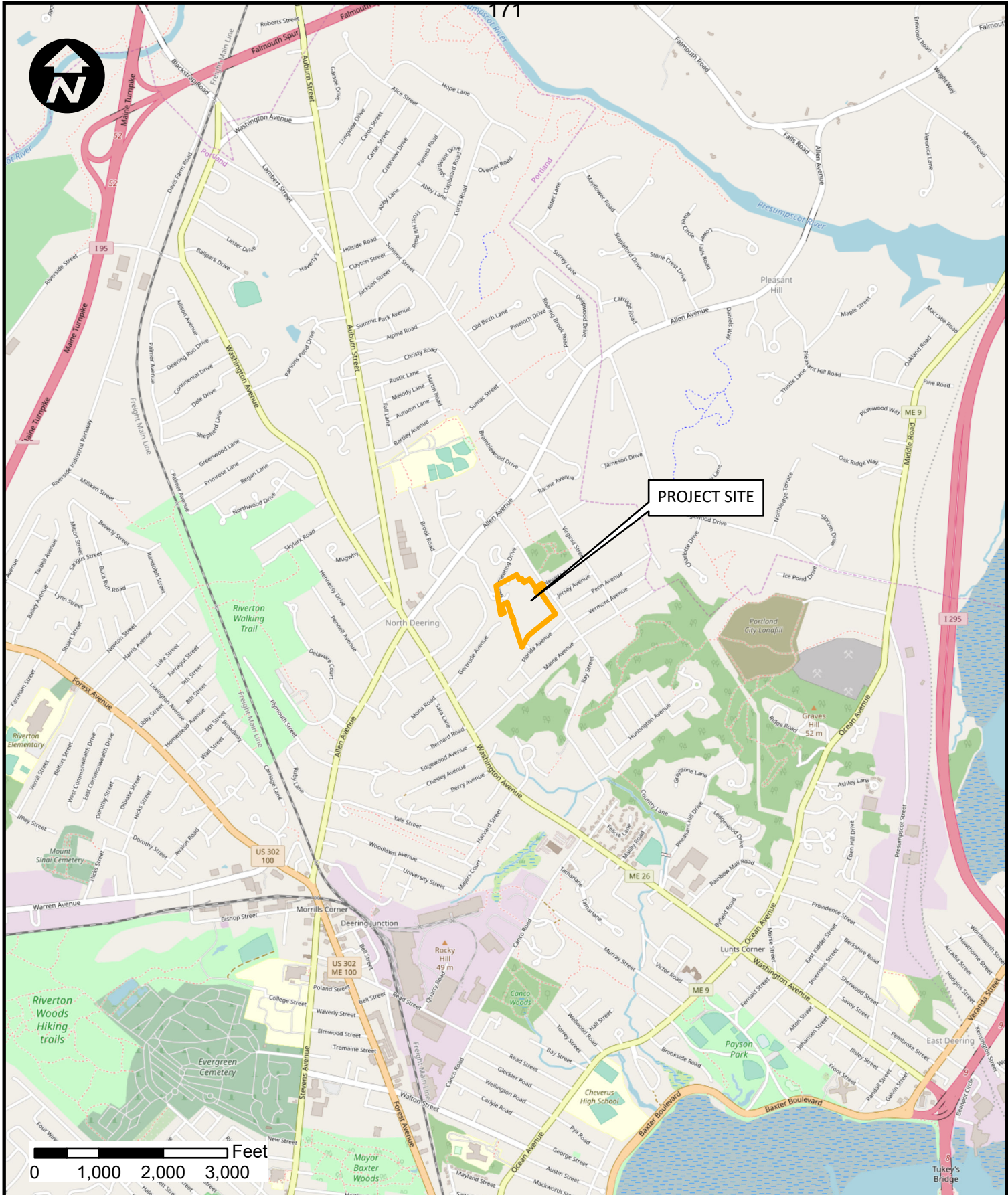
- Project Description
- Location Map
- Right Title Interest
- Corporate Status
- Abutter List

Project Description

The project includes a new 90-bed licensed nursing care center located next to Fallbrook Woods assisted living facility. The campus approach will allow visitors to access both facilities, provide a seamless transfer for assisted living residents that might need nursing care services, and allow an opportunity for shared support services and management. The development includes the construction of a two story, 58,197 sf building that will include three separate “neighborhoods” within the building with a shared commercial kitchen, community areas, and two parking areas totaling 92 parking spaces. Fallbrook Commons proposes a main entrance off Ray Street, and an emergency connection to Merrymeeting Drive.

This project will happen as one phase, which will involve clearing the incidental vegetation, ledge removal, and site preparations for the building, and stormwater BMP’s. Construction is expected to commence Summer 2020 and be completed by late 2021.

In addition to preserving much of the existing vegetation, this project features extensive proposed landscaping, predominantly using native plant species, which will support wildlife habitat throughout the site.



PROJECT SITE



**SITE LOCATION MAP
FALLBROOK COMMONS**

SCALE: 1:24,000
DATE: 10/22/2019

SEBAGO
TECHNICS
WWW.SEBAGOTECHNICS.COM
75 John Roberts Rd., Suite 4A
South Portland, ME 04106
Tel. 207-200-2100

LOCATION: 60 MERRYMEETING DRIVE
PORTLAND, ME

INFORMATION: USGS Quadrangle: Portland West



MAINE

Department of the Secretary of State
Bureau of Corporations, Elections and Commissions

Corporate Name Search

Information Summary

[Subscriber activity report](#)

This record contains information from the CEC database and is accurate as of: Tue Nov 12 2019 13:38:02. Please print or save for your records.

Legal Name	Charter Number	Filing Type	Status
FALLBROOK COMMONS DEVELOPMENT LLC	20200861DC	LIMITED LIABILITY COMPANY (DOMESTIC)	GOOD STANDING

Filing Date	Expiration Date	Jurisdiction
08/12/2019	N/A	MAINE

Other Names (A=Assumed ; F=Former)

NONE

Clerk/Registered Agent

JAMES N. BRODER, ESQ.
C/O BERNSTEIN SHUR
P.O. BOX 9729
PORTLAND, ME 04104 5029

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amendments
\(\\$30.00\)](#)

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© Department of the Secretary of State

**AGREEMENT FOR PURCHASE AND SALE
OF
REAL ESTATE**

AGREEMENT (“Agreement”) made and entered into this 28th day of August, 2019, by and between Fallbrook Properties, LLC , a Maine corporation (“Seller”), having a mailing address of 60 Merrymeeting Drive, Portland, Maine 04013 and Fallbrook Care Development LLC, a Maine corporation with an address of PO Box 110, Portland, Maine 04112 or its assigns (“Buyer”).

RECITALS

Seller is party to a Memorandum of Agreement relating to a project that entails the conveyances by Seller to a Joint Venture of real property (two land parcels) located adjacent to Fallbrook Woods in Portland, Maine, and the use of such assets by Buyer to develop, build and operate a new assisted living facility. This Agreement for the Purchase and Sale of Real Estate is contemplated by the Memorandum of Agreement., Joint Venture, dates August 28, 2019.

In consideration of the mutual covenants and agreements herein contained herein, the receipt and sufficiency of which are hereby acknowledged, Seller and Buyer hereby agree as follows:

1. PURCHASE AND SALE. Seller agrees to sell, and Buyer agrees to buy, on the terms and conditions hereinafter set forth certain real estate, and all appurtenances thereof, consisting of two parcels of real estate shown for illustration purposes in the diagram attached as Exhibit A. Copies of the legal descriptions to be used in conveying the Property are annexed hereto and incorporated herein by reference as Exhibit B (collectively to be referred to as the “Property”).
2. PURCHASE PRICE AND DEPOSIT: As consideration for the conveyance of the Property, Buyer shall pay to Seller at Closing the sum of \$800,000.
3. PERFORMANCE AT CLOSING: At Closing, Seller shall deliver to Buyer a deed, conveying the Property in fee simple with good and marketable title in accordance with standards of title adopted by the Maine Bar Association, and subject to the Permitted Encumbrances, and Buyer shall pay the Purchase Price as provided herein and execute all necessary papers for the completion of the purchase on or before August 30, 2020, unless extended by mutual agreement of the parties.

period, not to exceed 30 days from the time Seller receives written notice of the defect, unless otherwise agreed to by both parties, to remedy the title, after which time, if such defect is not corrected so that there is marketable title, Buyer may within forty-five (45) days thereafter, at Buyer's option, withdraw said earnest money and neither party shall have any further obligation hereunder. Seller hereby agrees to make a good-faith effort to cure any title defect during such period, but shall not be obligated to expend more than \$5,000 to cure. If Closing of the real estate transaction is delayed on account of such defects, the parties shall bargain regarding whether and the terms under which the remainder of the closing contemplated under the Memorandum of Agreement may be consummated and this real estate transaction completed thereafter.

- b. Seller further agrees to execute and deliver to Buyer at Closing the following documents: (i) a Certificate of Non-Foreign Status (as required by Internal Revenue Service regulations); (ii) a title insurance "Seller's Affidavit" regarding mechanics liens and persons in possession; (iii) an affidavit regarding underground storage tanks (as required by Maine Law), and (iv) documents demonstrating Seller's authority to convey and good standing as evidenced by a copy of Seller's resolution authorizing the transaction contemplated herein and all other documents regarding authority or any other matter reasonably required from the Closing.
- c. To the extent that the conveyance of title to the Property to Buyer requires the subdivision of lots, Buyer shall bear the cost, or shall reimburse Seller, for the cost of any outside legal and surveyor expense reasonably necessary to secure such subdivision, including any necessary municipal or other approvals.

4. DEED: The Property shall be conveyed by a quitclaim with covenant deed and shall be free and clear of all encumbrances except for Permitted Encumbrances, and except for covenants, conditions, easements and restrictions of record and usual public utilities servicing the Property and shall be subject to applicable land use and building laws and regulations.

5. POSSESSION/OCCUPANCY: Possession/occupancy of Property shall be given to Buyer immediately at Closing unless otherwise agreed by both parties in writing.

6. RISK OF LOSS: Until transfer of title, the risk of loss or damage to said Property by fire or otherwise is assumed by Seller unless otherwise agreed in writing. Said Property shall at closing be in substantially the same condition as at present, excepting reasonable use and wear.

7. PRORATIONS: The following items shall be prorated as of the date of closing:

- a. Buyer and Seller shall each pay one-half of the transfer tax as required by the laws of the State of Maine.

- b. Buyer and Seller shall reasonably cooperate on the proration of any other needed item at Closing. The property is vacant land, and so no heating oil or water and sewer charges are expected.
 - c. Real Estate Taxes for any portions of the Property subject to such taxes, based on the municipality's current tax year.
8. INSPECTION. Buyer may enter into any part of the Property at all reasonable times in order to inspect the Property, conduct surveys, soil tests and engineering studies and to do such things as are reasonably necessary with respect to its acquisition and intended development of the Property. In the event that the Buyer does not terminate this Agreement, this inspection contingency to its obligation to close shall be conclusively deemed waived.
9. AGENCY DISCLOSURE: Buyer and Seller acknowledge that they have not engaged a real estate broker in their transaction.
10. PRIOR STATEMENTS: This Agreement and the referenced Memorandum of Agreement set forth the entire agreement between the parties relating to the conveyance of the property described in Exhibit A, and there are no other representations, agreements or understandings with respect to the subject matter of this Agreement.
11. ASSIGNS: This Agreement shall extend to and be obligatory upon successors, and assigns of the respective parties. This Agreement may be assigned only to persons or entities controlling, controlled by, or under common control of a party.
12. COUNTERPARTS: This Agreement may be signed on any number of identical counterparts, including telefax copies, with the same binding effect as if all of the signatures were on one instrument.
13. BUYER'S NOMINEE: Buyer may transfer its rights under this Agreement to an entity or the nominee which it controls. Buyer shall, however, remain jointly and severally liable with such transferee for all of Buyer's obligations under this Agreement and under the Memorandum of Agreement, and such transferee shall be required to assume joint and several liability for all such obligations. Buyer shall give Seller prompt written notice of any such transfer at least seven (7) days before the scheduled Closing, which notice shall include sufficient information to identify the transferee entity or nominee and certified copies of its organizational documents. No assignment shall be valid unless Seller has approved the agreement pursuant to which the assignment is consummated. No other assignment of this Agreement by Buyer is permitted.
14. EFFECTIVE DATE: This Agreement is a binding contract when signed by both Seller and Buyer and when that fact has been communicated to all parties or to their agents. Time is of the essence of this Agreement to the extent set forth in the Master Agreement.

15. BEST EFFORTS: Each of the parties shall undertake to take all reasonable steps necessary to achieve the satisfaction of conditions leading to a Closing under this Agreement.

16. FACSIMILE COPIES: All parties to this Agreement agree to accept facsimile or photocopies of this document and any signatures thereto as originals.

17. REPRESENTATIONS OF SELLER: Seller represents to Buyer that the following are true as of the date of this Agreement and will be true as of the Closing:

- a. To the best of Seller's knowledge, there are no violations of any applicable law, ordinance or regulation at the Property.
- b. To the best of Seller's knowledge, there are no special wastes, underground storage tanks, asbestos containing materials, waste oil, petroleum and any other hazardous substances, materials or wastes contaminating the Property. The terms used in the foregoing sentence shall include, without limitation, all substances, materials, etc., designated by such terms under any laws, ordinances, or regulations, whether federal, state, or local. This presentation shall except such materials used in the regular course of business and disposed of in compliance with all applicable laws.
- c. Other than matters of record that constitute Permitted Encumbrances, there are no outstanding pending or threatened liens, claims, rights of first refusal, or encumbrances against the Property.

18. NOTICES. Any notice or communication given pursuant to this Agreement by either of the parties to the other shall be in writing and delivered as provided in the Master Agreement for notices.

19. GOVERNING LAW. This Agreement shall be construed according to the laws of the State of Maine.

20. TERMINATION OF AGREEMENT. This Agreement shall terminate if:

- a. The Memorandum of Agreement is terminated.
- b. Any other condition precedent set forth in the Memorandum of Agreement required to be fulfilled is not fulfilled (or waived by the party having the waive such condition) by August 30, 2020.

a. The Memorandum of Agreement is terminated.

b. Any other condition precedent set forth in the Memorandum of Agreement required to be fulfilled is not fulfilled (or waived by the party having the waive such condition) by August 30, 2020.

Seller acknowledges that the laws of the State of Maine provide that every buyer of real property located in Maine must withhold a withholding tax equal to 2-1/2% of the consideration unless Seller furnishes to Buyer a certificate by the Seller stating, under penalty of perjury, that Seller is a resident of Maine or the transfer is otherwise exempt from withholding.

Buyer Fallbrook Core Development LLC
_____ ~~Tax I.D.~~



Signature

Daniel J. Maguire
Name/Title, there unto duly authorized
Member

Seller accepts Buyer's offer and agrees to deliver the Property at the price and upon the terms and conditions set forth above.

Signed this 20th day of August, 2019.

Seller FALLBROOK PROPERTIES, LLC Tax I.D. # 270433266

by: 
Signature

JOHN C. ORESTIS, PRINCIPAL & MANAGING MEMBER
Name/Title, there unto duly authorized

EXHIBIT A

(legal descriptions begin on next page)



<p>DATE: 10/14/11 PROJECT: NURSING CARE DRAWN BY: [unreadable]</p>	<p>SEBAGO ENGINEERS & ARCHITECTS 1000 SOUTH AVENUE SUITE 100 WASHINGTON, DC 20004</p>	<p>[unreadable text]</p>	<p>[unreadable text]</p>	<p>[unreadable text]</p>	<p>[unreadable text]</p>	<p>[unreadable text]</p>	<p>[unreadable text]</p>
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Exhibit A

**AGREEMENT FOR PURCHASE AND SALE
OF
REAL ESTATE**

AGREEMENT (“Agreement”) made and entered into this 28th day of August, 2019, by and between Fallbrook Properties, LLC , a Maine corporation (“Seller”), having a mailing address of 60 Merrymeeting Drive, Portland, Maine 04013 and Fallbrook Care Development LLC, a Maine corporation with an address of PO Box 110, Portland, Maine 04112 or its assigns (“Buyer”).

RECITALS

Seller is party to a Memorandum of Agreement relating to a project that entails the conveyances by Seller to a Joint Venture of real property (two land parcels) located adjacent to Fallbrook Woods in Portland, Maine, and the use of such assets by Buyer to develop, build and operate a new assisted living facility. This Agreement for the Purchase and Sale of Real Estate is contemplated by the Memorandum of Agreement., Joint Venture, dates August 28, 2019.

In consideration of the mutual covenants and agreements herein contained herein, the receipt and sufficiency of which are hereby acknowledged, Seller and Buyer hereby agree as follows:

1. PURCHASE AND SALE. Seller agrees to sell, and Buyer agrees to buy, on the terms and conditions hereinafter set forth certain real estate, and all appurtenances thereof, consisting of a parcel of real estate shown for illustration purposes in the diagram attached as Exhibit A. Copies of the legal description to be used in conveying the Property are annexed hereto and also incorporated herein by reference as Exhibit A (collectively to be referred to as the “Property”).
2. PURCHASE PRICE AND DEPOSIT: As consideration for the conveyance of the Property, Buyer shall pay to Seller at Closing the sum of \$800,000.
3. PERFORMANCE AT CLOSING: At Closing, Seller shall deliver to Buyer a deed, conveying the Property in fee simple with good and marketable title in accordance with standards of title adopted by the Maine Bar Association, and subject to the Permitted Encumbrances, and Buyer shall pay the Purchase Price as provided herein and execute all necessary papers for the completion of the purchase on or before August 30, 2020, unless extended by mutual agreement of the parties.

EXHIBIT A
Proposed Description Parcel One

A certain lot or parcel of land situated on the westerly sideline of Ray Street in the City of Portland, County of Cumberland, State of Maine as depicted on a plan titled "Existing Conditions of Fallbrook Nursing Care, Merrymeeting Drive, Portland, Maine for Sandy River Company, 217 Commercial Street, Suite 201, Portland, Maine 04112, Record Owner Fallbrook Properties, LLC, 418 Ray Street, Portland Maine 04103" by Sebago Technics, Inc., dated May 30, 2019 and revised through July 10, 2019 to be recorded in the Cumberland County Registry of Deeds (CCRD) and being more particularly bounded and described as follows:

Beginning at a 5/8-inch rebar, 6-inches above grade on the westerly sideline of Ray Street and the northerly corner of land now or formerly of Amanda J. Connelly as described in a deed recorded in the CCRD in Book 34668, Page 155;

Thence S 54°32'18" W, along land now or formerly of Amanda J. Connelly and land now or formerly of Donald A. Thompson, Jr. and Evelyn L. Thompson JTS as described in a deed recorded in the CCRD in Book 6632, Page 99, a distance of 150.00 feet to a 5/8-inch iron rod, 8-inches above grade;

Thence S 35°27'42" E, along land now or formerly of Donald A. Thompson, Jr. and Evelyn L. Thompson JTS, a distance of 50.00 feet to a 5/8-inch rebar with plastic cap inscribed "STI PLS 2534" to be set;

Thence N 54°32'18" E, along land now or formerly of Donald A. Thompson, Jr. and Evelyn L. Thompson JTS, a distance of 50.00 feet to a 5/8-inch rebar with plastic cap inscribed "STI PLS 2534" to be set at land now or formerly of Jason D. Smith and Laurie R. Smith JTS as described in a deed recorded in the CCRD in Book 32730, Page 23;

Thence S 35°27'42" E, along land now or formerly of Jason D. Smith and Laurie R. Smith JTS and land now or formerly of Debora D. Morgan as described in a deed recorded in the CCRD in Book 13636, Page 105, a distance of 72.78 feet to a point;

Thence S 34°40'07" E, along land now or formerly of Debora D. Morgan, Gladys A. Moody as described in a deed recorded in the CCRD in Book 32780, Page 65, Marilyn D. Webb as described in a deed recorded in the CCRD in Book 29023, Page 310, Anna J. Aiken and James W. Aiken JTS as described in a deed recorded in the CCRD in Book 25390, Page 8, John M. Scholz as described in a deed recorded in the CCRD in Book 10841, Page 202, Jaime L. Hiltz as described in a deed recorded in the CCRD in Book 23255, Page 247 and David DiPietro as described in a deed recorded in the CCRD in Book 32054, Page 195, a distance of 333.24 feet to a 5/8-inch iron rod, 15-inches above grade at land now or formerly of Hon Khuu as described in a deed recorded in the CCRD in Book 32424, Page 248 and land now or formerly of Regan S. Brendan as described in a deed recorded in the CCRD in Book 32806, Page 341;

Thence S 54°36'33" W, along land now or formerly of Regan S. Brendan, a distance of 51.09 feet to a point;

Thence S 51°05'03" W, along land now or formerly of Regan S. Brendan, land now or formerly of Christian Sabrina Katheryn as described in a deed recorded in the CCRD in Book 32949, Page 39, land now or formerly of Mary A. Packard and Amanda M. Packard as described in a deed recorded in the CCRD in Book 10936, Page 100, land now or formerly of Haylee E. Hasson as described in a deed recorded in the CCRD in Book 33706, Page 89, land now or formerly of Hilary Carr as described in a deed recorded in the CCRD in Book 29976, Page 255, land now or formerly of Paula M. Urbach as described in a deed recorded in the CCRD in Book 31613, Page 621, land now or formerly of Ian P. Houseal as described in a deed recorded in the CCRD in Book 30070, Page 164, land now or formerly of Luis O. Garcia and Monica M. Garcia JTS as described in a deed recorded in the CCRD in Book 30353, Page 291 and land now or formerly of Matthew A. Anderson as described in a deed recorded in the CCRD in Book 32380, Page 112, a distance of 481.12 feet to a 5/8-inch iron rod, 12-inches above grade;

Thence S 37°28'58" W, along land now or formerly of Matthew A. Anderson, a distance of 29.58 feet to a 5/8-inch rebar with plastic cap inscribed "STI PLS 2534" to be set;

Thence S 28°22'08" W, along land now or formerly of Matthew A. Anderson, land now or formerly of Megan T. and Jonathan A. York JTS as described in a deed recorded in the CCRD in Book 25317, Page 156 and land now or formerly of Joy M. and Michael J. Borlawsky as described in a deed recorded in the CCRD in Book 9606, Page 268, a distance of 186.45 feet;

Thence S 29°23'41" W, along land now or formerly of Joy M. and Michael J. Borlawsky, a distance of 20.45 feet to a 5/8-inch rebar with plastic cap inscribed "STI PLS 2534" to be set at the centerline of the vacated Wadco Street as depicted on a Plan recorded at the CCRD in Plan Book 16, Page 29;

Thence N 54°10'52" W, through the vacated Wadco Street, a distance of 182.25 feet to a 5/8-inch rebar with plastic cap inscribed "STI PLS 2534" to be set;

Thence N 18°20'52" W, through the vacated Wadco Street and the vacated Ash Street as depicted on a Plan recorded at the CCRD in Plan Book 16, Page 29, a distance of 108.08 feet to a 5/8-inch rebar with plastic cap inscribed "STI PLS 2534" to be set;

Thence N 71°39'08" E, through the vacated Ash Street and along land now or formerly of Jeffrey A. Hayes Trustee as described in a deed recorded in the CCRD in Book 30716, Page 21, a distance of 123.80 feet to a point;

Thence N 17°52'57" W, along land now or formerly of Jeffrey A. Hayes Trustee, land now or formerly of Bertha L. Judkins as described in a deed recorded in the CCRD in Book 7750, Page 196, Topsham Street as depicted on a Plan recorded at the CCRD in Plan Book 16, Page 29, land now or formerly of House of Hogwarts, LLC as described in a deed recorded in the CCRD in Book 34616, Page 309, a distance of 369.17 feet to a 1-inch iron pipe, 2-inches above grade;

Thence N 18°18'12" W, along land now or formerly of House of Hogwarts, LLC, a distance of 125.00 feet to a 5/8-inch rebar with plastic cap inscribed "STI PLS 2534" to be set;

Thence S 79°57'00" E, through land of Fallbrook Properties, LLC, a distance of 99.99 feet to a 5/8-inch rebar with plastic cap inscribed "STI PLS 2534" to be set;

Thence N 54°32'18" E, through land to be retained by Fallbrook Properties, LLC, a distance of 420.18 feet to a 5/8-inch rebar with plastic cap inscribed "STI PLS 2534" to be set at other land of Fallbrook Properties, LLC;

Thence continuing N 54°32'18" E, through other land of Fallbrook Properties, LLC, a distance of 119.82 feet to a 5/8-inch rebar with plastic cap inscribed "STI PLS 2534" to be set on the westerly sideline of Ray Street;

Thence S 35°27'42" E, along Ray Street, a distance of 55.00 feet to the Point of Beginning;

Containing approximately 8.28 Acres.

The bearings herein are Grid North, Maine State Plane Coordinate System, West Zone 1802, NAD83.

August 28, 2019

AJS/jg

Current Owner Information:

CBL	400 D023001
Land Use Type	RETAIL & PERSONAL SERVICE
Verify legal use with Inspections Division	
Property Location	60 MERRYMEETING DR
Owner Information	FALLBROOK PROPERTIES LLC 418 RAY ST PORTLAND ME 04103
Book and Page	27501/183
Legal Description	400-D-23 402-I-1 403-F-1 RAY ST 362-362 MERRYMEETING DR 60 549978 SF
Rental Registration	No
Acres	12.6258

Current Assessed Valuation:

TAX ACCT NO.	25421	OWNER OF RECORD AS OF APRIL 2019
LAND VALUE	\$305,600.00	FALLBROOK PROPERTIES LLC
BUILDING VALUE	\$3,086,400.00	418 RAY ST
NET TAXABLE - REAL ESTATE	\$3,392,000.00	PORTLAND ME 04103
TAX AMOUNT	\$79,067.52	

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).

Building Information:

Building 1

Year Built 1993
Style/Structure Type
Units 1
Square Feet 27600

[View Sketch](#)

[View Map](#)

**Exterior/Interior Information:****Building 1**

Levels 01/01
Size 27600
Use NURSING HOME
Height 9
Walls FRAME
Heating HEAT PUMP
A/C CENTRAL

Other Features:**Building 1**

Structure SPRINKLER - WET
Size 27600X1

Building 1

Structure CANOPY - ONLY
Size 708X1

Outbuildings/Yard Improvements:

Building 1

Year Built 1993
Structure ASPHALT PARKING
Size 20000
Units 1
Grade C
Condition 3

Building 1

Year Built 1993
Structure LIGHT - MERCURY VAPOR,
POLE
Size 1X1
Units 6
Grade C
Condition 3

Building 1

Year Built 1993
Structure SHED-FRAME
Size 10X14
Units 1
Grade C
Condition 3

Sales Information:

Sale Date	Type	Price	Book/Page
12/30/2009	LAND + BUILDING	\$0.00	27501/183


SHORT FORM QUITCLAIM DEED WITH COVENANT

FALLBROOK, INC., a Maine corporation with a principal place of business in Portland, Maine, FOR CONSIDERATION PAID, grants to **FALLBROOK PROPERTIES, LLC**, a Maine limited liability company whose mailing address is 418 Ray Street, Portland, Maine 04103, with QUITCLAIM COVENANT certain real property, together with any improvements thereon, located at 418 Ray Street, Portland, Cumberland County, Maine, and more particularly described on Exhibit A attached hereto and made a part hereof (the "Premises").

IN WITNESS WHEREOF, Fallbrook, Inc. has caused this instrument to be executed by Robert J. Feeney, its President thereunto duly authorized, this 15th day of December, 2009.

WITNESSETH:

FALLBROOK, INC.



Name:

By: 
Name: Robert J. Feeney
Title: President

State of Maine
County of Cumberland, ss.

December 15, 2009

PERSONALLY APPEARED the above-named Robert J. Feeney, President of Fallbrook, Inc., as aforesaid, and acknowledged the foregoing instrument to be his free act and deed in his said capacity and the free act and deed of said corporation.

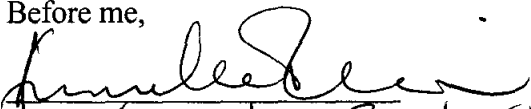
Before me,

Name: Kevan Lee Rinehart
Title: Attorney ME 9303

EXHIBIT A

A certain parcel of land situated Westerly of Ray Street in the City of Portland, County of Cumberland and State of Maine bounded and described as follows:

Beginning at the southeasterly corner of Fallbrook, a Condominium, at a point on the Westerly sideline of land now or formerly of John N. Jr. and Glennis E. Fitzpatrick (Book 2773, Page 224);

Thence, S 13°-05'-20" E by the land of Fitzpatrick 110.00 feet to a point marked by a 5/8" iron rod set;

Thence, N 76°-54'-40" E by the land of Fitzpatrick 256.90 feet to a point on the Westerly sideline of Ray Street marked by 5/8" iron rod set;

Thence, S 16°-25'-15" E by the sideline of Ray Street 1.42 feet to a point marked by a 5/8" iron rod set at the land now or formerly of Ivan G. and Edwina F. Callahan (Book 2997, Page 486);

Thence, S 73°-34'-45" W by the land of Callahan 220.00 feet to a point marked by a 5/8" iron rod set;

Thence, S 16°-25'-15" E by the land of Callahan 65.00 feet to a point marked by a 5/8" iron rod set;

Thence, N 73°-34'-45" E by the land of Callahan 100.00 feet to a point marked by a 5/8" iron rod set at the land now or formerly of Malcolm A. and Gail E. McDonald (Book 3614, Page 219);

Thence, S 18°-02'-05" E by the land of McDonald 163.18 feet to a point marked by a 5/8" iron rod set;

Thence, N 74°-25'-15" E by the land of McDonald 120.00 feet to a point on the Westerly sideline of Ray Street marked by a 5/8" iron rod set;

Thence, S 18°-35'-45" E by the sideline of Ray Street 47.17 feet to a point marked by a 5/8" iron rod set at the land now or formerly of Donald A. and Evelyn Thompson (Book 2892, Page 451);

Thence, S 71°-24'-15" W by the land of Thompson 150.00 feet to a point marked by a 5/8" iron rod set;

Thence, S 18°-35'-45" E by the land of Thompson 50.00 feet to a point marked by a 5/8" iron rod set;

Thence, N 71°-24'-15" E by the land of Thompson 50.00 feet to a point marked by a 5/8" iron rod set at the land now or formerly of Richard E. and Carolyn Grover (Book 2895, Page 492);

Thence, S 18°-35'-45" E by the land of Grover and by the land now or formerly of Raymond A. and Florence M. Sevigny (Book 2490, Page 327) 72.78 feet to a point marked by a 5/8" iron rod set;

Thence, S 17°-48'-10" E by the land of Sevigny and by the lands now or formerly of Gladys A. and Kenneth V. Moody (Book 3471, Page 62), Betty L. Denbow (Book 2682; Page 313), Anna J. Aiken (Book 3570, Page 212), David A. and Carolyn J. Matthews (Book 4483, Page 163), Laura H. Clark (Book 3708, Page 194), and George and Doris Castonia (Book 4960, Page 286) 333.24 feet to a point marked by a 5/8" iron rod set at the land now or formerly of Frances F. Gatchell (Book 6257, Page 342);

Thence, S 71°-28'-30" W by the land of Gatchell 51.09 feet to a point marked by a 5/8" iron rod set;

Thence, S 67°-57'-00" W by the land of Gatchell and lands now or formerly of Eleanor L. and Sherry Sapko, Charles E. and Linda J. Foshay (Book 3920, Page 212), Linwood J. and Ruth L. Thaxter, Charles L. Arey (Book 2320, Page 55), Dorothy M. and Richard M. Butler (Book 3765, Page 177), Norman C. and Caroline M. Walton (Book 2014, Page 140), James P. and Lula S. Cullen (Book 2044, Page 474), and Glenda R. and Roger R. Pushor (Book 4755, Page 44) 481.12 feet to a point marked by a 5/8" iron rod set;

Thence, S 54°-20'-55" W by the land of Pushor 29.58 feet to a point marked by a 5/8" iron rod set;

Thence, S 45°-14'-05" W by the land now or formerly of Claire D. and Edward L. Gulick (Book 3782, Page 285) and by the land now or formerly of John H. and Jeannette B. Greer (Book 2824, Page 131) 186.45 feet to a stone wall intersection and the end of Wadco Street;

Thence, N 01°-01'-00" W by a stone wall 7.90 feet to the Northeasterly sideline of Wadco Street;

Thence, N 37°-18'-55" W by the sideline of Wadco Street 165.51 feet to a point marked by a 5/8" iron rod set at the Easterly sideline of Ash Street;

Thence, N 01°-28'-55" W by the sideline of Ash Street 100.00 feet to a point marked by a 5/8" iron rod set at the land now or formerly of Diane M. and Richard C. Hayes (Book 3615, Page 161);

Thence, N 88°-31'-05" E by the land of Hayes 98.80 feet to a stonewall;

Thence, N 01°-01'-00" W by the land of Hayes, the land now or formerly of Bertha C. Judkins, by the end of Topsham Street, and by the land now or formerly of David F. Marshall (Book 4804, Page 317) 369.17 feet to a 1" iron pipe found;

Thence, N 01°-26'-15" W by the land of Marshall 125.00 feet;

Thence, S 80°-04'-05" W by the land of Marshall 100.00 feet to a point marked by a 5/8" iron rod set;

Thence, S 1°-09'-05" E by the land of Marshall 125.00 feet to a 1" iron pipe found at the Northeast corner of the land now or formerly of Bertha C. Judkins;

Thence, S 81°-21'-30" W by the land of Judkins 56.91 feet to a 1/4" iron rod found at the Southeast corner of the land now or formerly of F. S. Plummer Co. (Book 6869, Page 110);

Thence, N 07°-34'-10" E by land of F. S. Plummer Co. 592.31 feet;

Thence, S 63°-29'-00" E by Fallbrook, a Condominium, 190.24 feet to a point;

Thence, N 76°-59'-40" E by Fallbrook, a Condominium, 166.98 feet to the point of beginning.

Also including and subject to those easements and rights, in common with others, which are described in the below referenced documents:

(1) Easements from George and Doris Castonia dated December 20, 1985, recorded in Book 7036, Page 92;

(2) Easements from Calvin L. and Myrtle W. Gailey, dated December 20, 1985, and recorded in Book 7036, Page 96;

(3) Easement from Frances F. Gatchell dated December 20, 1985, and recorded in Book 7036, Page 100; and

(4) Easement to the City of Portland for a turn-around at the terminus of Topsham Street and other matters shown on the Plat of Fallbrook, a Condominium, recorded in Plan Book 178, Page 66.

Also, an easement for all purposes in common with others over, under and along the 50 foot wide right of way shown on the said Plat of Fallbrook, a Condominium, recorded in Plan Book 178, Page 66 and reserved in the Declaration of Fallbrook Condominium dated April 20, 1989 and recorded in Book 8730, Page 206.

Also subject to the following exceptions and matters:

1. Title to and rights of the public and others entitled thereto in and to any portion of the Premises located within the bounds of adjacent streets, roads and ways.
2. Setback and minimum building value restrictions set forth in Indenture by and between Reginald and Isabelle H. Carles and Gretta and Edith Henderson, dated January 24, 1949 and recorded in the Cumberland County Registry of Deeds in Book 1951, Page 85 (further references herein to recorded documents are

references to documents recorded in said Registry).

3. Terms and provisions of a State of Maine Department of Environmental Protection Site Location Order #L-011219-87-A-N issued to Liberty Group, Inc., dated October 10, 1985 and recorded in Book 6958, Page 88, as transferred by unrecorded Order dated January 22, 1988; as further transferred to MM II Real Estate Corporation by Order dated February 24, 1989 and recorded in Book 8681, Page 310; as further transferred to Merreal Corp. by Order dated April 3 1989 and recorded in Book 8733, Page 187; and as affected by Order dated December 28, 1992 and recorded in Book 10500, Page 287.
4. Easement from the Merrymeeting Developers to Central Maine Power Company and New England Telephone and Telegraph Company, dated May 25, 1988 and recorded in Book 8444, Page 191.
5. Easement granted to Portland Water District by instrument dated September 21, 1988 and recorded in Book 8490, Page 164.
6. Matters affecting the Premises shown on plan entitled "Condominium Plat III, Fallbrook, A Condominium on Ray Street, Portland, Maine, for Merreal Corp., by Owen Haskell, Inc., dated May 10, 1990 and recorded in Plan Book 185, Page 15.
7. Terms and conditions of a Maintenance Agreement by and between Fallbrook, Inc. and Fallbrook, A Condominium, dated February 4, 1993 and recorded in Book 10546, Page 73.
8. Utility easement from Fallbrook, Inc. to Central Maine Power Company and New England Telephone and Telegraph Company, dated May 26, 1993 and recorded in Book 10771, Page 14.
9. Utility easement granted to Northern Utilities, Inc. by instrument dated October 7, 1993 and recorded in Book 11022, Page 51.
10. Agreement for Transfer and Assumption of Special Declarant Rights by and between Fallbrook, Inc. and Fallbrook Condominium Association, dated June 28, 1993 and recorded in Book 10804, Page 329.
11. Contract for Electric Service by and between Fall Brook Woods and Central Maine Power Company, dated June 18, 1993 and recorded in Book 11243, Page 201.
12. All encumbrances, restrictions and other matters of record affecting the Premises as of the date hereof.

Meaning and intending to convey the premises conveyed to Grantor herein by Deed from Merreal Corp., formerly named MM II Real Estate Corporation, to Fallbrook, Inc., dated December 20, 1991 and recorded in Book 9831, Page 59.

Received
Recorded Register of Deeds
Dec 30 2009 02:11:13P
Cumberland County
Pamela E. Lovley

Anthony Donovan
27 Riverview Street
Portland ME 04102

Barbara Wood
125 Emery Street
Portland ME 04102

Chris Castelsky
Fairpoint Communications
521 East Morehead Street
Charlotte NC 28202

David Nowlin
215 Oxford Street
Portland ME 04102

Deb Keenan
28 Dorothy Street
Portland ME 04103

Devon Platte
26 North Street, #3
Portland ME 04101

Edward Suslovic
District 3
46 Kenwood Street
Portland ME 04103

Greater Portland Council of Governments
970 Baxter Blvd., 2nd Floor
Portland ME 04103

Janice Carpenter
9 W. Commonwealth Drive
Portland ME 04103

Jennifer Munson
City of Portland
389 Congress Street
Portland ME 04101

Jesse Thompson
Kaplan Thompson Architects
100 Exchange Street
Portland ME 04103

Len Anderson
543 Allen Avenue
Portland ME 04103

Lynn Clarkson
145 Marlborough Road
Portland ME 04103

Mary Griffity
6 E. Prom, Unit #2
Portland ME 04103

Vahan Tufankijan
Seaside Healthcare
850 Baxter Boulevard
Portland ME 04103

Nancy Bartlett
PO Box 7965
Portland ME 04112

Pam Burnside
64 Lester Drive
Portland ME 04103

Paul Dubois
1915 Congress Street
Portland ME 04102

Peggy Morin
66 Farnham Street
Portland ME 04101

Philip Haughey
1660 Soldiers Field Road
Boston MA 02135

Priscilla LaVallee
190 US Route 1, Unit 2
Falmouth ME 04105

Rebecca Halla
Waste Management of Maine
2000 Forest Avenue
Portland ME 04103

REP Benjamin Dudley III
District 30
9 Ponce Street
Portland ME 04101

REP Glenn Cummings
District 37
24 Nevens Street
Portland ME 04103

Robert Hains
250 Holm Avenue
Portland ME 04102-1208

9 NEVADA LLC
111 POND RD
NEW GLOUCESTER ME 04260

ACHESON ANN W & JAMES M ACHESON
JTS28
MERRYMEETING DR
PORTLAND ME 04103

AIKEN ANNA J & JAMES W AIKEN
JTS336
RAY ST
PORTLAND ME 04103

ALLAIRE JENNIFER & GERARD ALLAIRE JTS
19 NEVADA AVE
PORTLAND ME 04103

ANASTOS ELLEN B
459 ALLEN AVE # 25
PORTLAND ME 04103

ANDERSON MATTHEW A
76 FLORIDA AVE
PORTLAND ME 04103

ANDERSON PATTI J & RICHARD E JR
JTS
97 FLORIDA AVE
PORTLAND ME 04103

ANDERSON ROBERTA R
455 ALLEN AVE
PORTLAND ME 04103

ANDERSON-CHRISTIE SUZAN F & MARGERY C
SUDBAY JTS
21 MERRYMEETING DR
PORTLAND ME 04103

ATTIX LEE & SUSAN ROWAN JTS
18 MERRYMEETING DR
PORTLAND ME 04103

AUTO EUROPE LLC
39 COMMERCIAL ST
PORTLAND ME 04101

BARBER GEORGE & KENNETH D BARBER JTS
19 MERRYMEETING DR
PORTLAND ME 04103

BASSETT SANDRA J
12 VERMONT AVE
PORTLAND ME 04103

BEAUPRE JOHN D & TRACY ALLEN BEAUPRE
JTS
459 ALLEN AVE # 4
PORTLAND ME 04103

BESEMER LORI T & JOHN W BESEMER IV JTS
16 PENN AVE
PORTLAND ME 04103

BLUE WAGON LLC
41 GORE RD
RAYMOND ME 04071

BORLAWSKY JOY M & MICHAEL J SR
62 FLORIDA AVE
PORTLAND ME 04103

BROWN ROBERT A & VALARIE J JTS
28 PENN AVE
PORTLAND ME 04103

CAETANO VASCO
3 MERRYMEETING DR
PORTLAND ME 04103

CARR HILARY
11 QUAIL TRL
BUXTON ME 04093

CARTER JENNELL A & ALICIA M MENARD JTS
146 MAINE AVE
PORTLAND ME 04103

CHACE WILLIAM J
74 GERTRUDE AVE
PORTLAND ME 04103

CHASE DAVID A & BETTI J CHASE JTS
23 MERRYMEETING DR
PORTLAND ME 04103

CHRISTIAN SABRINA KATHRYN
110 FLORIDA AVE
PORTLAND ME 04103

CHRISTY ALEXIA L
156 MAINE AVE
PORTLAND ME 04103

CHRISTY KEVIN R & DAWN M CHRISTY JTS
160 MAINE AVE
PORTLAND ME 04103

CHRISTY KEVIN R & DAWN M JTS
160 MAINE AVE
PORTLAND ME 04103

CHURCH RONALD C & DONNA I JTS
325 RAY ST
PORTLAND ME 04103

CLARK LESLIE M
12 TEXAS ST
PORTLAND ME 04103

CLARKIN REBECCA
8 NEVADA AVE
PORTLAND ME 04103

CLEALE ELIZABETH & LEO SMITH
25 FLORIDA AVE
PORTLAND ME 04103

COHEN BRIAN F & TARA COHEN JTS
32 NEVADA AVE
PORTLAND ME 04103

CONNELLY AMANDA J
356 RAY ST
PORTLAND ME 04103

COOMBS PATRICIA L
459 ALLEN AVE APT 24
PORTLAND ME 04103

COTE ELIZABETH M
14 MERRYMEETING DR
PORTLAND ME 04103

COURNOYER PAUL B & KYMBERLEY T
COURNOYER JTS
24 MERRYMEETING DR
PORTLAND ME 04103

CRABTREE VIRGINIA A
152 MAINE AVE
PORTLAND ME 04103

CRESSEY WESLEY O VN VET & BETTY ANN JTS
23 JERSEY AVE
PORTLAND ME 04103

CROSBY RONALD H SR
18 JERSEY AVE
PORTLAND ME 04103

DALL MEGAN N & RYAN C DALL JTS
402 RAY ST
PORTLAND ME 04103

DEARBORN CAROL A & DAVID L DUMONT JTS
2 MERRYMEETING DR
PORTLAND ME 04103

DENBOW DEBRA A
69 FLORIDA AVE
PORTLAND ME 04103

DIPIETRO DAVID
326 RAY ST
PORTLAND ME 04103

DONOVAN ROBYN J & TIMOTHY P DONOVAN
JTS
378 RAY ST
PORTLAND ME 04103

DOUGHTY BEN HILTON & CAROL N DOUGHTY
JTS
54 FLORIDA AVE
PORTLAND ME 04103

DOWNS KENNETH W & JANICE E JTS
469 ALLEN AVE
PORTLAND ME 04103

DUKES DAVID A & ROSE HEITHOFF JTS
30 TAYLOR ST
PORTLAND ME 04102

DUNCAN JORDAN TYLER & KATHERINE ELISE
DUNCAN JTS
365 RAY ST
PORTLAND ME 04103

DUNLAP KYAN J
459 ALLEN AVE # 14
PORTLAND ME 04103

DUNLAP KYAN JAMES & KAYLA LISA DUNLAP
JTS
94 SKYARK RD
PORTLAND ME 04103

FALLBROOK PROPERTIES LLC
418 RAY ST
PORTLAND ME 04103

FEENEY ANTONETTA S
186 MAINE AVE
PORTLAND ME 04103

FOERSTER CAROLYN D
17 VERMONT AVE
PORTLAND ME 04103

FORSDICK LESLIE
114 MAINE AVE
PORTLAND ME 04103

FROZEN PIPE PROPERTY LLC
2 WASHINGTON AVE
SCARBOROUGH ME 04074

GARCIA LUIS O & MONICA M GARCIA JTS 80
FLORIDA AVE
PORTLAND ME 04103

GAUDET MONIQUE R
59 GERTRUDE AVE
PORTLAND ME 04103

GEE BRANNEN M & KAITLIN M GEE JTS
75 FLORIDA AVE
PORTLAND ME 04103

GELINAS GREGORY P & PATRICIA A JTS 124
MAINE AVE
PORTLAND ME 04103

GELINAS KATIE L & PETER R ANDREWS JTS 27
MERRYMEETING DR
PORTLAND ME 04103

GRIBIZIS RUDINA R & WILLIAM G GRIBIZIS JTS
285 CLIFTON ST
PORTLAND ME 04103

GRIFFIN MAUREEN H
15 MERRYMEETING DR
PORTLAND ME 04103

GROVER KELSEY E
271 BATH RD
WISCASSET ME 04578

HALLETT LORI
13 PENN AVE
PORTLAND ME 04103

HARKINS DONALD L & SUSAN B JTS
50 FLORIDA AVE
PORTLAND ME 04103

HARTLEY DANIELLE A
5 TEXAS ST
PORTLAND ME 04103

HARWOOD JOSEPH D
58 PROVIDENCE AVE
SOUTH PORTLAND ME 04106

HASSON HAYLEE E
100 FLORIDA AVE
PORTLAND ME 04103

HAYES JEFFREY A TRUSTEE
21 MARTIN AVE
SCARBOROUGH ME 04074

HAZARD JAMES
12 BIRKDALE RD
FALMOUTH ME 04105

HEASLY RACHEL & MARK ABDALLAH JTS 15
NEVADA AVE
PORTLAND ME 04103

HEROUX KAREN J
304 RAY ST
PORTLAND ME 04103

HILTZ JAIME L
11 BUNKER HILL TER
SCARBOROUGH ME 04074

HITZROT ANN H
459 ALLEN AVE # 13
PORTLAND ME 04103

HOLMES MARK A & LORI A HOLMES JTS 56
QUALEY RD
GRAY ME 04039

HOUSEAL IAN P
86 FLORIDA AVE
PORTLAND ME 04103

HOUSES OF HOGWARTS LLC
86 CRAIGIE ST
PORTLAND ME 04102

HOWARD SUSAN
10 MERRYMEETING DR
PORTLAND ME 04103

HUNT DANIEL P
20 MERRYMEETING DR
PORTLAND ME 04103

HUNTLEY KENNETH VN VET & ELIZABETH A
HUNTLEY JTS
31 NEVADA AVE
PORTLAND ME 04103

ISHERWOOD DONALD D VN VET
23 PENN AVE
PORTLAND ME 04103

JANCO SCOTT J
70 GERTRUDE AVE
PORTLAND ME 04103

JOHNSON JOSEPH & CHRISTINA M JOHNSON
JTS
118 MAINE AVE
PORTLAND ME 04103

JOHNSON RONALD S & LINDA J JTS
26 MERRYMEETING DR
PORTLAND ME 04103

JUDKINS BERTHA L
127 PINE TREE LN
FARMINGTON ME 04938

KANTROVITZ LARISA
166 MAINE AVE
PORTLAND ME 04103

KHUU HON
316 RAY ST
PORTLAND ME 04103

KONAN VIRGINIA J
22 NEVADA AVE
PORTLAND ME 04103

KWIECIEN STANISLAW
343 RAY ST
PORTLAND ME 04103

LAGERSTROM LYNN C
57 FLORIDA AVE
PORTLAND ME 04103

LAPLANTE CAROLE ANN
105 FLORIDA AVE
PORTLAND ME 04103

LEE THERESA
459 ALLEN AVE # 6
PORTLAND ME 04103

LIBBY CHRISTINE A
19 JERSEY AVE
PORTLAND ME 04103

LIBBY RANDOLPH
17 LARCHWOOD RD
SOUTH PORTLAND ME 04106

LINDVALL JAMES W II & LINDSAY A CARR JTS
38 FLORIDA AVE
PORTLAND ME 04103

LITVAK PROPERTIES LLC
66 PYA RD
PORTLAND ME 04103

LITVAK PROPERTIES LLC
PO BOX 7332
PORTLAND ME 04112

LL BEAN INC
15 CASCO ST
FREEPORT ME 04033

LPS PROPERTIES LLC
117 FLORIDA AVE
PORTLAND ME 04103

LUTTON LAURA J
26 NEVADA AVE
PORTLAND ME 04103

MACISSO JOSEPH J JR & EILEEN F MACISSO
JTS
27 PENN AVE
PORTLAND ME 04103

MARCHANT NICHOLAS M
18 FLORIDA AVE
PORTLAND ME 04103

MARTIN'S POINT HEALTH CARE INC
PO BOX 9746
PORTLAND ME 04112

MASON ALISON M
371 RAY ST
PORTLAND ME 04103

MCDONALD CHRISTOPHER A
91 FLORIDA AVE
PORTLAND ME 04103

MCDONALD PATRICIA A
368 RAY ST PORTLAND ME 04103

MINAT CORPORATION
PO BOX 7332 PORTLAND ME 04112

MINAT CORPORATION THE
PO BOX 7332
PORTLAND ME 04112

MINVIELLE PETER M VN VET
25 MERRYMEETING DR
PORTLAND ME 04103

MOREAU CHERYL
459 ALLEN AVE # 10
PORTLAND ME 04103

MORGAN DEBORA
D3 52 RAY ST
PORTLAND ME 04103

MORIN TERESA R
29 JERSEY AVE
PORTLAND ME 04103

MULLEN SUSAN L & JOHN H R MULLEN JTS
105 ALICE ST
PORTLAND ME 04103

MURPHY JANICE E
459 ALLEN AVE # 8
PORTLAND ME 04103

MURRAY DAVID & NATALIE MURRAY JTS 53
FLORIDA AVE
PORTLAND ME 04103

NEILAN DAVID M
459 ALLEN AVE # 18
PORTLAND ME 04103

NEILL DONALD L & LINDA H LORD JTS
17 MERRYMEETING DR
PORTLAND ME 04103

NEWMAN PHOEBE J
111 FLORIDA AVE
PORTLAND ME 04103

NGUYEN KHANHLY & CHE Q NGUYEN 286
RAY ST
PORTLAND ME 04103

NIZIOLEK CAROL A
22 MERRYMEETING DR
PORTLAND ME 04103

NORMANDIN ADAM
459 ALLEN AVE # 22
PORTLAND ME 04103

NORTON KIRSTEN & NATHANIEL DUDLEY JTS
170 MAINE AVE
PORTLAND ME 04103

OAKES RYAN E
34 JERSEY AVE
PORTLAND ME 04103

O'SULLIVAN PADRAIG N & SARAH E GODFREY
JTS 406 RAY ST PORTLAND ME 04103

PACKARD MARY A & AMANDA M & ALICIA L
PACKARD
106 FLORIDA AVE
PORTLAND ME 04103

PARADIS WILLIAM M & SARAH C PARADIS JTS
355 RAY ST
PORTLAND ME 04103

PARE MATTHEW P
142 MAINE AVE
PORTLAND ME 04103

PELLETIER ANGELA M
128 MAINE AVE
PORTLAND ME 04103

PERKINS SARAH & JILL PERKINS-BOUCHARD
11 JERSEY AVE
PORTLAND ME 04103

PLOURDE ROBERT E
100 MAIN ST
CORNISH ME 04020

PRESTON SHANNON R & RYAN VICTOR
JAROCHYM JTS
12 JERSEY AVE
PORTLAND ME 04103

PROIA SUSANNA
44 FLORIDA AVE
PORTLAND ME 04103

PURCELL LINNEA J
24 VERMONT AVE
PORTLAND ME 04103

QUINN SUSAN LOUISE
35 NEVADA AVE
PORTLAND ME 04103

RAMSDELL DARRIN L & LINDSEY M RAMSDELL
JTS
12 PENN AVE
PORTLAND ME 04103

REEDER SUSAN W
24 JERSEY AVE
PORTLAND ME 04103

REGAN BRENDAN S
114 FLORIDA AVE
PORTLAND ME 04103

RICE JULIANNE L
459 ALLEN AVE # 17
PORTLAND ME 04103

ROBERTS LEANNE
459 ALLEN AVE # 1
PORTLAND ME 04103

ROBINSON BEVERLY D
459 ALLEN AVE # 3
PORTLAND ME 04103

RODNEY ROBERT J II & CHRISTINE A RODNEY
JTS
121 WALTON ST
PORTLAND ME 04103

ROE LAURENCE L
160 MAINE AVE
PORTLAND ME 04103

ROWE EUGENE L & ELLEN R ROWE JTS 295
RAY ST
PORTLAND ME 04103

ROY KIMBERLY A
459 ALLEN AVE # 2
PORTLAND ME 04103

RUTHERFORD PATRIIA A
28 JERSEY AVE
PORTLAND ME 04103

SCHAIBERGER SCOTT C
138 MAINE AVE
PORTLAND ME 04103

SCHOLZ JOHN M
334 RAY ST
PORTLAND ME 04103

SENDZE KATIE
459 ALLEN AVE # 21
PORTLAND ME 04103

SHEA STEPHEN M & DIANE L JTS
101 FLORIDA AVE
PORTLAND ME 04103

SILVERNAIL DAVID L
459 ALLEN AVE APT 16
PORTLAND ME 04103

SINCLAIR DANIEL C & KIMBERLY A BRISSETTE
JTS
333 RAY ST
PORTLAND ME 04103

SMITH JASON D & LAURIE R SMITH JTS 354
RAY ST
PORTLAND ME 04103

SNOW CORY & SHEILA J SULLIVAN JTS
398 RAY ST
PORTLAND ME 04103

ST CLAIR GEORGE W JR
36 NEVADA AVE
PORTLAND ME 04103

STANTON ELIZABETH M
16 MERRYMEETING DR
PORTLAND ME 04103

STEVENS CHERYL A & CHESTER STEVENS JTS
9 TEXAS ST
PORTLAND ME 04103

SULLIVAN JAMES A JR
83 FLORIDA AVE
PORTLAND ME 04103

TALBOT JOSEPH F & JUDITH A HARRIS JTS
16 NEVADA AVE
PORTLAND ME 04103

TAYLOR DAWN M
459 ALLEN AVE # 11
PORTLAND ME 04103

THOMPSON BARBARA E
65 FLORIDA AVE
PORTLAND ME 04103

THOMPSON DONALD A & EVELYN L JTS 488
FORT HILL RD
GORHAM ME 04038

TOWLE WALTER D WWII VET & DONNA
MARIE TOWLE JTS
8 MERRYMEETING DR
PORTLAND ME 04103

TUFTS BARBARA J
6 MERRYMEETING DR # 6
PORTLAND ME 04103

TURNER CAROL A & SUSAN C VILLETТА JTS
18 WISEMAN ST
NEWPORT ME 04953

TUTOR THOMAS L
20 VERMONT AVE
PORTLAND ME 04103

UMBEL WILLIAM R
122 GERTRUDE AVE
PORTLAND ME 04103

URBACH PAULA M
92 FLORIDA AVE
PORTLAND ME 04103

WAGNER THERESA
65 WHITNEY FARM RD
NORTH YARMOUTH ME 04097

WARREN JARED P
459 ALLEN AVE #7 P
ORTLAND ME 04103

WEBB MARILYN D
340 RAY ST
PORTLAND ME 04103

WEBSTER BETH A
PO BOX 8228
PORTLAND ME 04104

WEISS LISA KOCH & LAURA JEAN WEISS JTS
35 HAMMOND ST
PORTLAND ME 04101

WELSH RICHARD E & SUSAN WELSH JTS
5 MERRYMEETING DR
PORTLAND ME 04103

WELSH RICHARD J & MARIE K WELSH JTS 13
MERRYMEETING DR
PORTLAND ME 04103

WELTY MARTHA & CHARLES WELTY JTS
4 MERRYMEETING DR
PORTLAND ME 04103

WGME INC
81 NORTHPORT DR
PORTLAND ME 04103

WHALEN MAUREEN
459 ALLEN AVE APT 23
PORTLAND ME 04103

WHIPKEY RENEE & RYAN WHIPKEY JTS
22 PENN AVE P
ORTLAND ME 04103

WHITNEY LEE ANN
1 MERRYMEETING DR
PORTLAND ME 04103

WOODBERRY KAREN E
459 ALLEN AVE #26
PORTLAND ME 04103

YEBOAH DUKE
17 PENN AVE
PORTLAND ME 04103

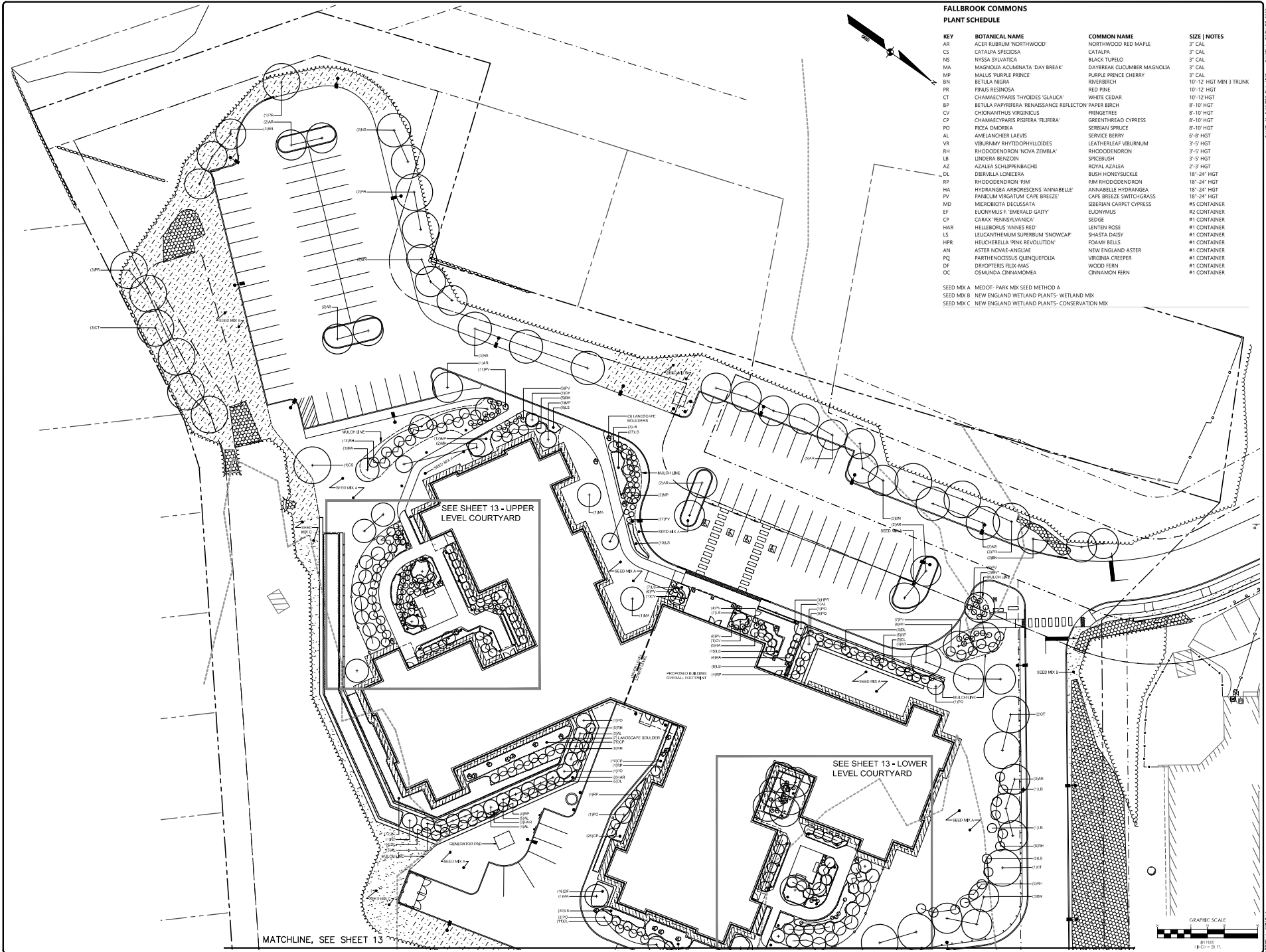
YORK MEGAN T & JONATHAN A YORK JTS
72 FLORIDA AVE
PORTLAND ME 04103

YOUNGBLOOD ALEC N & JOSHUA T AVERY JTS
344 RAY ST
PORTLAND ME 04103

ZIMMERMAN ROBERTA L
12 MERRYMEETING DR
PORTLAND ME 04103

ZUB PATRICIA A
308 E 120TH AVE
TAMPA FL 33612

298 RAY LLC
LEIGHTON AVE
PORTLAND ME 04103



**FALLBROOK COMMONS
PLANT SCHEDULE**

KEY	BOTANICAL NAME	COMMON NAME	SIZE NOTES
AR	ACER RUBRUM 'NORTHWOOD'	NORTHWOOD RED MAPLE	3' CAL
CS	CATALPA SPECIOSA	CATALPA	3' CAL
NS	NYSSA SYLVATICA	BLACK TUPELO	3' CAL
MA	MAGNOLIA ACUMINATA 'DAY BREAK'	DAYBREAK CUCUMBER MAGNOLIA	3' CAL
MP	MALUS PURPURE PRINCE'	PURPLE PRINCE CHERRY	3' CAL
BN	BETULA NIGRA	RIVERBIRCH	10'-12' HGT MIN 3" TRUNK
PR	PINUS RESINOSA	RED PINE	10'-12' HGT
CR	CHAMAECYPARIS THYOIDES 'GLAUCO'	WHITE CEDAR	10'-12' HGT
BP	BETULA PAPERIFERA 'RENAISSANCE REFLECTION'	PAPER BIRCH	8'-10' HGT
CV	CHIONANTHUS VIRGINICUS	FRINGETREE	8'-10' HGT
CY	CHAMAECYPARIS PSISERA 'FLUXERA'	GREENTHEAD CYPRUS	8'-10' HGT
PQ	PIEA OGNONICA	SIBERIAN SPRUCE	8'-10' HGT
AL	AMLANCHER LAEVIS	SERVICE BERRY	6'-8' HGT
VR	VBURNUM RHYTIDOPHYLLOIDES	LEATHERLEAF VBURNUM	3'-5' HGT
RH	RHODODENDRON 'NOVA ZEMBLA'	RHODODENDRON	3'-5' HGT
LB	LINDERA BIRZON	SPECBUSH	3'-5' HGT
AZ	AZALEA SCHLIPPENBACHI	ROYAL AZALEA	2'-3' HGT
DL	DIERVILLA LONICERA	BUSH HONEYSUCKLE	18"-24" HGT
RP	RHODODENDRON 'PJM'	PJM RHODODENDRON	18"-24" HGT
HA	HYDRANGEA ARBORESCENS 'ANNABELLE'	ANNABELLE HYDRANGEA	18"-24" HGT
PV	PANICUM VIRGATUM 'CAPE BREEZE'	CAPE BREEZE SWITCHGRASS	18"-24" HGT
MD	MICROBIOTA DECLUSATA	SIBERIAN CARPET CYPRUS	#5 CONTAINER
EF	EUCONYMUS F. 'EMERALD GATTY'	EUCONYMUS	#2 CONTAINER
CP	CARAX 'PENNSYLVANICA'	SEDGE	#1 CONTAINER
HAR	HELLEBORUS 'ANNES RED'	LENENT ROSE	#1 CONTAINER
LS	LEUCANTHEMUM SUPERBUM 'SNOWCAP'	SHASTA DASTY	#1 CONTAINER
HR	HELIOPSIS 'TRIK REVOLUTION'	FOAMY BELLS	#1 CONTAINER
AN	ASTER NOVAE-ANGLIAE	NEW ENGLAND ASTER	#1 CONTAINER
PQ	PARTHENOCISSUS QUINQUEFOLIA	VIRGINIA CREEPER	#1 CONTAINER
DF	DIMORPHIS BILANIS	WOOD FERN	#1 CONTAINER
OC	OSMUNDA CINNAMOMEA	CINNAMON FERN	#1 CONTAINER

SEED MIX A: MEDIUM PARK MIX SEED METHOD A
 SEED MIX B: NEW ENGLAND WETLAND PLANTS - WETLAND MIX
 SEED MIX C: NEW ENGLAND WETLAND PLANTS - CONSERVATION MIX

PROGRESS PRINT

NOT FOR CONSTRUCTION

SEBAGO
 LANDSCAPE ARCHITECTS
 70 JANE STREET, SUITE 201
 PORTLAND, MAINE 04108
 TEL: 207-255-1100
 FAX: 207-255-1101

LANDSCAPE PLAN 1
 OF
 FALLBROOK COMMONS
 PORTLAND, MAINE
 FALLBROOK COMMONS DEVELOPMENT LLC.
 212 COMMERCIAL STREET, SUITE 201
 PORTLAND, MAINE 04102

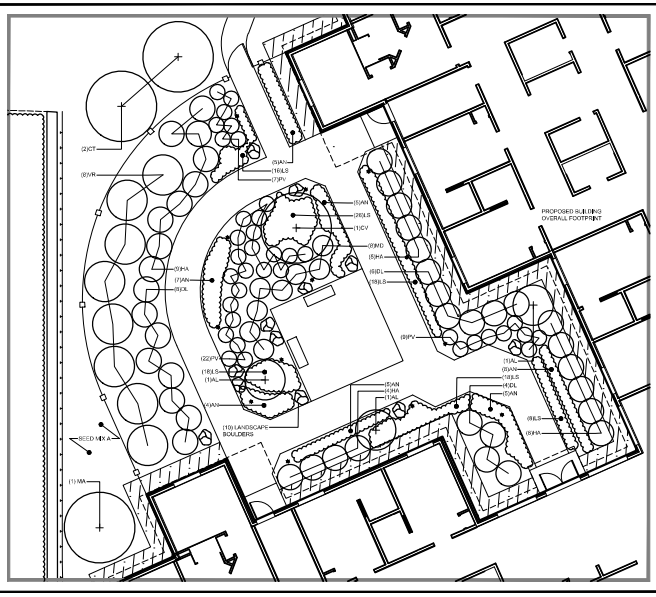
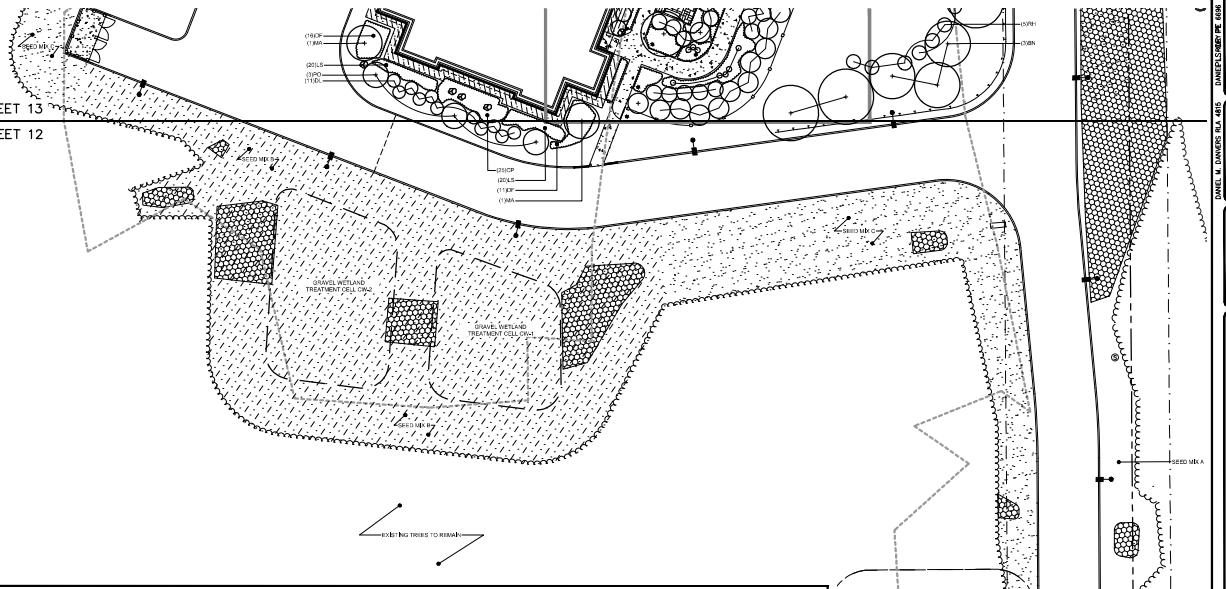
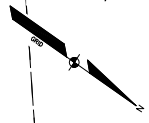
DESIGNED	DMD
DRAWN	SRJ
CHECKED	DFR
DATE	11/17/20
SCALE	1" = 20'
PROJECT	18347

FALLBROOK COMMONS
PLANT SCHEDULE

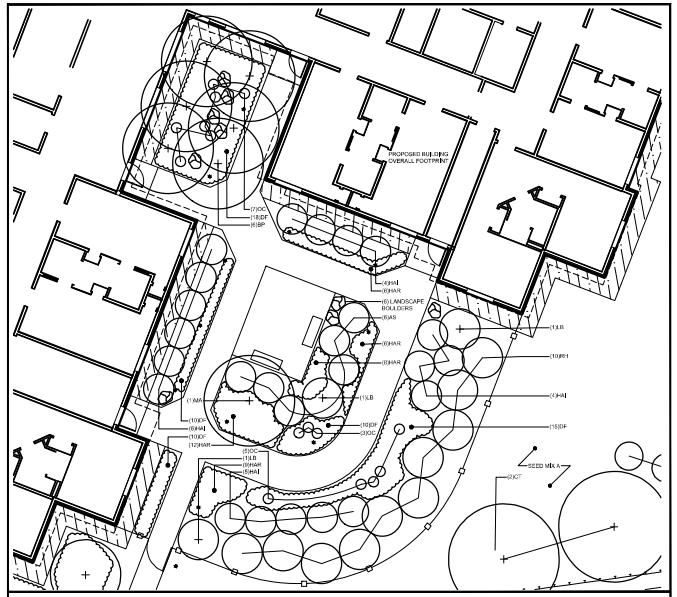
KEY	BOTANICAL NAME	COMMON NAME	SIZE NOTES
NR	ACEFR RUBRUM 'NORTHWOOD'	NORTHWOOD RED MAPLE	3" CAL
CS	CATALPA SPECIOSA	CATALPA	3" CAL
NS	NYSSA SYLVATICA	BLACK TUPELO	3" CAL
MA	MAGNOLIA ACUMINATA 'DAY BREAK'	DAYBREAK CLOMBER MAGNOLIA	3" CAL
MP	MALUS PURPLE PRINCE	PURPLE PRINCE CHERRY	3" CAL
BN	BETULA NIGRA	RIVERBIRCH	10'-12' HGT MIN 3 TRUNK
PR	PINUS RESINOSA	RED PINE	10'-12' HGT
CT	CHAMAECYPARIS 'HYVODES 'GLAUC'	WHITE CEDAR	10'-12' HGT
BV	BETULA PAPPYRIFERA 'RENAISSANCE REFLECTION	PAPER BIRCH	8'-10' HGT
CP	CHIRONANTHUS VIRGINICUS	FRINGE TREE	8'-10' HGT
GP	CHAMAECYPARIS 'PSPERA 'YLFERA'	GREENTHREAD CYPRESS	8'-10' HGT
PO	PICEA OMORICA	SERBIAN SPRUCE	8'-10' HGT
AL	AMELANCHIER LAEVIS	SERVICE BERRY	6'-8' HGT
VR	VIBURNUM RHYTIDOPHYLLOIDES	LEATHERLEAF VIBURNUM	3'-5' HGT
BN	RHODOENDRON 'NOVA ZEMBLA'	RHODOENDRON	3'-5' HGT
LB	LINDERA BENZOIN	SPICEBUSH	3'-5' HGT
AZ	AZALEA SCHLIPPENBACHI	ROYAL AZALEA	2'-3' HGT
DL	DIERVILLA LONICERA	BUSH HONEYSUCKLE	18"-24" HGT
BP	RHODOENDRON 'PINK'	PINK RHODOENDRON	18"-24" HGT
HA	HYDRANGEA ARBORESCENS 'ANNABELLE'	ANNABELLE HYDRANGEA	18"-24" HGT
PV	PANICUM VIRGATUM 'CAPE BREEZE'	CAPE BREEZE SWITCHGRASS	45 CONTAINER
MD	MICROBIOTA DECUSSATA	SIBERIAN GABRET CYPRESS	45 CONTAINER
EF	EUCONYMUS F. EMERALD GAITY'	EUCONYMUS	#2 CONTAINER
CP	CARAX 'PENNSYLVANICA'	SEDGE	#1 CONTAINER
HAR	HELLEBORUS 'ANNES RED'	LENITEN ROSE	#1 CONTAINER
LS	LEUCANTHEMUM SUPERBUM 'SNOWCAP'	SNOWY DAISSY	#1 CONTAINER
HRR	HELICHERELLA 'PINK REVOLUTION'	FOAMY BELLS	#1 CONTAINER
AN	ASTER NOVAE-ANGIAE	NEW ENGLAND ASTER	#1 CONTAINER
PQ	PAITHENOCISSUS QUINQUEFOIA	VIRGINIA CREEPER	#1 CONTAINER
DF	DRYOPTERIS FILIX-MAS	WOOD FERN	#1 CONTAINER
DC	OSMUNDA CINNAMOMIA	CINNAMON FERN	#1 CONTAINER

SEED MIX A MEDOT-PARK MIX SEED METHOD A
 SEED MIX B NEW ENGLAND WETLAND PLANTS-WETLAND MIX
 SEED MIX C NEW ENGLAND WETLAND PLANTS- CONSERVATION MIX

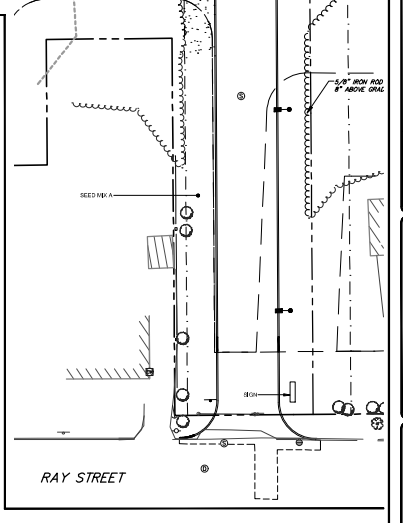
MATCHLINE, SEE SHEET 13
 MATCHLINE, SEE SHEET 12



UPPER LEVEL COURTYARD
 SCALE: 1" = 10'



LOWER LEVEL COURTYARD
 SCALE: 1" = 10'



PROGRESS PRINT

NOT FOR CONSTRUCTION

DATE: 11-12-19
 TIME: 11:22 AM
 USER: J. W. JACOBI

DATE: 11-12-19
 TIME: 11:22 AM
 USER: J. W. JACOBI

SEBAGO
 700 JEFFERSON BL. SUITE 200
 PORTLAND, MAINE 04106
 TEL: 603-883-2000
 FAX: 603-883-2001

LANDSCAPE PLAN 2
 OF
 FALLBROOK COMMONS
 PORTLAND, MAINE
 FALLBROOK COMMONS DEVELOPMENT LLC.
 217 COMMERCIAL STREET, SUITE 201
 PORTLAND, MAINE 04102

DESIGNED	DMD
DRAWN	SRJ
CHECKED	DLR
DATE	11/12/19
SCALE	1" = 20'
PROJECT	18347

Attachment 2

Wetlands Memo



Memorandum

18347To: Kylie Mason

From: Mike Jakubowski

Date: May 14, 2019

Subject: #18347 – Fallbrook

The wetlands on this site were delineated by Gary Fullerton and Mike Jakubowski of Sebago Technics, Inc. in September of 2018. This delineation conforms to the standards and methods outlined in the 1987 Wetlands Delineation Manual and Regional Supplement authored and published by the U.S. Army Corps of Engineers. The wetlands were marked in the field with alpha numeric pink “wetland delineation” flagging. The flags were then located using a Trimble gps backpack unit capable of decimeter accuracy.

Wetlands found are classified as forested wetlands (PFO). The vegetation in these PFO wetlands primarily consists of, maple (*Acer spp.*), speckled alder (*Alnus incana*), cinnamon fern (*Osmundastrum cinnamomeum*), sensitive fern (*Onoclea sensibilis*), and jewelweed (*Impatiens capensis*). Upland vegetation primarily consists of white pine (*Pinus strobus*) and red oak (*Quercus rubra*).

A vernal pool survey was conducted on May 6th, 2019. No vernal pools were identified on the property. There has been no field determination for streams and it is not suspected that there are streams present on this property.



Photograph 1. PFO wetland at western extent of project boundary.



Photograph 2. PFO wetland at eastern extent of project boundary.



Photograph 3. PFO wetland at eastern extent of project boundary.



Photograph 4. PFO wetland at eastern extent of project boundary, near access road.

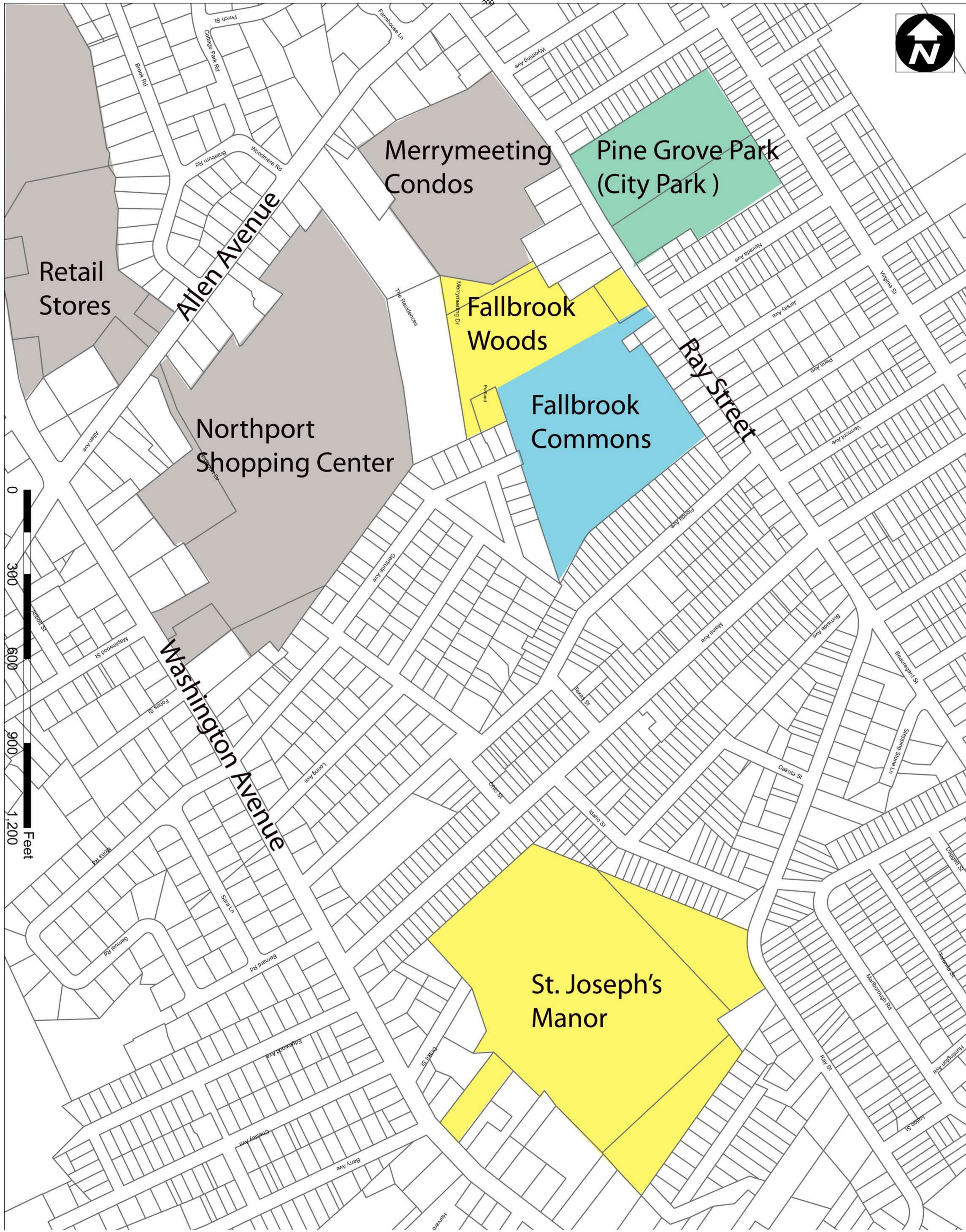
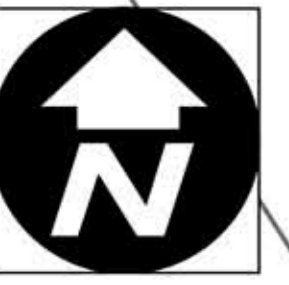
Attachment 3

Alternative Analysis

FALLBROOK COMMONS TIER 2 NRPA PERMIT

ALTERNATIVES ANALYSIS, AVOIDANCE AND MINIMIZATION

- Purpose and Need – The sole purpose of the Fallbrook Commons project is to replace the existing St. Joseph’s Manor elderly care facility located on Washington Avenue. St. Joseph’s Manor will be closing as the building is aged and does not meet the standards of today’s elderly care standards.
- Search for Available Sites – The Fallbrook Commons building accommodate 90 resident beds and the building and site improvements require approximately 6 acres of undeveloped property. The applicant searched for available sites of that size in the nearby vicinity of St. Joseph’s Manor. The search area was limited to the vicinity of St. Joseph’s, as this is very important to family members who currently visit elderly care residents.
The only site available is the site selected for the project. See the attached AREA CONTEXT MAP – most of the parcels in the vicinity are small single-family homes, others are established retail centers and one City park.
- Alternative 1 – Do nothing. This alternative is not practical as the purpose and need of the project would not be met.
- Alternative 2- Build the new facility on the existing St. Joseph’s Manor property. This alternative is not possible, the applicant does not own the site, and the property owner does not wish to have a replacement building constructed on its property.
- Alternative 3 – Build the new facility on the selected site as a single-story structure. This alternative is the most attractive alternative to the applicant. The new facility is ideally located adjacent to Fallbrook Woods, an existing elderly care facility. The two buildings provide different levels of care and will share management resources. It is anticipated that residents may transfer from one facility to the other, and that some families will have a relative at both buildings. A single-story building is preferred for elderly care facilities, as it affords residents easy access to outdoor garden areas and courtyards.
While Alternative 3 is the most attractive alternative, the applicant has also considered Alternative 4.
- Alternative 4 – Build the new facility on the selected site, however, incorporate a second floor on a portion of the building. The purpose of this alternative is to reduce the building footprint and lessen the area of wetland impacts. A modest sized courtyard will be available to residents on the second level. This alternative removes one acre of wetland impact.
- Avoidance – The applicant has selected to move forward with Alternative 4, with a wetland impact of 37, 787 square feet. By locating the proposed building and parking areas to the greatest extent possible on upland areas, the avoidance criteria is met.
- Minimization - The applicant has met the minimization standard in two ways –
 - Incorporating a second story, reducing the building footprint and wetland impacts.
 - Incorporating 2:1 fill slopes and retaining walls, reducing wetland impacts.
 - Incorporating roof drip edge BMP’s, reducing the size of the gravel wetland bmp, thereby reducing wetland impacts.
 - Siting parking areas and service driveways as close to the building as possible, reducing the footprint of the developed area and reducing wetland impacts.



AREA CONTEXT PLAN - VICINITY OF ST. JOSEPH'S MANOR

Attachment 4

Function & Values



Functions and Values Summary

Fallbrook Commons

This wetland functions and values assessment was conducted in accordance with the “Wetland Functions and Values: Descriptive Approach” described in the September 1999 (NAEEP 360-1-30a) supplement to “The Highway Methodology Workbook” by the New England Division of the US Army Corps of Engineers. This method is a descriptive approach combining both a qualitative description of physical characteristics of wetlands and best professional judgment. This approach allows the evaluator to use “descriptors” in determining which functions and values are most representative of each wetland. An evaluation for each wetland can be found in this report.

The wetlands on this site were delineated by Michael D. Jakubowski and Gary M. Fullerton of Sebago Technics, Inc. in September of 2018. This delineation conforms to the standards and methods outlined in the 1987 Wetlands Delineation Manual and Regional Supplement authored and published by the U.S. Army Corps of Engineers. The wetlands were marked in the field with alpha numeric pink “wetland delineation” flagging. The flags were then located using a Trimble gps backpack unit capable of decimeter accuracy.

The wetlands impacted on this project site serve a number of functions and values including floodflow alteration and sediment/toxicant retention as principal functions and values.

Floodflow Alteration: Both of the wetlands covered in this functions and values analysis are surrounded by residential and commercial developments and impervious surfaces. During high precipitation events, these wetlands likely intercept and hold significant volumes of precipitation due to their thick surficial organic horizons and landscape positions.

Sediment/toxicant Retention: Both of these wetlands may intercept precipitation contaminated with residential and commercial agents as well as excess sediments from nearby bedrock outcrops and shallow upland soils. The wetland impacted by Wetland Impact D contains a powerline corridor and may be managed with chemical agents.

Wetland Impact A, B, & C Area (PFO1E)

The wetland impacted by Wetland Impacts A, B, and C is a wetland classified as a seasonally saturated/flooded, broad-leaved deciduous palustrine forested wetland (PFO1E). This PFO1E wetland is dominated by red maple (*Acer rubrum*), sensitive fern (*Onoclea sensibilis*), and cinnamon fern (*Osmundastrum cinnamomeum*).

This forested wetland is at the bottom of its watershed, development and other impervious surfaces contribute to it. It is drained by a culvert to the east. The proposed impact

is a nursing home. This development would impact a total of approximately 33,727 square feet of this wetland in 3 different impact locations.

Wetland Impact D Area (PFO1E)

The wetland impacted by Wetland Impact D is a wetland classified as a seasonally saturated/flooded, broad-leaved deciduous palustrine forested wetland (PFO1E). This PFO1E wetland is dominated by red maple (*Acer rubrum*), sensitive fern (*Onoclea sensibilis*), and cinnamon fern (*Osmundastrum cinnamomeum*).

This forested wetland is at the middle to bottom of its watershed, development and other impervious surfaces contribute to it. It contains a powerline corridor. The proposed impact is a nursing home. This development would impact a total of approximately 4,059 square feet of this wetland.



Michael D. Jakubowski, LSE
Environmental Scientist



Photo 1. PFO1E wetland at western extent of project boundary. Wetland Impact D area. 09/07/2018.



Photo 2. PFO1E wetland at eastern extent of project boundary. Wetland to be impacted by Impact A, B, & C. 09/07/2018.



Photo 3. PFO1E wetland at eastern extent of project boundary. Wetland to be impacted by Impact A, B, & C. 09/07/2018.



Photo 4. PFO1E wetland at eastern extent of project boundary. Wetland to be impacted by Impact A, B, & C. 09/07/2018.

Wetlands Function -Value Evaluation Form

Total Area of Wetland: $\pm 120,500 \text{ ft}^2$ Human made? **No**Is wetland part of a wildlife corridor? **No** Or a "habitat island"? **Yes**Wetland I.D. **Wetland Impact A, B, & C Area**Latitude **43°42'01.2"** Longitude **70°16'47.8"**Adjacent land use **Nursing Home, Residential**Distance to nearest roadway or other development **0'**Prepared by: **STI** Date **12/17/19**Dominant wetland systems present **PFO1E**Contiguous undeveloped buffer zone present **No**Wetland Impact Type **Fill For Nursing Home Facility**Is the wetland a separate hydraulic system? **No**If not, where does the wetland lie in the drainage basin? **Low**Evaluation based on: Office **Yes** Field **Yes**How many tributaries contribute to the wetland? **None**

Wildlife & vegetation diversity/abundance (see attached list)

Corps manual wetland delineation completed **Partially**

Function/Value	Suitability			Comments-Rationales (Reference #)
	Y	N	PF	
Groundwater Recharge/ Discharge	X			6, 8, 10; Organic soils over fine clayey soils may slowly recharge groundwater over time, drained by culvert to east.
Floodflow Alteration	X		X	3, 4, 5, 6, 9, 11, 15; Wetland may hold relatively large amount of water for its size, buffering discharge to culvert.
Fish and Shellfish Habitat		X		None
Sediment/Toxicant Retention	X		X	1, 2, 3, 4; Intercepts overland flow from adjacent residential lawns and ledge outcrops.
Nutrient Removal	X			3, 4, 5, 6, 7, 9; Potential for vegetative uptake of excess nutrients from adjacent residential lawns exists, but little production value.
Production Export		X		2, 4, 12; Wetland is primarily attenuating excess nutrients, little evidence of higher trophic level faunal presence.
Sediment/Shoreline stabilization		X		3, 15; Low flow velocities, no open bodies of water to protect against in this wetland.
Wildlife Habitat		X		7, 8, 17, 19; Wetland is not associated with a larger wetland complex, habitat offered is relatively common for local bird populations.
Recreation		X		12; Wetland is easily accessed, but offers no recreational opportunities.
Educational/Scientific		X		9, 10; Little opportunity presented for educational/scientific activities.
Uniqueness/Heritage		X		1, 2, 5, 8, 19; No known uniqueness/heritage, wetland contains abundant trash.
Visual Quality/Aesthetics		X		6, 9; Wetland contains abundant trash.
Endangered Species Habitat		X		None. A vernal pool survey was performed on the property in 2019; this vernal pool survey yielded no vernal pools.
Other		X		None

Notes:

Wetlands Function -Value Evaluation Form

Total Area of Wetland: >6,376 ft² Human made? **No**Is wetland part of a wildlife corridor? **No** Or a "habitat island"? **Yes**Wetland I.D. **Wetland Impact D Area**
Latitude **43°42'01.8"** Longitude **70°16'55.01**Adjacent land use **Nursing Home, Residential**Distance to nearest roadway or other development **0'**Prepared by: **STI** Date **12/17/19**Dominant wetland systems present **PFO1E**Contiguous undeveloped buffer zone present **No**Wetland Impact Type **Fill For Nursing Home Facility**Is the wetland a separate hydraulic system? **No**If not, where does the wetland lie in the drainage basin? **Mid to Low**Evaluation based on: Office **Yes** Field **Yes**How many tributaries contribute to the wetland? **None**

Wildlife & vegetation diversity/abundance (see attached list)

Corps manual wetland delineation completed **Partially**

Function/Value	Suitability			Comments-Rationales (Reference #)
	Y	N	PF	
Groundwater Recharge/ Discharge	X			6, 8, 10; Powerline poles may provide additional recharge points.
Floodflow Alteration	X		X	3, 4, 5, 9, 11; Wetland is long and narrow, receives flow from abutting residences.
Fish and Shellfish Habitat		X		None
Sediment/Toxicant Retention	X		X	1, 2, 3, 4; Intercepts overland flow from adjacent residential lawns and ledge outcrops, powerline maintenance may include chemical management.
Nutrient Removal	X			3, 4, 7, 9; Potential for vegetative uptake of excess nutrients from adjacent residential lawns exists, but little production value.
Production Export		X		4, 12; Wetland is primarily attenuating excess nutrients, little evidence of higher trophic level faunal presence.
Sediment/Shoreline stabilization		X		3, 15; Low flow velocities, no open bodies of water to protect against in this wetland.
Wildlife Habitat		X		7, 8, 19; Wetland is not associated with a larger wetland complex, habitat offered is relatively common for local bird populations.
Recreation		X		12; Wetland is easily accessed, but offers no recreational opportunities.
Educational/Scientific		X		9, 10; Little opportunity presented for educational/scientific activities.
Uniqueness/Heritage		X		1, 2, 8, 19; No known uniqueness/heritage. Wetland hosts powerlines.
Visual Quality/Aesthetics		X		6, 9; Wetland hosts powerlines.
Endangered Species Habitat		X		None. A vernal pool survey was performed on the property in 2019; this vernal pool survey yielded no vernal pools.
Other		X		None

Notes: Wetland is a partially maintained powerline corridor.

Attachment 5

Compensation

Compensation

The proposed project will utilize the in-lieu fee program to compensate for the project associated wetland impacts. As per the Maine DEP Resource Compensation Rates for Cumberland County:

Fee = 37,787 s.f. X \$4.30

Total Fee = \$162,484.10

Attachment 6

Maine Natural Areas Program Site Review



220
STATE OF MAINE
DEPARTMENT OF AGRICULTURE, CONSERVATION & FORESTRY
177 STATE HOUSE STATION
AUGUSTA, MAINE 04333

JANET T. MILLS
GOVERNOR

AMANDA E. BEAL
COMMISSIONER

November 7, 2019

Stefanie Nichols
Sebago Technics
75 John Roberts Road, Suite 4A
South Portland, ME 04106

Via email: snichols@sebagotechnics.com

Re: Rare and exemplary botanical features in proximity to: #18347, Fallbrook Commons Senior Living Facility, Portland, Maine

Dear Ms. Nichols:

I have searched the Maine Natural Areas Program's Biological and Conservation Data System files in response to your request received November 7, 2019 for information on the presence of rare or unique botanical features documented from the vicinity of the project in Portland, Maine. Rare and unique botanical features include the habitat of rare, threatened, or endangered plant species and unique or exemplary natural communities. Our review involves examining maps, manual and computerized records, other sources of information such as scientific articles or published references, and the personal knowledge of staff or cooperating experts.

Our official response covers only botanical features. For authoritative information and official response for zoological features you must make a similar request to the Maine Department of Inland Fisheries and Wildlife, 284 State Street, Augusta, Maine 04333.

According to the information currently in our Biological and Conservation Data System files, there are no rare botanical features documented specifically within the project area. This lack of data may indicate minimal survey efforts rather than confirm the absence of rare botanical features. You may want to have the site inventoried by a qualified field biologist to ensure that no undocumented rare features are inadvertently harmed.

If a field survey of the project area is conducted, please refer to the enclosed supplemental information regarding rare and exemplary botanical features documented to occur in the vicinity of the project site. The list may include information on features that have been known to occur historically in the area as well as recently field-verified information. While historic records have not been documented in several years, they may persist in the area if suitable habitat exists. The enclosed list identifies features with potential to occur in the area, and it should be considered if you choose to conduct field surveys.

This finding is available and appropriate for preparation and review of environmental assessments, but it is not a substitute for on-site surveys. Comprehensive field surveys do not exist for all natural areas in Maine, and in the absence of a specific field investigation, the Maine Natural Areas Program cannot provide a definitive statement on the presence or absence of unusual natural features at this site.

MOLLY DOCHERTY, DIRECTOR
MAINE NATURAL AREAS PROGRAM
BLOSSOM LANE, DEERING BUILDING



PHONE: (207) 287-804490
WWW.MAINE.GOV/DACF/MNAP

Letter to Sebago Technics
Comments RE: Fallbrook Commons, Portland
November 7, 2019
Page 2 of 2

The Maine Natural Areas Program (MNAP) is continuously working to achieve a more comprehensive database of exemplary natural features in Maine. We would appreciate the contribution of any information obtained should you decide to do field work. MNAP welcomes coordination with individuals or organizations proposing environmental alteration, or conducting environmental assessments. If, however, data provided by MNAP are to be published in any form, the Program should be informed at the outset and credited as the source.

The Maine Natural Areas Program has instituted a fee structure of \$75.00 an hour to recover the actual cost of processing your request for information. You will receive an invoice for \$150.00 for two hours of our services.

Thank you for using MNAP in the environmental review process. Please do not hesitate to contact me if you have further questions about the Natural Areas Program or about rare or unique botanical features on this site.

Sincerely,



Kristen Puryear | Ecologist | Maine Natural Areas Program
207-287-8043 | kristen.puryear@maine.gov

Rare and Exemplary Botanical Features within 4 miles of Project: #18347, Fallbrook Commons Senior Living Facility, Portland, Maine

Common Name	State Status	State Rank	Global Rank	Date Last Observed	Occurrence Number	Habitat
Allegheny Vine						
	E	S1	G4	1860-10	9	Rocky summits and outcrops (non-forested, upland), Dry barrens (partly forested, upland)
American Sea-blite						
	T	S2	G5	1932-09-12	5	Tidal wetland (non-forested, wetland)
	T	S2	G5	2011-08-15	17	Tidal wetland (non-forested, wetland)
Bottlebrush Grass						
	SC	S3	G5	1905-09-13	10	Hardwood to mixed forest (forest, upland)
Broad Beech Fern						
	SC	S2	G5	1872-08	15	Hardwood to mixed forest (forest, upland)
Columbia Water-meal						
	SC	S2	G5	2002-08-04	2	Open water (non-forested, wetland)
Ebony Spleenwort						
	SC	S2	G5	1910-06-06	10	Rocky summits and outcrops (non-forested, upland), Hardwood to mixed forest (forest, upland)
Engelmann's Spikerush						
	PE	SH	G4G5	1916-08-31	2	Open wetland, not coastal nor rivershore (non-forested, wetland)
Fern-leaved False Foxglove						
	SC	S3	G5	1902-09-02	13	Dry barrens (partly forested, upland), Hardwood to mixed forest (forest, upland)
Great Blue Lobelia						
	PE	SX	G5	1905-09	3	Forested wetland, Non-tidal rivershore (non-forested, seasonally wet)
Hollow Joe-pye Weed						
	SC	S2	G5?	2014-06-18	24	Open wetland, not coastal nor rivershore (non-forested, wetland), Old field/roadside (non-forested, wetland or upland)
	SC	S2	G5?	2011-08-04	19	Open wetland, not coastal nor rivershore (non-forested, wetland), Old

Rare and Exemplary Botanical Features within 4 miles of Project: #18347, Fallbrook Commons Senior Living Facility, Portland, Maine

Common Name	State Status	State Rank	Global Rank	Date Last Observed	Occurrence Number	Habitat
field/roadside (non-forested, wetland or upland)						
Horned Pondweed						
	SC	S2	G5	1913-09-13	9	Tidal wetland (non-forested, wetland)
MacGregor's Rye						
	SC	S2	G5	2016-09-11	13	<null>
Marsh Milkwort						
	PE	SH	G5T4	1903-08-18	1	Dry barrens (partly forested, upland),Open wetland, not coastal nor rivershore (non-forested, wetland)
Missouri Rockcress						
	T	S1	G5	1905-06-11	5	Rocky summits and outcrops (non-forested, upland),Hardwood to mixed forest (forest, upland)
Mountain-laurel						
	SC	S2	G5	1985-08-01	13	Conifer forest (forest, upland),Hardwood to mixed forest (forest, upland)
Mountain Honeysuckle						
	E	S2	G5	2018-06-02	14	Dry barrens (partly forested, upland),Hardwood to mixed forest (forest, upland)
	E	S2	G5	2007-07-30	10	Dry barrens (partly forested, upland),Hardwood to mixed forest (forest, upland)
	E	S2	G5	2015-07-07	17	Dry barrens (partly forested, upland),Hardwood to mixed forest (forest, upland)
Pale Green Orchis						
	SC	S2	G4?T4Q	1907-07-05	27	Non-tidal rivershore (non-forested, seasonally wet),Open wetland, not coastal nor rivershore (non-forested, wetland)
Palmate-leaved Violet						
	PE	SH	G5	1908	1	Hardwood to mixed forest (forest, upland)
Slender Knotweed						
	PE	SH	G5	1902-09-07	1	Dry barrens (partly forested, upland)

Rare and Exemplary Botanical Features within 4 miles of Project: #18347, Fallbrook Commons Senior Living Facility, Portland, Maine

Common Name	State Status	State Rank	Global Rank	Date Last Observed	Occurrence Number	Habitat
Small Reed Grass						
	SC	S3	G5	2011-08-28	18	Old field/roadside (non-forested, wetland or upland)
Spotted Wintergreen						
	T	S2	G5	1991-09	11	Conifer forest (forest, upland),Hardwood to mixed forest (forest, upland)
Tidal Marsh Estuary Ecosystem						
	<null>	S3	GNR	2011-08-25	8	Tidal wetland (non-forested, wetland)
Upper Floodplain Hardwood Forest						
	<null>	S3	GNR	2012	20	Forested wetland
Upright Bindweed						
	T	S2	G4G5	2007-06-28	5	Dry barrens (partly forested, upland),Old field/roadside (non-forested, wetland or upland)
Variable Sedge						
	E	S1	G3	1911	8	Dry barrens (partly forested, upland),Hardwood to mixed forest (forest, upland)
	E	S1	G3	1911-06-29	9	Dry barrens (partly forested, upland),Hardwood to mixed forest (forest, upland)
	E	S1	G3	2018-08-29	6	Dry barrens (partly forested, upland),Hardwood to mixed forest (forest, upland)
	E	S1	G3	2017-08-22	4	Dry barrens (partly forested, upland),Hardwood to mixed forest (forest, upland)
Vasey's Pondweed						
	SC	S2	G4	1901-08-04	7	Open water (non-forested, wetland)
Wild Garlic						
	SC	S2	G5	1918-07-16	6	Forested wetland,Hardwood to mixed forest (forest, upland)
Wild Leek						
	SC	S3	G5	2018-05-02	55	Hardwood to mixed forest (forest, upland),Forested wetland

STATE RARITY RANKS

- S1** Critically imperiled in Maine because of extreme rarity (five or fewer occurrences or very few remaining individuals or acres) or because some aspect of its biology makes it especially vulnerable to extirpation from the State of Maine.
- S2** Imperiled in Maine because of rarity (6-20 occurrences or few remaining individuals or acres) or because of other factors making it vulnerable to further decline.
- S3** Rare in Maine (20-100 occurrences).
- S4** Apparently secure in Maine.
- S5** Demonstrably secure in Maine.
- SU** Under consideration for assigning rarity status; more information needed on threats or distribution.
- SNR** Not yet ranked.
- SNA** Rank not applicable.
- S#?** Current occurrence data suggests assigned rank, but lack of survey effort along with amount of potential habitat create uncertainty (e.g. S3?).

Note: **State Rarity Ranks** are determined by the Maine Natural Areas Program for rare plants and rare and exemplary natural communities and ecosystems. The Maine Department of Inland Fisheries and Wildlife determines State Rarity Ranks for animals.

GLOBAL RARITY RANKS

- G1** Critically imperiled globally because of extreme rarity (five or fewer occurrences or very few remaining individuals or acres) or because some aspect of its biology makes it especially vulnerable to extinction.
- G2** Globally imperiled because of rarity (6-20 occurrences or few remaining individuals or acres) or because of other factors making it vulnerable to further decline.
- G3** Globally rare (20-100 occurrences).
- G4** Apparently secure globally.
- G5** Demonstrably secure globally.
- GNR** Not yet ranked.

Note: **Global Ranks** are determined by NatureServe.

STATE LEGAL STATUS

Note: State legal status is according to 5 M.R.S.A. § 13076-13079, which mandates the Department of Conservation to produce and biennially update the official list of Maine's **Endangered and Threatened** plants. The list is derived by a technical advisory committee of botanists who use data in the Natural Areas Program's database to recommend status changes to the Department of Conservation.

- E** ENDANGERED; Rare and in danger of being lost from the state in the foreseeable future; or federally listed as Endangered.
- T** THREATENED; Rare and, with further decline, could become endangered; or federally listed as Threatened.

NON-LEGAL STATUS

- SC** SPECIAL CONCERN; Rare in Maine, based on available information, but not sufficiently rare to be considered Threatened or Endangered.
- PE** Potentially Extirpated; Species has not been documented in Maine in past 20 years or loss of last known occurrence has been documented.

ELEMENT OCCURRENCE RANKS - EO RANKS

Element Occurrence ranks are used to describe the quality of a rare plant population or natural community based on three factors:

- **Size:** Size of community or population relative to other known examples in Maine. Community or population's viability, capability to maintain itself.
- **Condition:** For communities, condition includes presence of representative species, maturity of species, and evidence of human-caused disturbance. For plants, factors include species vigor and evidence of human-caused disturbance.
- **Landscape context:** Land uses and/or condition of natural communities surrounding the observed area. Ability of the observed community or population to be protected from effects of adjacent land uses.

These three factors are combined into an overall ranking of the feature of **A**, **B**, **C**, or **D**, where **A** indicates an **excellent** example of the community or population and **D** indicates a **poor** example of the community or population. A rank of **E** indicates that the community or population is **extant** but there is not enough data to assign a quality rank. The Maine Natural Areas Program tracks all occurrences of rare (S1-S3) plants and natural communities as well as A and B ranked common (S4-S5) natural communities.

Note: **Element Occurrence Ranks** are determined by the Maine Natural Areas Program for rare plants and rare and exemplary natural communities and ecosystems. The Maine Department of Inland Fisheries and Wildlife determines Element Occurrence ranks for animals.

Visit our website for more information on rare, threatened, and endangered species!
<http://www.maine.gov/dacf/mnap>

Attachment 7

Maine Historic Preservation Inquiry



MAINE HISTORIC PRESERVATION COMMISSION
55 CAPITOL STREET
65 STATE HOUSE STATION
AUGUSTA, MAINE
04333

JANET T. MILLS
GOVERNOR

KIRK F. MOHNEY
DIRECTOR

November 21, 2019

Ms. Stefanie Nichols
Sebago Technics
75 John Roberts Road, Suite 4A
South Portland, ME 04106

Project: MHPC #1678-19 Fallbrook Commons; Ray Street/ Merrymeeting Drive
Senior Living Facility
Town: Portland, ME

Dear Ms. Nichols:

In response to your recent request, I have reviewed the information received November 14, 2019 to initiate consultation on the above referenced project in accordance with the requirements of Maine Department of Environmental Protection.

Based on the information provided, I have concluded that there are no National Register listed or known eligible properties on or adjacent to the proposed project site. In addition, the parcel is not considered sensitive for archaeological resources.

Please contact Megan M. Rideout of our staff, at megan.m.rideout@maine.gov or 207-287-2992, if we can be of further assistance in this matter.

Sincerely,

A handwritten signature in black ink that reads 'Kirk F. Mohney'.

Kirk F. Mohney
State Historic Preservation Officer



November 7, 2019
18347

Mr. Kirk Mohney
Maine Historic Preservation Commission
65 State House Station
Augusta, Maine 04333

Re: Fallbrook Commons - Senior Living Facility
Ray Street / Merrymeeting Drive, Portland
Parcel ID: 403 F001, 403-F005

Dear Mr. Mohney:

On behalf of the project applicant, Sebago Technics respectfully requests site review for a proposed new senior living facility adjacent to an existing senior facility in the North Deering section of Portland on Ray Street. The property is 12.78± acres and is located in the City Residential-3 zone. Per available resources we have determined that the site is not located in a local Historic District.

The project includes a new senior living facility that will be located next to the existing Fallbrook Woods assisted living community. The development includes the construction of a two-story, 37,450± sf building with 90 bedrooms and two adjacent parking areas. The new senior facility will be accessed by a new driveway from Ray Street with secondary access for emergency use over Merrymeeting Drive.

The project area is mostly wooded and will be cleared for the proposed site improvements. The applicant intends to leave the majority of the municipal building setbacks vegetated. Post-construction views to and from the new facility will be filtered through a combination of the existing mature vegetation and new landscaping.

We respectfully request review of the Maine Historic Preservation Commission database for any properties or structures of historic significance in the vicinity of the project site. For your reference, I have enclosed a site location map, the site property cards and Google Earth street view images of the surrounding residential areas. At your earliest convenience, please review and forward your findings. If you have any questions on this project, please do not hesitate to contact me at snichols@sebagotechnics.com or on my direct line at (207) 200-2120. I look forward to hearing from you.

Sincerely, 18347

SEBAGO TECHNICS, INC.

A handwritten signature in black ink that reads "Stefanie Nichols".

Stefanie Nichols
Permitting Specialist / Project Coordinator

enc.

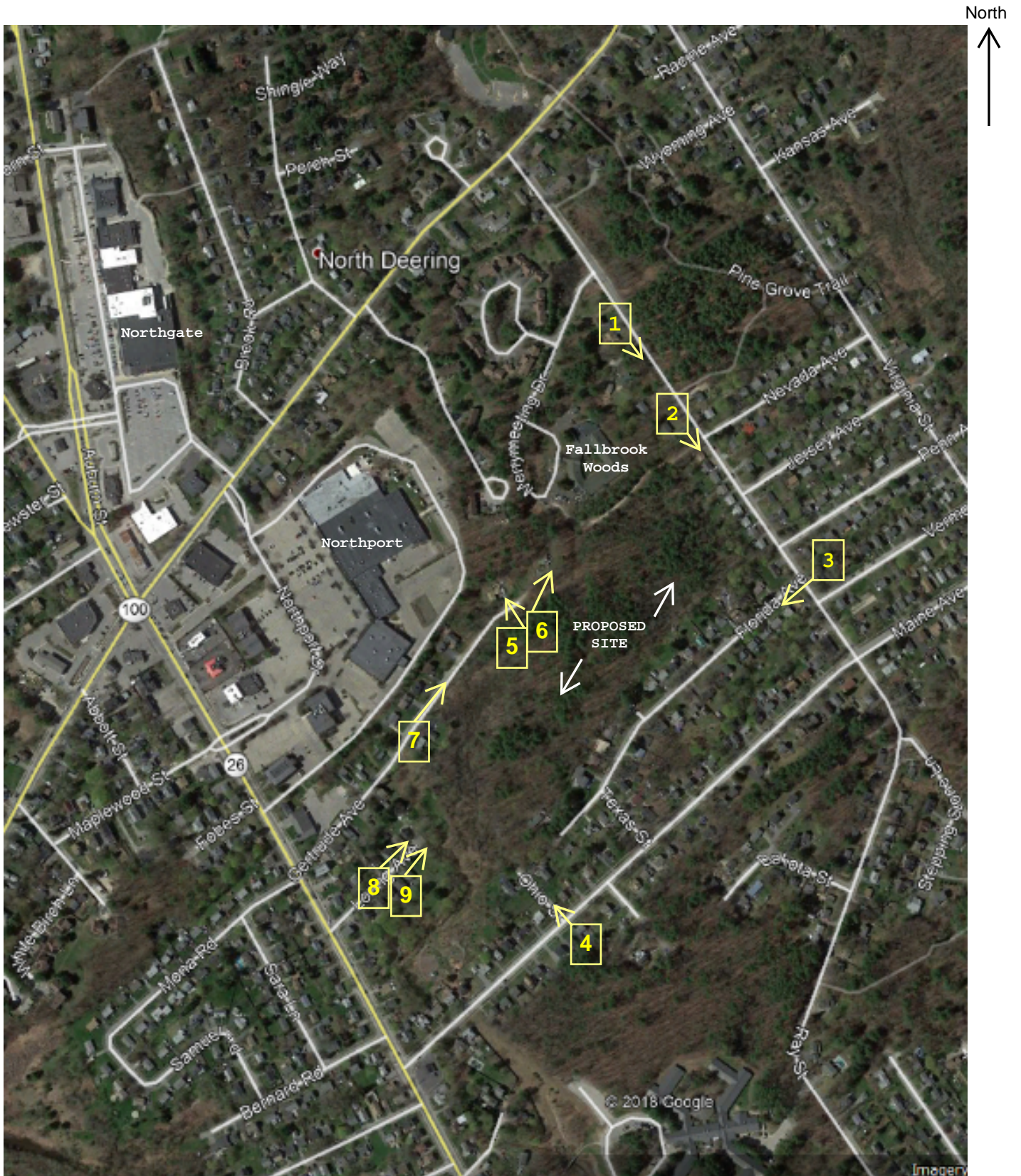


PHOTO KEY – Fallbrook Commons, Portland



Street view looking southeast along Ray Street toward the project entrance location



Street view looking southeast from the proposed Ray Street project entrance location



View along Florida Avenue from Ray Street



View along Ohio Street from Maine Avenue



Gertrude Avenue terminus -1



Gertrude Avenue terminus -2



Mid Gertrude Avenue Existing Conditions – residences and wooded area



View along Loring Avenue to end



View 2 - Loring Avenue to end



PORTLAND MAINE Assessor's Office

Assessor's Office | 389 Congress Street | Portland, Maine 04101 | Room 115 | (207) 874-8486

City Home Departments City Council E-Services Calendar Jobs

This page contains a detailed description of the Parcel ID you selected.

[New Search!](#)

Current Owner Information:

CBL 403 F005001
Land Use Type SINGLE FAMILY
Verify legal use with Inspections Division
Property Location 368 RAY ST
Owner Information MCDONALD PATRICIA A & CATHERINE E MCDONALD
 368 RAY ST
 PORTLAND ME 04103
Book and Page 8818/50
Legal Description 403-F-5
 RAY ST 368

Rental Registration 19695 SF
Acres No
 0.4522

Current Assessed Valuation:

TAX ACCT NO.	25541	OWNER OF RECORD AS OF APRIL 2019
LAND VALUE	\$79,700.00	MCDONALD PATRICIA A &
BUILDING VALUE	\$105,800.00	CATHERINE E MCDONALD
HOMESTEAD	(\$16,800.00)	368 RAY ST
NET TAXABLE - REAL ESTATE	\$168,700.00	PORTLAND ME 04103
TAX AMOUNT	\$3,932.40	

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).

Building Information:

Building 1

Year Built 1955
Style/Structure Type 3
Units 1
Bedrooms 2
Full Baths 1
Total Rooms 5
Attic NONE
Basement FULL
Square Feet 1200

[View Sketch](#) [View Map](#) [View Picture](#)

Outbuildings/Yard Improvements:

Building 1

Year Built 1980
Structure GARAGE-WD/CB
Size 14X22
Units 1

Grade C
Condition A

Sales Information:

Sale Date	Type	Price	Book/Page
7/7/1989	LAND + BUILDING	\$0.00	8818/50

[New Search!](#)

Services

- Applications
- Doing Business
- Maps
- Tax Relief
- Tax Roll
- Q & A

[browse city services a-z](#)

[browse facts and links a-z](#)



Best viewed at 800x600, with Internet Explorer



PORTLAND MAINE Assessor's Office

Assessor's Office | 389 Congress Street | Portland, Maine 04101 | Room 115 | (207) 874-8486

City Home Departments City Council E-Services Calendar Jobs

This page contains a detailed description of the Parcel ID you selected.

[New Search!](#)

Current Owner Information:

CBL 400 D023001
Land Use Type RETAIL & PERSONAL SERVICE
Verify legal use with Inspections Division
Property Location 60 MERRYMEETING DR
Owner Information FALLBROOK PROPERTIES LLC
 418 RAY ST
 PORTLAND ME 04103
Book and Page 27501/183
Legal Description 400-D-23 402-I-1 403-F-1
 RAY ST 362-362
 MERRYMEETING DR 60
 549978 SF
Rental Registration No
Acres 12.6258

Current Assessed Valuation:

TAX ACCT NO.	25421	OWNER OF RECORD AS OF APRIL 2019
LAND VALUE	\$305,600.00	FALLBROOK PROPERTIES LLC
BUILDING VALUE	\$3,086,400.00	
NET TAXABLE - REAL ESTATE	\$3,392,000.00	418 RAY ST PORTLAND ME 04103
TAX AMOUNT	\$79,067.52	

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).

Building Information:

Building 1
Year Built 1993
Style/Structure Type
Units 1
Square Feet 27600

[View Sketch](#) [View Map](#) [View Picture](#)

Exterior/Interior Information:

Building 1
Levels 01/01
Size 27600
Use NURSING HOME
Height 9
Walls FRAME
Heating HEAT PUMP
A/C CENTRAL

Other Features:

Services

- Applications
- Doing Business
- Maps
- Tax Relief
- Tax Roll
- Q & A

[browse city services a-z](#)

[browse facts and links a-z](#)



Best viewed at 800x600, with Internet Explorer

Building 1
Structure SPRINKLER - WET
Size 27600X1

Building 1
Structure CANOPY - ONLY
Size 708X1

Outbuildings/Yard Improvements:

Building 1
Year Built 1993
Structure ASPHALT PARKING
Size 20000
Units 1
Grade C
Condition 3

Building 1
Year Built 1993
Structure LIGHT - MERCURY VAPOR, POLE
Size 1X1
Units 6
Grade C
Condition 3

Building 1
Year Built 1993
Structure SHED-FRAME
Size 10X14
Units 1
Grade C
Condition 3

Sales Information:

Sale Date	Type	Price	Book/Page
12/30/2009	LAND + BUILDING	\$0.00	27501/183

[New Search!](#)

Attachment 8

Visual Field Survey – Appendix A

**APPENDIX A: MDEP VISUAL EVALUATION
FIELD SURVEY CHECKLIST**

(Natural Resources Protection Act, 38 M.R.S. §§ 480 A - Z)

Name of applicant: Fallbrook Commons Development, LLC Phone: 207-233-8665

Application Type: NRPA Tier 2

Activity Type: (brief activity description) wetland fill associated with construction

Activity Location: Town: Portland County: Cumberland

GIS Coordinates, if known: _____

Date of Survey: 11/18/2019 Observer: R. Gabryszewski Phone: 207-200-2065

	Distance Between the Proposed Visibility Activity and Resource (in Miles)		
	0-1/4	1/4-1	1+
1. Would the activity be visible from:			
A. A National Natural Landmark or other outstanding natural feature?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
B. A State or National Wildlife Refuge, Sanctuary, or Preserve or a State Game Refuge?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
C. A state or federal trail?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
D. A public site or structure listed on the National Register of Historic Places?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
E. A National or State Park?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
F. 1) A municipal park or public open space?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Note: Pine Grove Park is within a 1/4 mile - but the activity will not be visible			
2) A publicly owned land visited, in part, for the use, observation, enjoyment and appreciation of natural or man-made visual qualities?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3) A public resource, such as the Atlantic Ocean, a great pond or a navigable river?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. What is the closest estimated distance to a similar activity?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. What is the closest distance to a public facility intended for a similar use?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Is the visibility of the activity seasonal? (i.e., screened by summer foliage, but visible during other seasons)		<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
5. Are any of the resources checked in question 1 used by the public during the time of year during which the activity will be visible?		<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No

A listing of National Natural Landmarks and other outstanding natural features in the State of Maine can be found at: www.nature.nps.gov/nnl/Registry/USA_map/states/Maine/maine.htm . In addition, unique natural areas are listed in the Maine Atlas and Gazetteer published by DeLorme.

(pink)

Attachment 9

MDIFW Inquiry



245
STATE OF MAINE
DEPARTMENT OF
INLAND FISHERIES & WILDLIFE
284 STATE STREET
41 STATE HOUSE STATION
AUGUSTA ME 04333-0041



November 20, 2019

Stefanie Nichols
Sebago Technics
75 John Roberts Road, Suite 1A
Portland, ME 04101

RE: Information Request - Fallbrook Commons Senior Living Facility, Portland

Dear Stefanie:

Per your request received November 12, 2019, we have reviewed current Maine Department of Inland Fisheries and Wildlife (MDIFW) information for known locations of Endangered, Threatened, and Special Concern species; designated Essential and Significant Wildlife Habitats; and fisheries habitat concerns within the vicinity of the *Fallbrook Commons Senior Living Facility Project* in Portland.

Our Department has not mapped any Essential Habitats that would be directly affected by your project.

Endangered, Threatened, and Special Concern Species

Bats

Of the eight species of bats that occur in Maine, the three *Myotis* species are protected under Maine's Endangered Species Act (MESA) and are afforded special protection under 12 M.R.S §12801 - §12810. The three *Myotis* species include little brown bat (State Endangered), northern long-eared bat (State Endangered), and eastern small-footed bat (State Threatened). The five remaining bat species are listed as Special Concern: big brown bat, red bat, hoary bat, silver-haired bat, and tri-colored bat.

While a comprehensive statewide inventory for bats has not been completed, based on historical evidence it is likely that several of these species occur within the project area during migration and/or the breeding season. However, our Agency does not anticipate significant impacts to any of the bat species as a result of this project.

Significant Wildlife Habitat

Significant Vernal Pools

At this time MDIFW Significant Wildlife Habitat (SWH) maps indicate no known presence of SWHs subject to protection under the Natural Resources Protection Act (NRPA) within the project area, which include Waterfowl and Wading Bird Habitats, Seabird Nesting Islands, Shorebird Areas, and Significant Vernal Pools. However, a comprehensive statewide inventory for Significant Vernal Pools has not been completed. Therefore, we recommend that surveys for vernal pools be conducted within the project boundary by qualified wetland scientists prior to final project design to determine whether there are

Significant Vernal Pools present in the area. These surveys should extend up to 250 feet beyond the anticipated project footprint because of potential performance standard requirements for off-site Significant Vernal Pools, assuming such pools are located on land owned or controlled by the applicant. Once surveys are completed, survey forms should be submitted to our Agency for review well before the submission of any necessary permits. Our Department will need to review and verify any vernal pool data prior to final determination of significance.

Fisheries Habitat

We recommend that 100-foot undisturbed vegetated buffers be maintained along streams. Buffers should be measured from the edge of stream or associated fringe and floodplain wetlands. Maintaining and enhancing buffers along streams that support coldwater fisheries is critical to the protection of water temperatures, water quality, natural inputs of coarse woody debris, and various forms of aquatic life necessary to support conditions required by many fish species. Stream crossings should be avoided, but if a stream crossing is necessary, or an existing crossing needs to be modified, it should be designed to provide full fish passage. Small streams, including intermittent streams, can provide crucial rearing habitat, cold water for thermal refugia, and abundant food for juvenile salmonids on a seasonal basis and undersized crossings may inhibit these functions. Generally, MDIFW recommends that all new, modified, and replacement stream crossings be sized to span at least 1.2 times the bankfull width of the stream. In addition, we generally recommend that stream crossings be open bottomed (i.e. natural bottom), although embedded structures which are backfilled with representative streambed material have been shown to be effective in not only providing habitat connectivity for fish but also for other aquatic organisms. Construction Best Management Practices should be closely followed to avoid erosion, sedimentation, alteration of stream flow, and other impacts as eroding soils from construction activities can travel significant distances as well as transport other pollutants resulting in direct impacts to fish and fisheries habitat. In addition, we recommend that any necessary instream work occur between July 15 and October 1.

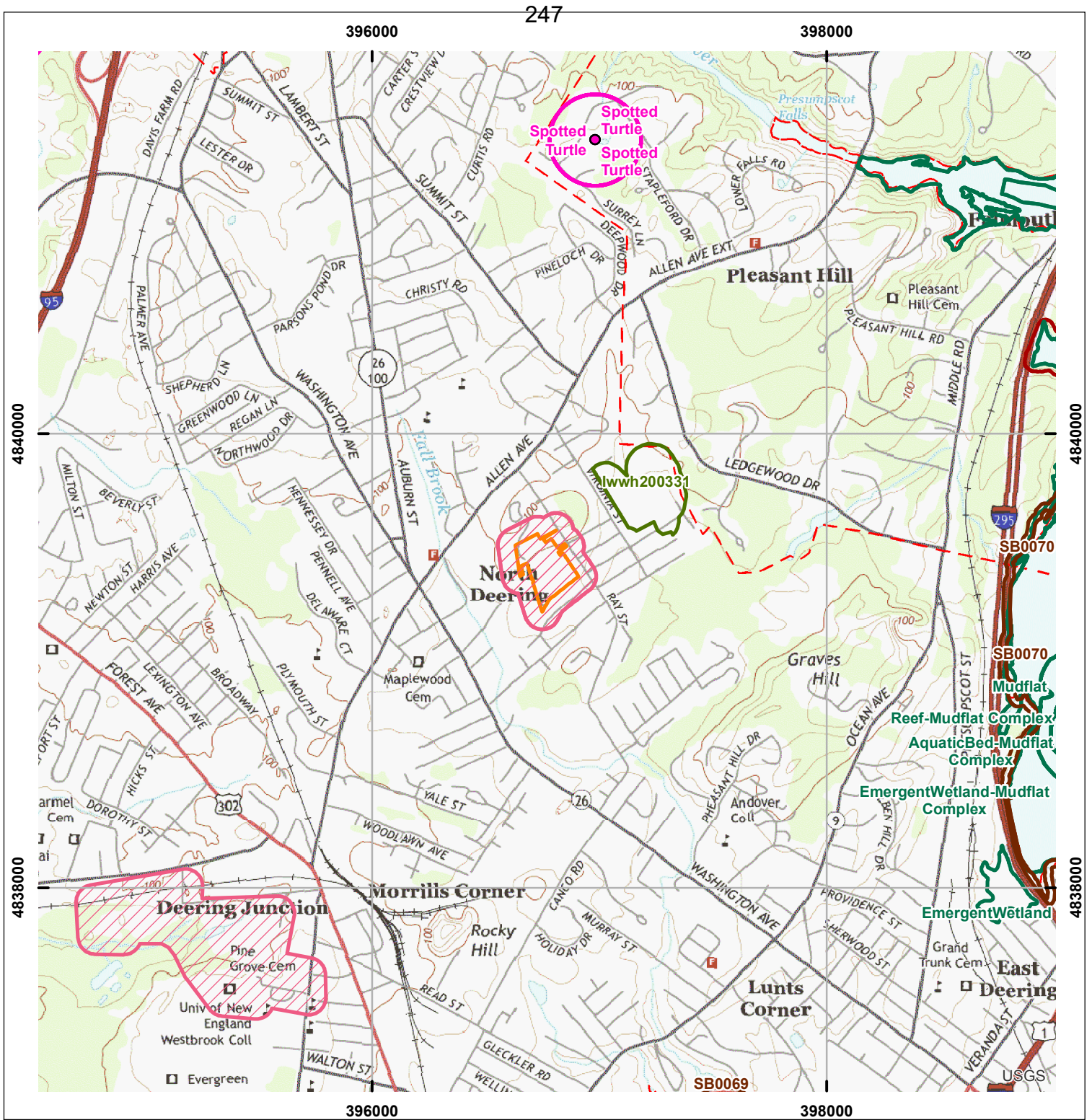
This consultation review has been conducted specifically for known MDIFW jurisdictional features and should not be interpreted as a comprehensive review for the presence of other regulated features that may occur in this area. Prior to the start of any future site disturbance we recommend additional consultation with the municipality, and other state resource agencies including the Maine Natural Areas Program and Maine Department of Environmental Protection in order to avoid unintended protected resource disturbance.

Please feel free to contact my office if you have any questions regarding this information, or if I can be of any further assistance.

Best regards,



Becca Settele
Wildlife Biologist

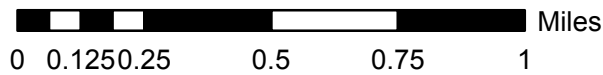


Environmental Review of Fish and Wildlife Observations and Priority Habitats

Project Name: Portland, Fallbrook Commons Senior Living Facility (Version 1)



Maine Department of
Inland Fisheries and Wildlife



Projection: UTM, NAD83, Zone 19N

Date: 11/14/2019

ProjectPoints	Deer Winter Area	Roseate Tern
ProjectLines	LUPC p-fw	Piping Plover and Least Tern
ProjectPolys	Cooperative DWAs	Aquatic ETSc - 2.5 mi review
ProjectSearchAreas	Seabird Nesting Islands	Rare Mussels - 5 mi review
	Shorebird Areas	Maine Heritage Fish Waters
	Inland Waterfowl and Wading Bird	Arctic Charr Habitat
	2008 lwwh - Shoreland Zoning	Redfin Pickerel and Swamp Darter Habitats - buffer100ft
	Tidal Waterfowl and Wading Bird	Special Concern occupied habitats - 100ft buffer
	Significant Vernal Pools	Wild Lake Trout Habitats
	Environmental Review Polygons	





United States Department of the Interior



FISH AND WILDLIFE SERVICE

Maine Ecological Services Field Office

P. O. Box A

East Orland, ME 04431

Phone: (207) 469-7300 Fax: (207) 902-1588

<http://www.fws.gov/mainefieldoffice/index.html>

In Reply Refer To:

November 11, 2019

Consultation Code: 05E1ME00-2020-TA-0136

Event Code: 05E1ME00-2020-E-00643

Project Name: Fallbrook Commons

Subject: Verification letter for the 'Fallbrook Commons' project under the January 5, 2016, Programmatic Biological Opinion on Final 4(d) Rule for the Northern Long-eared Bat and Activities Excepted from Take Prohibitions.

Dear Stefanie Nichols:

The U.S. Fish and Wildlife Service (Service) received on November 11, 2019 your effects determination for the 'Fallbrook Commons' (the Action) using the northern long-eared bat (*Myotis septentrionalis*) key within the Information for Planning and Consultation (IPaC) system. This IPaC key assists users in determining whether a Federal action is consistent with the activities analyzed in the Service's January 5, 2016, Programmatic Biological Opinion (PBO). The PBO addresses activities excepted from "take"^[1] prohibitions applicable to the northern long-eared bat under the Endangered Species Act of 1973 (ESA) (87 Stat.884, as amended; 16 U.S.C. 1531 et seq.).

Based upon your IPaC submission, the Action is consistent with activities analyzed in the PBO. The Action may affect the northern long-eared bat; however, any take that may occur as a result of the Action is not prohibited under the ESA Section 4(d) rule adopted for this species at 50 CFR §17.40(o). Unless the Service advises you within 30 days of the date of this letter that your IPaC-assisted determination was incorrect, this letter verifies that the PBO satisfies and concludes your responsibilities for this Action under ESA Section 7(a)(2) with respect to the northern long-eared bat.

Please report to our office any changes to the information about the Action that you submitted in IPaC, the results of any bat surveys conducted in the Action area, and any dead, injured, or sick northern long-eared bats that are found during Action implementation. If the Action is not completed within one year of the date of this letter, you must update and resubmit the information required in the IPaC key.

If the Action may affect other federally listed species besides the northern long-eared bat, a proposed species, and/or designated critical habitat, additional consultation between you and this Service office is required. If the Action may disturb bald or golden eagles, additional coordination with the Service under the Bald and Golden Eagle Protection Act is recommended.

[1]Take means to harass, harm, pursue, hunt, shoot, wound, kill, trap, capture, or collect, or to attempt to engage in any such conduct [ESA Section 3(19)].

Action Description

You provided to IPaC the following name and description for the subject Action.

1. Name

Fallbrook Commons

2. Description

The following description was provided for the project 'Fallbrook Commons':

Location: Ray Street, Portland

Size: 12.78+/- Acres

Scope: New senior living facility

Timing: Summer 2020, upon receipt of permit approvals

Approximate location of the project can be viewed in Google Maps: <https://www.google.com/maps/place/43.700464181223296N70.28103459445164W>

**Determination Key Result**

This Federal Action may affect the northern long-eared bat in a manner consistent with the description of activities addressed by the Service's PBO dated January 5, 2016. Any taking that may occur incidental to this Action is not prohibited under the final 4(d) rule at 50 CFR §17.40(o). Therefore, the PBO satisfies your responsibilities for this Action under ESA Section 7(a)(2) relative to the northern long-eared bat.

Determination Key Description: Northern Long-eared Bat 4(d) Rule

This key was last updated in IPaC on May 15, 2017. Keys are subject to periodic revision.

This key is intended for actions that may affect the threatened northern long-eared bat.

The purpose of the key for Federal actions is to assist determinations as to whether proposed actions are consistent with those analyzed in the Service's PBO dated January 5, 2016.

Federal actions that may cause prohibited take of northern long-eared bats, affect ESA-listed species other than the northern long-eared bat, or affect any designated critical habitat, require ESA Section 7(a)(2) consultation in addition to the use of this key. Federal actions that may affect species proposed for listing or critical habitat proposed for designation may require a conference under ESA Section 7(a)(4).

Determination Key Result

This project may affect the threatened Northern long-eared bat; therefore, consultation with the Service pursuant to Section 7(a)(2) of the Endangered Species Act of 1973 (87 Stat.884, as amended; 16 U.S.C. 1531 et seq.) is required. However, based on the information you provided, this project may rely on the Service's January 5, 2016, *Programmatic Biological Opinion on Final 4(d) Rule for the Northern Long-Eared Bat and Activities Excepted from Take Prohibitions* to fulfill its Section 7(a)(2) consultation obligation.

Qualification Interview

1. Is the action authorized, funded, or being carried out by a Federal agency?

Yes

2. Have you determined that the proposed action will have "no effect" on the northern long-eared bat? (If you are unsure select "No")

No

3. Will your activity purposefully **Take** northern long-eared bats?

No

4. Is the project action area located wholly outside the White-nose Syndrome Zone?

Automatically answered

No

5. Is the project action area located within 0.25 miles of a known northern long-eared bat hibernaculum?

Note: The map queried for this question contains proprietary information and cannot be displayed. If you need additional information, please contact your State wildlife agency

Automatically answered

No

6. Is the project action area located within 150 feet of a known occupied northern long-eared bat maternity roost tree?

Note: The map queried for this question contains proprietary information and cannot be displayed. If you need additional information, please contact your State wildlife agency

Automatically answered

No

Project Questionnaire

If the project includes forest conversion, report the appropriate acreages below. Otherwise, type '0' in questions 1-3.

1. Estimated total acres of forest conversion:

5

2. If known, estimated acres of forest conversion from April 1 to October 31

5

3. If known, estimated acres of forest conversion from June 1 to July 31

0

If the project includes timber harvest, report the appropriate acreages below. Otherwise, type '0' in questions 4-6.

4. Estimated total acres of timber harvest

0

5. If known, estimated acres of timber harvest from April 1 to October 31

0

6. If known, estimated acres of timber harvest from June 1 to July 31

0

If the project includes prescribed fire, report the appropriate acreages below. Otherwise, type '0' in questions 7-9.

7. Estimated total acres of prescribed fire

0

8. If known, estimated acres of prescribed fire from April 1 to October 31

0

9. If known, estimated acres of prescribed fire from June 1 to July 31

0

If the project includes new wind turbines, report the megawatts of wind capacity below. Otherwise, type '0' in question 10.

10. What is the estimated wind capacity (in megawatts) of the new turbine(s)?
0



United States Department of the Interior



FISH AND WILDLIFE SERVICE

Maine Ecological Services Field Office

P. O. Box A

East Orland, ME 04431

Phone: (207) 469-7300 Fax: (207) 902-1588

<http://www.fws.gov/mainefieldoffice/index.html>

In Reply Refer To:

November 11, 2019

Consultation Code: 05E1ME00-2020-SLI-0136

Event Code: 05E1ME00-2020-E-00642

Project Name: Fallbrook Commons

Subject: List of threatened and endangered species that may occur in your proposed project location, and/or may be affected by your proposed project

To Whom It May Concern:

The enclosed species list identifies the threatened, endangered, candidate, and proposed species and designated or proposed critical habitat that may occur within the boundary of your proposed project or may be affected by your proposed project. This species list fulfills the requirements of the U.S. Fish and Wildlife Service (Service) under section 7(c) of the Endangered Species Act (Act) of 1973, as amended (16 U.S.C. 1531 et seq.).

New information based on updated surveys, changes in the abundance and distribution of species, changed habitat conditions, or other factors could change this list. Please feel free to contact us if you need more current information or assistance regarding the potential impacts to federally proposed, listed, and candidate species and federally designated and proposed critical habitat. Please note that under 50 CFR 402.12(e) of the regulations implementing section 7 of the Act, the accuracy of this species list should be verified after 90 days. This verification can be completed formally or informally as desired. The Service recommends that verification be completed by visiting the ECOS-IPaC Web site at regular intervals during project planning and implementation for updates to species lists and information. An updated list may be requested through the ECOS-IPaC system by completing the same process used to receive the enclosed list.

The purpose of the Act is to provide a means whereby threatened and endangered species and the ecosystems upon which they depend may be conserved. Under sections 7(a)(1) and 7(a)(2) of the Act and its implementing regulations (50 CFR 402 et seq.), Federal agencies are required to utilize their authorities to carry out programs for the conservation of threatened and endangered species and to determine whether projects may affect threatened and endangered species and/or designated critical habitat.

A Biological Assessment is required for construction projects (or other undertakings having similar physical impacts) that are major Federal actions significantly affecting the quality of the human environment as defined in the National Environmental Policy Act (42 U.S.C. 4332(2)(c)). For projects other than major construction activities, the Service suggests that a biological evaluation similar to a Biological Assessment be prepared to determine whether the project may affect listed or proposed species and designated or proposed critical habitat. Recommended contents of a Biological Assessment are described at 50 CFR 402.12.

If a Federal agency determines, based on the Biological Assessment or biological evaluation, that listed species or designated critical habitat may be affected by the proposed project, the agency is required to consult with the Service pursuant to 50 CFR 402. In addition, the Service recommends that candidate species, proposed species and proposed critical habitat be addressed within the consultation. More information on the regulations and procedures for section 7 consultation, including the role of permit or license applicants, can be found in the Endangered Species Consultation Handbook at: <http://www.fws.gov/endangered/esa-library/pdf/TOC-GLOS.PDF>

This species list also identifies candidate species under review for listing and those species that the Service considers species of concern. Candidate species have no protection under the Act but are included for consideration because they could be listed prior to completion of your project. Species of concern are those taxa whose conservation status is of concern to the Service (i.e., species previously known as Category 2 candidates), but for which further information is needed.

If a proposed project may affect only candidate species or species of concern, you are not required to prepare a Biological Assessment or biological evaluation or to consult with the Service. However, the Service recommends minimizing effects to these species to prevent future conflicts. Therefore, if early evaluation indicates that a project will affect a candidate species or species of concern, you may wish to request technical assistance from this office to identify appropriate minimization measures.

Please be aware that bald and golden eagles are not protected under the Endangered Species Act but are protected under the Bald and Golden Eagle Protection Act (16 U.S.C. 668 et seq.). Projects affecting these species may require development of an eagle conservation plan: http://www.fws.gov/windenergy/eagle_guidance.html Information on the location of bald eagle nests in Maine can be found on the Maine Field Office Web site: <http://www.fws.gov/mainefieldoffice/Project%20review4.html>

Additionally, wind energy projects should follow the wind energy guidelines: <http://www.fws.gov/windenergy/> for minimizing impacts to migratory birds and bats. Projects may require development of an avian and bat protection plan.

Migratory birds are also a Service trust resource. Under the Migratory Bird Treaty Act, construction activities in grassland, wetland, stream, woodland, and other habitats that would result in the take of migratory birds, eggs, young, or active nests should be avoided. Guidance for minimizing impacts to migratory birds for projects including communications towers (e.g.,

cellular, digital television, radio, and emergency broadcast) can be found at:
<http://www.fws.gov/migratorybirds/CurrentBirdIssues/Hazards/towers/towers.htm> and at:
<http://www.towerkill.com>; and at:
<http://www.fws.gov/migratorybirds/CurrentBirdIssues/Hazards/towers/comtow.html>

We appreciate your concern for threatened and endangered species. The Service encourages Federal agencies to include conservation of threatened and endangered species into their project planning to further the purposes of the Act. Please include the Consultation Tracking Number in the header of this letter with any request for consultation or correspondence about your project that you submit to our office.

Attachment(s):

- Official Species List

Official Species List

This list is provided pursuant to Section 7 of the Endangered Species Act, and fulfills the requirement for Federal agencies to "request of the Secretary of the Interior information whether any species which is listed or proposed to be listed may be present in the area of a proposed action".

This species list is provided by:

Maine Ecological Services Field Office

P. O. Box A

East Orland, ME 04431

(207) 469-7300

Project Summary

Consultation Code: 05E1ME00-2020-SLI-0136

Event Code: 05E1ME00-2020-E-00642

Project Name: Fallbrook Commons

Project Type: DEVELOPMENT

Project Description: Location: Ray Street, Portland
Size: 12.78+/- Acres
Scope: New senior living facility
Timing: Summer 2020, upon receipt of permit approvals

Project Location:

Approximate location of the project can be viewed in Google Maps: <https://www.google.com/maps/place/43.700464181223296N70.28103459445164W>



Counties: Cumberland, ME

Endangered Species Act Species

There is a total of 1 threatened, endangered, or candidate species on this species list.

Species on this list should be considered in an effects analysis for your project and could include species that exist in another geographic area. For example, certain fish may appear on the species list because a project could affect downstream species.

IPaC does not display listed species or critical habitats under the sole jurisdiction of NOAA Fisheries¹, as USFWS does not have the authority to speak on behalf of NOAA and the Department of Commerce.

See the "Critical habitats" section below for those critical habitats that lie wholly or partially within your project area under this office's jurisdiction. Please contact the designated FWS office if you have questions.

-
1. [NOAA Fisheries](#), also known as the National Marine Fisheries Service (NMFS), is an office of the National Oceanic and Atmospheric Administration within the Department of Commerce.

Mammals

NAME	STATUS
Northern Long-eared Bat <i>Myotis septentrionalis</i> No critical habitat has been designated for this species. Species profile: https://ecos.fws.gov/ecp/species/9045	Threatened

Critical habitats

THERE ARE NO CRITICAL HABITATS WITHIN YOUR PROJECT AREA UNDER THIS OFFICE'S JURISDICTION.

Attachment 10

Native American Tribe Inquiries/Responses

Transmittal

18347

To: Ms. Jennifer Pictou, THPO
Aroostook Band of Micmacs
jpictou@micmac-nsn.gov

From: Stefanie Nichols
Permitting Specialist/Project Coordinator

Date: November 7, 2019

Subject: **Fallbrook Commons – Portland, ME**

On behalf of the applicant, Sandy River Co., we respectfully request a project review for an 11.8-acre± property located on Merrymeeting Drive in the City of Portland. The applicant intends to build a new senior living facility and other associated site improvements requiring review by the City of Portland, Maine Department of Environmental Protection and U.S. Army Corps of Engineers.

Please review available resources for the presence of any structures or sites of historic, architectural or archaeological significance to the Aroostook Band of Micmacs as defined by the amended National Historic Preservation Act of 1966. Should you have any questions, or if you need additional information please do not hesitate to contact me. Thank you in advance for your assistance.

enc. Site location map

Transmittal

18347

To: Mr. Donald Soctomah, THPO
Passamaquoddy Tribe
soctomah@gmail.com

From: Stefanie Nichols
Permitting Specialist/Project Coordinator

Date: November 7, 2019

Subject: **Fallbrook Commons – Portland, ME**

On behalf of the applicant, Sandy River Co., we respectfully request a project review for an 11.8-acre± property located on Merrymeeting Drive in the City of Portland. The applicant intends to build a new senior living facility and other associated site improvements requiring review by the City of Portland, Maine Department of Environmental Protection and U.S. Army Corps of Engineers.

Please review available resources for the presence of any structures or sites of historic, architectural or archaeological significance to the Passamaquoddy Tribe as defined by the amended National Historic Preservation Act of 1966. Should you have any questions, or if you need additional information please do not hesitate to contact me. Thank you in advance for your assistance.

enc. Site location map

Transmittal

18347

To: Mr. Christopher Sockalexis, THPO
Cultural & Historic Preservation Department
Penobscot Nation
chris.sockalexis@penobscotnation.com

From: Stefanie Nichols
Permitting Specialist/Project Coordinator

Date: November 7, 2019

Subject: **Fallbrook Commons – Portland, ME**

On behalf of the applicant, Sandy River Co., we respectfully request a project review for an 11.8-acre± property located on Merrymeeting Drive in the City of Portland. The applicant intends to build a new senior living facility and other associated site improvements requiring review by the City of Portland, Maine Department of Environmental Protection and U.S. Army Corps of Engineers.

Please review available resources for the presence of any structures or sites of historic, architectural or archaeological significance to Penobscot Nation as defined by the amended National Historic Preservation Act of 1966. Should you have any questions, or if you need additional information please do not hesitate to contact me. Thank you in advance for your assistance.

enc. Site location map

Attachment 11

Notice

Public Notice
Notice of Intent to File

Please take notice that Fallbrook Senior Care Development, LLC is intending to file a Natural Resource Protection Act and an amended Site Location of Development Act permit application with the Maine Department of Environmental Protection pursuant to the provisions of 38 M.R.S.A. §§ 480-A thru 480-BB and §§ 481 thru 490 on or about February 20, 2020.

A Public Informational Meeting will be held at **6 P.M** on **February 18th** at **Fallbrook Woods, 60 Merrymeeting Drive, Portland.**

The applicant is proposing to construct a new two-story 58,197 s.f. senior care facility. Improvements will result in approximately 37,787 s.f of wetland impacts, the creation of approximately 2.7 acres of new impervious surface, and 5.6 acres of developed area.

A request for a public hearing or a request that the Board of Environmental Protection assume jurisdiction over this application must be received by the Department in writing, no later than 20 days after the application is found by the Department to be complete and is accepted for processing. A public hearing may or may not be held at the discretion of the Commissioner or Board of Environmental Protection. Public comment on the application will be accepted throughout the processing of the application.

The application will be filed for public inspection at the Department of Environmental Protection's office in Portland during normal working hours. A copy of the application may also be seen at the City of Portland municipal offices.

Written public comments may be sent to the Southern Maine Regional Office in Portland at MDEP, Southern Maine Regional Office, 312 Canco Road, Portland, Maine 04103 where the application is filed for public inspection.

Public Notice**Notice of Intent to File**

Please take notice that Fallbrook Senior Care Development, LLC is intending to file a Natural Resource Protection Act and an amended Site Location of Development Act permit application with the Maine Department of Environmental Protection pursuant to the provisions of 38 M.R.S.A. §§ 480-A thru 480-BB and §§ 481 thru 490 on or about February 20, 2020.

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Written public comments may be sent to the Southern Maine Regional Office in Portland at MDEP Southern Maine Regional Office, 312 Canoe Road, Portland, Maine 04103 where the application is filed for public inspection.

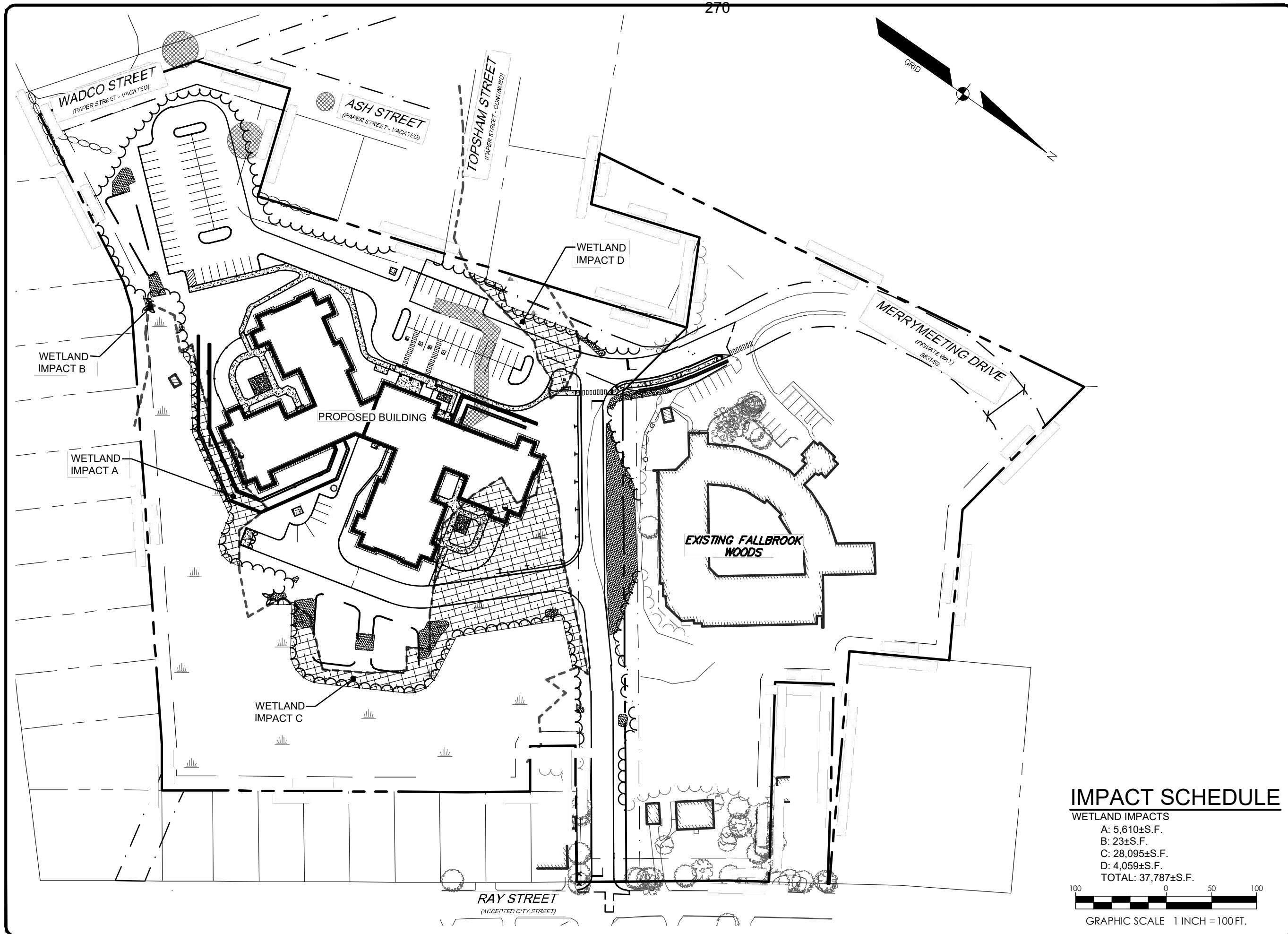
From: Lori Gunn <lgunn@sebagotechnics.com>

Sent: Monday, February 03, 2020 9:17 AM

To: Joan Jensen <jjensen@pressherald.com>

Attachment 12

Impact Figure



THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

SEBAGO
TECHNICS
WWW.SEBAGOTECHNICS.COM

75 John Roberts Rd.
Suite 4A
South Portland, ME 04106
Tel. 207-200-2100

OVER ALL WETLAND IMPACTS
OF: FALLBROOK COMMONS
RAY STREET
PORTLAND, MAINE
FOR: SANDY RIVER COMPANY
217 COMMERCIAL STREET, SUITE 201
PORTLAND, MAINE

IMPACT SCHEDULE

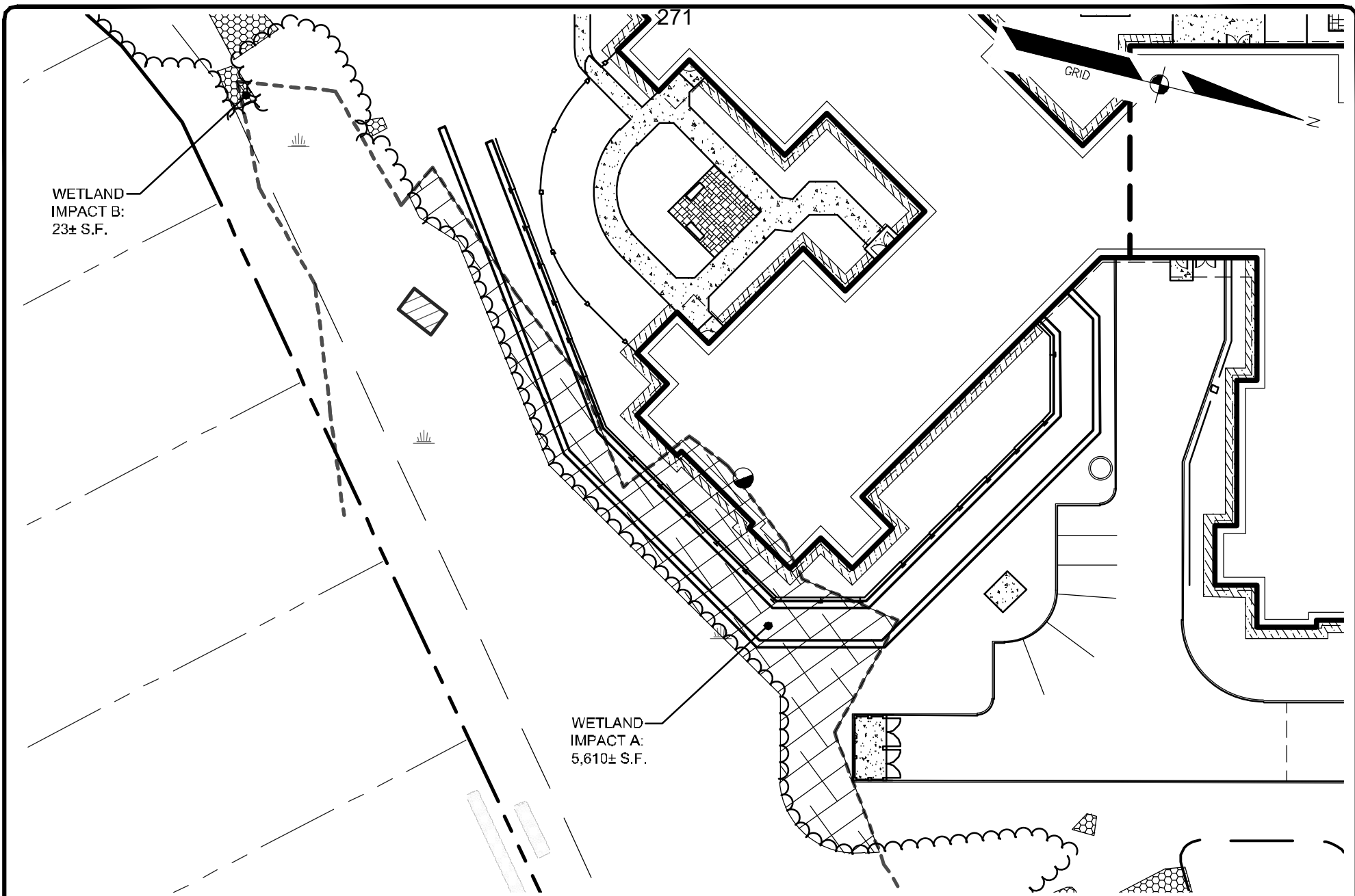
WETLAND IMPACTS
A: 5,610±S.F.
B: 23±S.F.
C: 28,095±S.F.
D: 4,059±S.F.
TOTAL: 37,787±S.F.



DESIGNED	CHECKED
DMD	DMD

PROJECT NO.	SCALE
18347	1" = 100'

SHEET 1 OF 1



SEBAGO
TECHNICS

WWW.SEAGOTECHNICS.COM
75 John Roberts Rd.
Suite 4A
South Portland, ME 04106
Tel. 207-200-2100

WETLAND IMPACT - A & B
OF

LOCATION:
FALLBROOK COMMONS
PORTLAND, MAINE

FOR:
SANDY RIVER COMPANY
PORTLAND, MAINE

SCALE: 1" = 40'

DATE: 12/17/19

SHEET:
1 OF 1

272

GRID

WETLAND
IMPACT C:
28,095± S.F.

SEBAGO
TECHNICS

WWW.SEBAGOTECHNICS.COM
75 John Roberts Rd.
Suite 4A
South Portland, ME 04106
Tel. 207-200-2100

WETLAND IMPACT - C
OF

LOCATION:
FALLBROOK COMMONS
PORTLAND, MAINE

FOR:
SANDY RIVER COMPANY
PORTLAND, MAINE

SCALE: 1" = 40'

DATE: 12/17/19

SHEET:
1 OF 1

273

GRID

WETLAND
IMPACT D:
4,059± S.F.

99.99'
N 79°57'00" W

SEBAGO
TECHNICS

WWW.SEBAGOTECHNICS.COM
75 John Roberts Rd.
Suite 4A
South Portland, ME 04106
Tel. 207-200-2100

WETLAND IMPACT - D
OF

LOCATION:
FALLBROOK COMMONS
PORTLAND, MAINE

FOR:
SANDY RIVER COMPANY
PORTLAND, MAINE

SCALE: 1" = 40'

DATE: 12/17/19

SHEET:
1 OF 1

FALLBROOK COMMONS

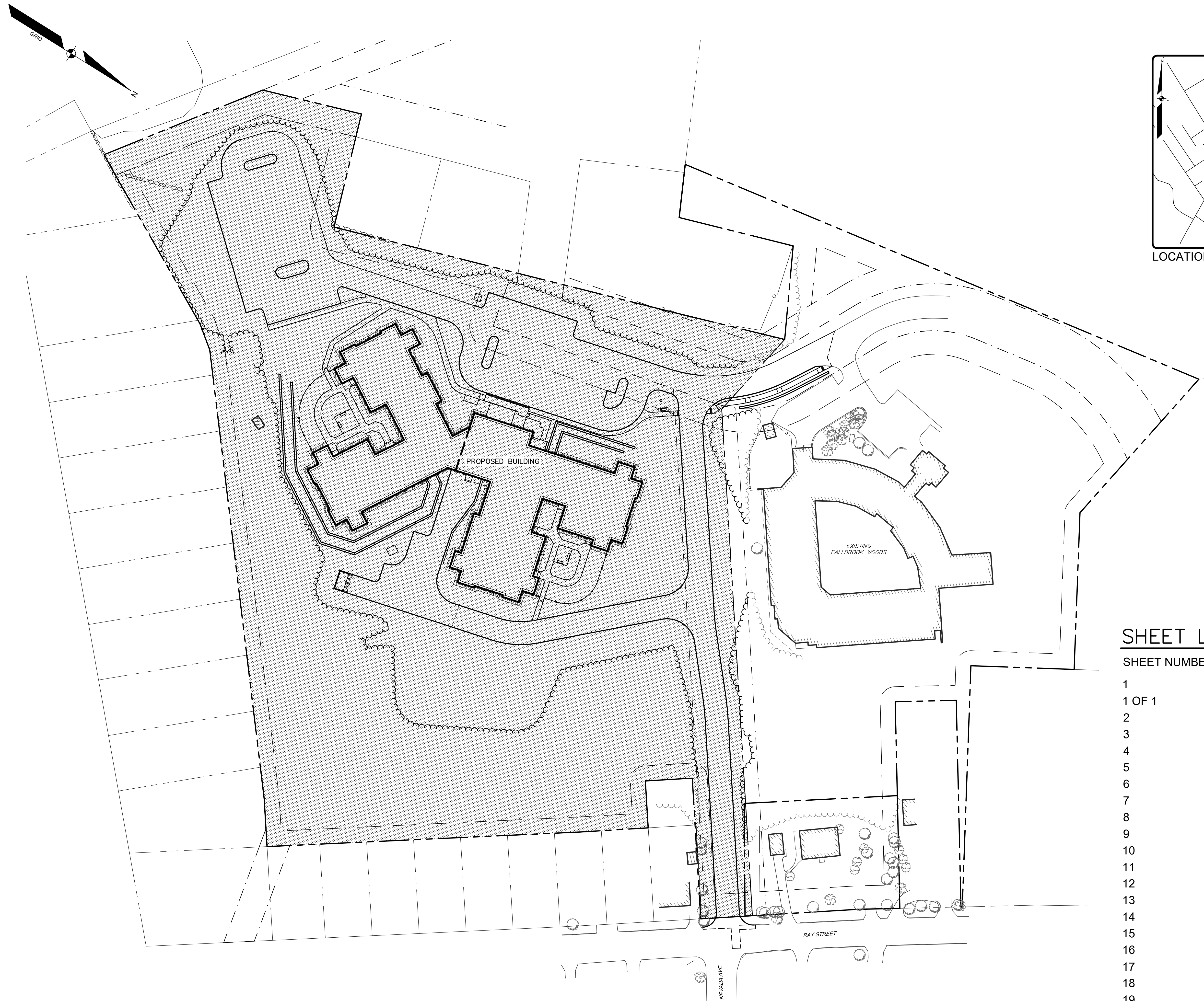
RAY STREET
PORTLAND, MAINE

APPLICANT:
FALLBROOK COMMONS
DEVELOPMENT LLC.
217 COMMERCIAL STREET, SUITE 201
PORTLAND, MAINE 04112

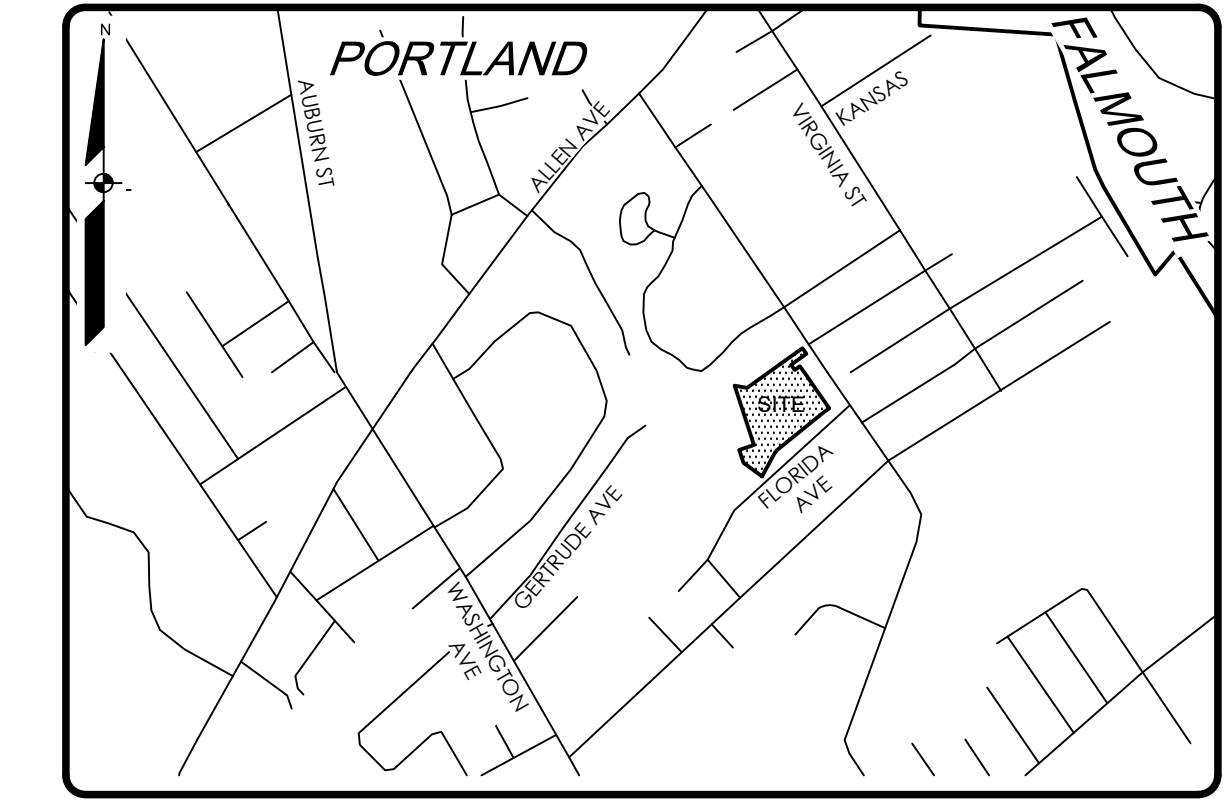
**ENGINEER/SURVEYOR/
LANDSCAPE ARCHITECT:**



ARCHITECT
GAWRON TURGEON
ARCHITECTS, P.C.
27 BLACK POINT ROAD
SCARBOROUGH, MAINE



SCALE: 1"=50'



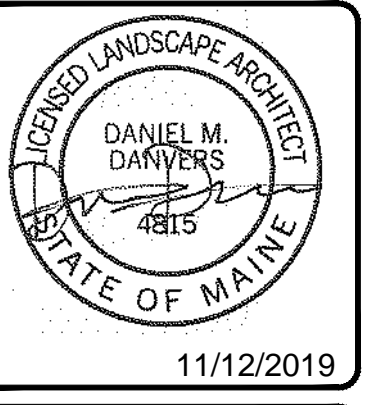
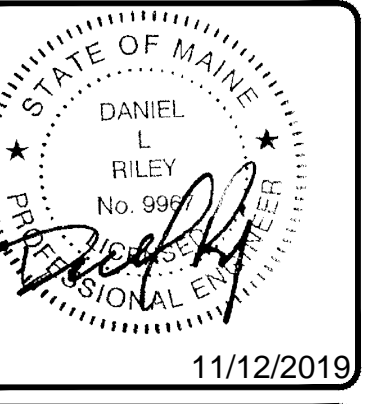
LOCATION MAP

N.T.S.

SHEET LIST TABLE

SHEET NUMBER SHEET TITLE

SHEET NUMBER	SHEET TITLE
1	COVER SHEET
1 OF 1	EXISTING CONDITIONS
2	NOTES AND LEGEND
3	OVERALL SITE PLAN
4	SITE PLAN 1
5	SITE PLAN 2
6	GRADING PLAN 1
7	GRADING PLAN 2
8	GRAVEL WETLAND DETAIL
9	UNDERDRAINED SOIL FILTER DETAIL
10	UTILITY PLAN 1
11	UTILITY PLAN 2
12	LANDSCAPE PLAN 1
13	LANDSCAPE PLAN 2
14	EROSION CONTROL NOTES AND DETAILS
15	DETAILS 1
16	DETAILS 2
17	DETAILS 3
18	PRE-DEVELOPMENT STORMWATER PLAN
19	POST-DEVELOPMENT STORMWATER PLAN



NOT FOR
CONSTRUCTION

NO.	DATE	BY	DESCRIPTION
1	11-12-19	DMD	SUBMIT TO CITY OF PORTLAND

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS, ADDITIONS OR DELETIONS SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.



COVER SHEET
OF: FALLBROOK COMMONS
RAY STREET
PORTLAND, MAINE
FOR: FALLBROOK COMMONS DEVELOPMENT LLC.
217 COMMERCIAL STREET, SUITE 201
PORTLAND, MAINE 04112

DESIGNED	DMD
DRAWN	SRC
CHECKED	DLR
DATE	11/12/19
SCALE	AS SHOWN
PROJECT	18347

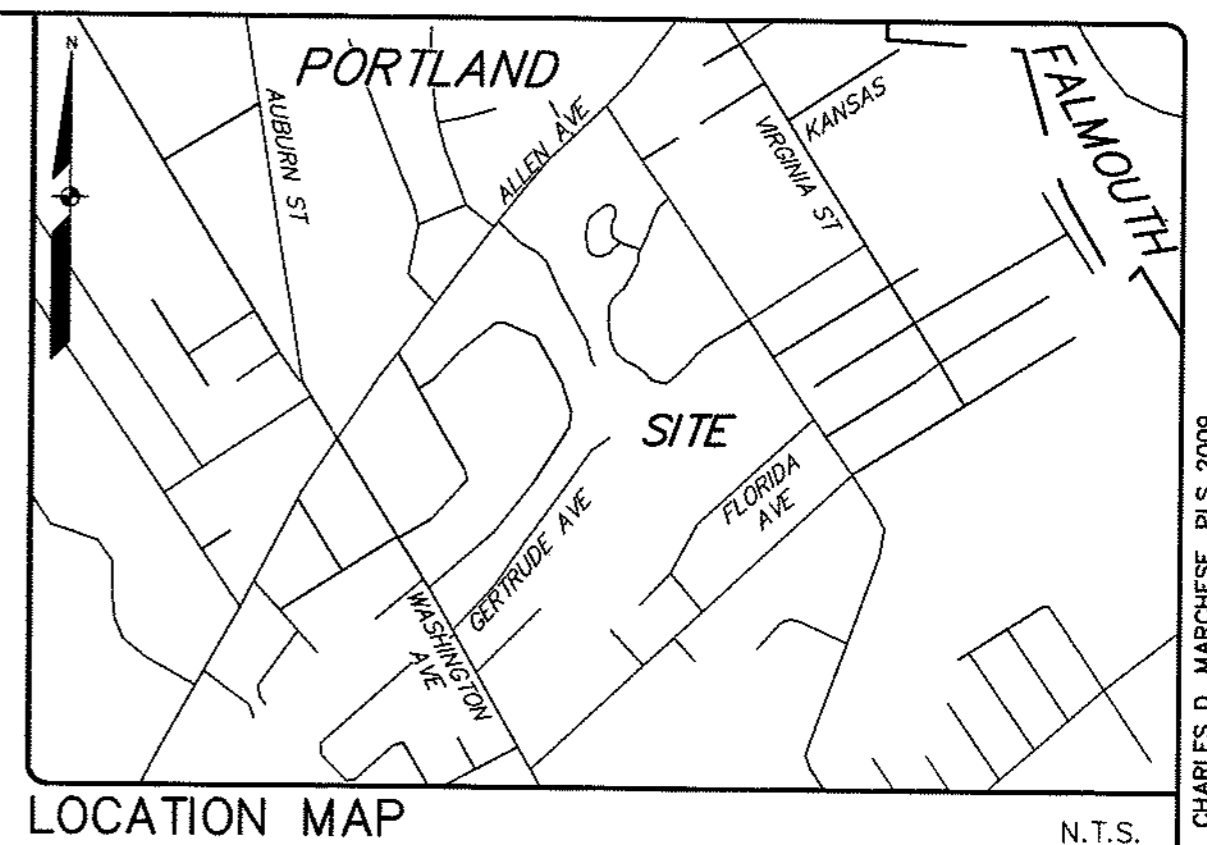
SHEET 1 OF 19

LEGEND

PROPERTY LINE/R.O.W.
 ABUTTER LINE/R.O.W.
 SETBACK
 EASEMENT
 IRON PIPE/ROD
 NOW OR FORMALLY
 BENCHMARK
 BUILDING
 DECK/STEPS/
 OVERHANG
 EDGE WETLAND
 WETLANDS

LEDGE
 EDGE PAVEMENT
 EDGE CONCRETE
 PAVEMENT PAINT
 TREELINE
 CONTOURS
 SPOT GRADE
 CHAIN LINK FENCE
 STONE WALL
 5/8-INCH REBAR WITH CAP
 STAMPED "SI 2534"
 DECIDUOUS TREE
 CONIFEROUS TREE
 BOLLARD
 SIGN
 GAS
 GAS GATE VALVE
 GAS METER

W WATER
 WATER GATE VALVE
 WATER SHUT OFF
 HYDRANT
 S SANITARY SEWER
 S SANITARY MANHOLE
 SD STORM DRAIN
 CULVERT
 DMH DRAINAGE MANHOLE
 CB CATCH BASIN
 OHU OVERHEAD UTILITY
 UGT UNDERGROUND UTILITY
 UGE UNDERGROUND ELECTRIC
 L LIGHT POLE
 U UTILITY POLE
 G GUY WIRE
 TP TRANSFORMER PAD
 HV/AC
 E ELECTRIC METER
 SC SEWER CLEAN OUT



GENERAL NOTES:

- THE RECORD OWNER OF PARCEL ONE IS FALLBROOK PROPERTIES, LLC BY DEED DATED DECEMBER 15, 2009 AND RECORDED AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS (CCRD) IN BOOK 27501, PAGE 183. THE RECORD OWNER OF PARCEL TWO IS PATRICIA A. McDONALD AND CATHERINE E. McDONALD BY DEED DATED JULY 7, 1989 AND RECORDED AT THE CORD IN BOOK 9818, PAGE 50.
- PARCEL ONE IS SHOWN AS LOT F-001 ON THE CITY OF PORTLAND TAX MAP 403 AND IS LOCATED IN THE R-3 RESIDENTIAL ZONE. PARCEL TWO IS SHOWN AS LOT F-005 ON THE CITY OF PORTLAND TAX MAP 403 AND IS LOCATED IN THE R-3 RESIDENTIAL ZONE.
- SPACE AND BULK CRITERIA FOR THE R-3 RESIDENTIAL ZONE ARE AS FOLLOWS:
 MINIMUM LOT SIZE: 6,500 SQUARE FEET
 MINIMUM STREET FRONTAGE: 50 FEET
 MINIMUM FRONT YARD: 25 FEET
 MINIMUM SIDE YARD: 16 FEET
 MINIMUM REAR YARD: 25 FEET
 MAXIMUM BUILDING HEIGHT: 35 FEET
 MAXIMUM LOT COVERAGE: 35%
 * SEE ORDINANCE FOR MORE PARTICULAR INFORMATION.
- TOTAL AREA OF PARCEL ONE IS APPROXIMATELY 12.78 ACRES. TOTAL AREA OF PARCEL TWO IS APPROXIMATELY 19,573 SQUARE FEET OR 0.449 ACRES.
- BOUNDARY INFORMATION FOR PARCEL ONE IS AS DEPICTED ON PLAN REFERENCE 6A. SEBAGO TECHINCS, INC. HAS NOT PERFORMED AN INDEPENDENT BOUNDARY RETRACEMENT SURVEY. BOUNDARY INFORMATION FOR PARCEL TWO IS BASED UPON AN INDEPENDENT BOUNDARY SURVEY. TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED UPON FIELD WORK PERFORMED BY SEBAGO TECHINCS, INC. IN MAY OF 2019 AND IN JULY OF 2019.
- PLAN REFERENCES:
 A. "PLAN OF LAND OF FALLBROOK WOODS ON RAY STREET, PORTLAND, MAINE, PREPARED FOR OWNER OF RECORD FALLBROOK, INC., 7 SHADY LANE, FALMOUTH, MAINE" BY LAND USE CONSULTANTS, DATED SEPTEMBER 25, 1992 AND REVISED THROUGH OCTOBER 9, 1992 AND RECORDED AT THE CORD IN PLAN BOOK 193, PAGE 245.
 B. "CONDOMINIUM PLAN #1 FOR FALLBROOK, A CONDOMINIUM ON RAY STREET, PORTLAND, MAINE FOR MERREAL CORP. BY OWEN HASKELL, INC. DATED MAY 10, 1990 AND RECORDED AT THE CORD IN PLAN BOOK 185, PAGE 15.
 C. "PLAN OF WADCO PARK, PROPERTY OF DERRAH AND WESCOTT, WASHINGTON AVE. PORTLAND, MAINE" DATED AUGUST 1905 AND RECORDED AT THE CORD IN PLAN BOOK 12, PAGE 17.
 D. "THE PINES, PORTLAND MAINE, OWNED BY THE A.H. CHAPMAN LAND CO., PORTLAND, MAINE, SECTION A" BY PERCY H. RICHARDSON, C.E. DATED APRIL 1925.
- PLAN ORIENTATION IS GRID NORTH, MAINE STATE PLANE COORDINATE SYSTEM, WEST ZONE 1802+MAD83. ELEVATIONS DEPICTED HEREON ARE NGVD29, BASED ON DUAL FREQUENCY GPS OBSERVATIONS.
- PER STANDARDS ASCE/CI 38-02: SANITARY AND STORM DRAINAGE LINES SHOWN HEREON ARE QUALITY LEVEL C; ELECTRIC, COMMUNICATION, AND WATER LINES SHOWN HEREON ARE QUALITY LEVEL B; AS DELINEATED BY DIGSMART OF MAINE IN MAY 2019; GAS LINES SHOWN HEREON ARE QUALITY LEVEL D BASED UPON FOUND ABOVE GROUND EVIDENCE. CONTRACTORS AND/OR DESIGNERS NEED TO CONTACT DIG-SAFE SYSTEMS, INC. (1-888-DIG-SAFE) AND FIELD VERIFY EXISTING UTILITIES WITHIN THE PROJECT AREA PRIOR TO CONSTRUCTION AND/OR EXCAVATION.
- THE LOCUS PROPERTIES AS DEPICTED HEREON DOES NOT FALL WITHIN A SPECIAL FLOOD HAZARD AREA AS DELINEATED ON THE FLOOD INSURANCE RATE MAP FOR PORTLAND, MAINE, CUMBERLAND COUNTY, COMMUNITY-PANEL NUMBER 230051 0002 C, HAVING AN EFFECTIVE DATE OF DECEMBER 8, 1998. THE LOCUS FALLS WITHIN AN AREA IDENTIFIED AS ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN.
- PER THE CITY OF PORTLAND, MAINE, ASH STREET AND WADCO STREET HAVE BEEN VACATED. THIS REVERTS THE PROPERTY LINE TO THE CENTERLINE OF THE PAPER STREETS (23 M.R.S.A. 3027). THERE MAY STILL BE RIGHTS ASSOCIATED WITH THE PAPER STREET FOR THE LOTS AS DEPICTED IN PLAN REFERENCE 6C.
- A WETLAND DELINEATION WAS PERFORMED ON THIS PROJECT SITE IN SEPTEMBER 2018 BY GARY M. FULLERTON, CERTIFIED SOIL SCIENTIST AT SEBAGO TECHINCS, INC. THIS DELINEATION CONFORMS TO THE STANDARDS AND METHODS OUTLINED IN THE 1987 WETLANDS DELINEATION MANUAL AND NORTHEAST REGIONAL SUPPLEMENT AUTHORED AND PUBLISHED BY THE U.S. ARMY CORPS OF ENGINEERS. WETLAND FLAGS WITHIN PROPOSED DEVELOPMENT AREAS WERE LOCATED USING GLOBAL POSITIONING SYSTEMS (GPS) TECHNOLOGY CAPABLE OF DECIMETER ACCURACY.
 A VERNAL POOL SURVEY WAS PERFORMED ON MAY 6, 2019 BY GARY M. FULLERTON, CERTIFIED SOIL SCIENTIST AT SEBAGO TECHINCS, INC. THIS SURVEY CONFORMS TO THE STANDARDS AND METHODS OUTLINED IN CHAPTER 335, SECTION 9, OF THE NATURAL RESOURCE PROTECTION ACT, MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION.

DRAWN	CHECKED
AJS	TSL/CDM

REVISIONS:

NO.	DATE	DESCRIPTION
1	11-8-19	ISSUED FOR CLIENT REVIEW
2	11-8-19	REVISED TO SHOW EXPANDED SCOPE

STATUS: ISSUED FOR CLIENT REVIEW

REVISED BY: DATE: 11-8-19

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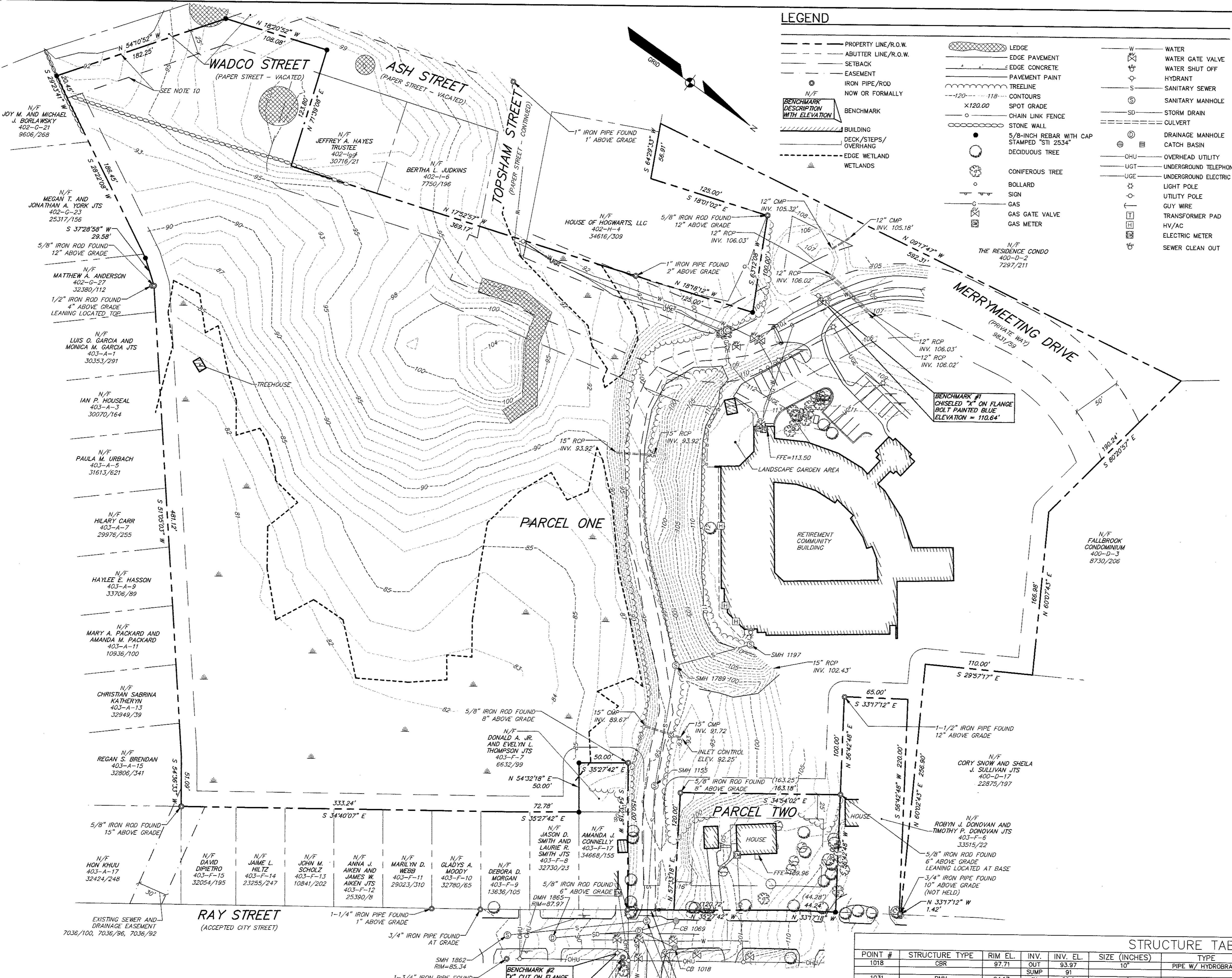
SEBAGO TECHINCS
 WWW.SEBAGOTECHINCS.COM
 75 John Roberts Rd.
 South Portland, ME 04106
 Tel. 207-200-2100

EXISTING CONDITIONS
 OF:
FALLBROOK COMMONS
 MERRYMEETING DRIVE
 PORTLAND, MAINE

FOR:
SANDY RIVER COMPANY
 FALLBROOK PROPERTIES, LLC
 418 RAY STREET
 PORTLAND, MAINE 04112

PROJECT NO. 18347 SCALE 1" = 50'

SHEET 1 OF 1

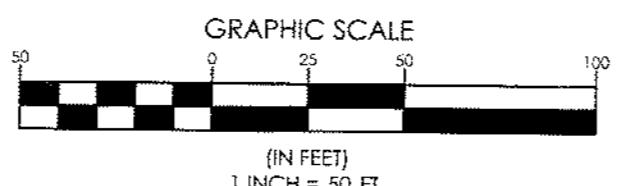


POINT #	STRUCTURE TYPE	RIM EL.	INV.	INV. EL.	SIZE (INCHES)	TYPE	LOCATION (N=12)	COMMENTS
1018	CBR	97.71	OUT	93.97	10"	PIPE W/ HYDROBRAKE	7	PVC PIPE MEASURED TOP WATER
1031	DMH	94.17	SUMP	91	10"	PVC	11	
			IN	89.53	10"	PVC	6	
			OUT	89.52	12"	PVC	6	
1055	SMH	94.23	IN	85.69	8"	PVC	9	
			IN	85.74	8"	PVC	1	
			OUT	85.6	8"	PVC	5	
1069	CBR	97.09	OUT	93.08	10"	PIPE W/ CASCO TRAP	5	HOOD TRAP INSTALLED MEASURED TOP OF WATER
			SUMP	89.91				APPROX 1 FOOT SILT ON BOTTOM
			IN	86.47	8"	PVC	10	
1155	SMH	94.53	OUT	86.42	8"	PVC	3	
			SHELF	86.94				
			IN	103.67	8"	PVC	9	WITH DOWNSPOUT
1197	SMH	111.69	OUT	93.86	8"	PVC	5	
			SHELF	94.9				
			IN	87.54	8"	PVC	11	
1789	SMH	94.72	OUT	87.12	8"	PVC	11	
			IN	87.12	8"	PVC	3	
			SHELF	87.81				

SURVEYOR'S STATEMENT

THIS SURVEY WAS PERFORMED UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, IT WAS DONE IN ACCORDANCE WITH CHAPTER 90, PART 1 (PROFESSIONAL STANDARDS OF PRACTICE) AND PART 2 (TECHNICAL STANDARDS OF PRACTICE) OF THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS.

Charles D. Marchese
 CHARLES D. MARCHESE, PLS' 2009 11-8-19



LEGEND

Table with columns for EXISTING and PROPOSED. Lists various site features like PROPERTY LINE, SETBACK, BUFFER, FLOODPLAIN, CENTERLINE, MONUMENT, IRON PIPE/ROD, etc., with corresponding symbols and line styles.

ABBREVIATIONS

Table listing abbreviations for materials and features: DUCTILE IRON (DI), HIGH-DENSITY POLYETHYLENE (HDPE), LANDSCAPED AREA (LSA), MEET EXISTING (LME), MECHANICAL JOIN (MJ).

GENERAL NOTES

- 1. THE RECORD OWNER OF PARCEL ONE IS FALLBROOK PROPERTIES, LLC BY DEED DATED DECEMBER 15, 2009 AND RECORDED AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS (CCRD) IN BOOK 27501, PAGE 183...
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4. TOTAL AREA OF THE LOT IS APPROXIMATELY 360,771 SQUARE FEET OR 8.3 ACRES...
5. BOUNDARY INFORMATION FOR PARCEL ONE IS AS DEPICTED ON PLAN REFERENCE BA, SEBAGO TECHNICS, INC. HAS NOT PERFORMED AN INDEPENDENT BOUNDARY RETRACEMENT SURVEY...
6. PLAN REFERENCES: A. *PLAN OF LAND OF FALLBROOK WOODS ON RAY STREET, PORTLAND, MAINE...
7. PLAN ORIENTATION IS GRID NORTH, MAINE STATE PLANE COORDINATE SYSTEM, WEST ZONE 18E...
8. PER STANDARDS ASSC/EI 36-02: SANITARY AND STORM DRAINAGE LINES SHOWN HEREON ARE QUALITY LEVEL C...
9. THE LOCUS PROPERTIES AS DEPICTED HEREON DOES NOT FALL WITHIN A SPECIAL FLOOD HAZARD AREA...
10. PER THE CITY OF PORTLAND, MAINE, ASH STREET AND WADCO STREET HAVE BEEN VACATED...
11. A WETLAND DELINEATION WAS PERFORMED ON THIS PROJECT SITE IN SEPTEMBER 2018 BY GARY M. FULLERTON...
12. ALL WORK SHALL CONFORM TO THE APPLICABLE CODES AND ORDINANCES...
13. CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIM OR HERSELF WITH ALL CONDITIONS AFFECTING THE PROPOSED WORK...
14. CONTRACTOR SHALL NOTIFY ENGINEER OF ALL PRODUCTS OR ITEMS NOTED AS 'EXISTING' WHICH ARE NOT FOUND IN THE FIELD...
15. PROVIDE ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS...
16. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO FABRICATION AND ERECTION OF ANY MATERIAL...
17. CONTRACTOR SHALL CLEAN AND REMOVE DEBRIS AND SEDIMENT DEPOSITED ON PUBLIC STREETS, SIDEWALKS, ADJACENT AREAS, OR OTHER PUBLIC WAYS DUE TO CONSTRUCTION...
18. CONTRACTOR SHALL INCORPORATE PROVISIONS AS NECESSARY IN CONSTRUCTION TO PROTECT EXISTING STRUCTURES, PHYSICAL FEATURES, AND MAINTAIN SITE STABILITY...
19. SITE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO CONSTRUCTION...
20. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH 'MAINE EROSION AND SEDIMENT CONTROL BMP'S' PUBLISHED BY THE BUREAU OF LAND AND WATER QUALITY...
21. THE CONTRACTOR IS HEREBY CAUTIONED THAT ALL SITE FEATURES SHOWN HEREON ARE BASED ON FIELD OBSERVATIONS...
22. CONTRACTOR SHALL BE AWARE THAT DIG SAFE ONLY NOTIFIES ITS 'MEMBER' UTILITIES ABOUT THE DIG...
23. CONTRACTORS SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE REQUIREMENTS OF 23 MRSA 3360-A...
24. ALL PAVEMENT MARKINGS AND DIRECTIONAL SIGNAGE SHOWN ON THE PLAN SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) STANDARDS...
25. ALL PAVEMENT JOINTS SHALL BE SAWCUT PRIOR TO PAVING TO PROVIDE A DURABLE AND UNIFORM JOINT...
26. NO HOLES, TRENCHES OR STRUCTURES SHALL BE LEFT OPEN OVERNIGHT IN ANY EXCAVATION ACCESSIBLE TO THE PUBLIC OR IN PUBLIC RIGHTS-OF-WAY...
27. IMMEDIATELY UPON COMPLETION OF CUTS/FILLS, THE CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH EROSION CONTROL NOTES AND AS SPECIFIED ON PLANS...
28. THE CONTRACTOR SHALL BE FULLY AND SOLELY RESPONSIBLE FOR THE REMOVAL, REPLACEMENT AND RECTIFICATION OF ALL DAMAGED AND DEFECTIVE MATERIAL AND WORKMANSHIP IN CONNECTION WITH THE CONTRACT WORK...
29. ALL WORK PERFORMED BY THE GENERAL CONTRACTOR AND/OR TRADE SUBCONTRACTOR SHALL CONFORM TO THE REQUIREMENTS OF LOCAL, STATE OR FEDERAL LAWS, AS WELL AS ANY OTHER GOVERNING REQUIREMENTS...
30. WHERE THE TERMS 'APPROVED EQUAL', 'OTHER APPROVED', 'EQUAL TO', 'ACCEPTABLE' OR OTHER GENERAL QUALIFYING TERMS ARE USED IN THESE NOTES, IT SHALL BE UNDERSTOOD THAT REFERENCE IS MADE TO THE RULING AND JUDGEMENT OF SEBAGO TECHNICS, INC...
31. THE GENERAL CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTION FOR THE WORK UNTIL TURNED OVER TO THE OWNER...
32. THE GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DRAWINGS ON SITE DURING ALL PHASES OF CONSTRUCTION FOR USE OF ALL TRADES...

LANDSCAPE NOTES

- 1. PLANT QUANTITIES SHOWN ON PLANS ARE FOR CONVENIENCE TO THE CONTRACTOR ONLY. THE CONTRACTOR IS RESPONSIBLE FOR ALL PLANT MATERIAL, INSTALLATION AS SHOWN ON PLANS...
2. SIZE AND GRADING STANDARDS OF PLANT MATERIALS SHALL CONFORM TO THE LATEST EDITION OF 'U.S.A. STANDARD FOR NURSERY STOCK'...
3. ALL PLANT MATERIAL SHALL BE FREE FROM INSECTS AND DISEASE...
4. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES...
5. PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR BY THE CONTRACTOR AND A PERIOD OF TWO YEARS THEREAFTER...
6. ALL GRASS, OTHER VEGETATION AND DEBRIS SHALL BE REMOVED FROM ALL PLANTING AREAS PRIOR TO PLANTING...
7. EXISTING TREES TO BE PRESERVED WILL BE PROTECTED DURING CONSTRUCTION...
8. THE LANDSCAPE CONTRACTOR IS ADVISED OF THE PRESENCE OF THE UNDERGROUND UTILITIES...
9. ALL SHRUB BEDS SHALL BE MULCHED WITH 3" CLEAN SHREDDED DARK AGED BROWN BARK MULCH...
10. THE CONTRACTOR SHALL PROVIDE 4" LOAM FOR ALL AREAS TO BE SOODED OR SEEDED...
11. ANY DEVIATION FROM THE LANDSCAPE PLAN, INCLUDING PLANT LOCATION, SELECTION, SIZE, QUANTITY OR CONDITION SHALL BE REVIEWED AND APPROVED BY THE OWNER AND LANDSCAPE ARCHITECT...
12. WHERE INDICATED ON PLAN, PLANTING SOIL MIXTURE FOR PERENNIAL AND ANNUAL FLOWER BED AREAS SHALL CONSIST OF FOUR PARTS TOPSOIL, TWO PARTS SPHAGNUM PEAT MOSS, AND ONE PART HORTICULTURAL PERLITE...
13. THE CONTRACTOR SHALL TAKE FULL RESPONSIBILITY FOR ANY CHANGES AND DEVIATION OF APPROVED PLANS NOT AUTHORIZED BY THE ARCHITECT/ENGINEER AND/OR CLIENT/OWNER...
14. DETAILS ARE INTENDED TO SHOW END RESULT OF DESIGN ANY MODIFICATION TO SUIT FIELD DIMENSION AND CONDITION SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO ANY WORK...
15. BEFORE THE FINAL ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL REMOVE ALL EQUIPMENT AND MATERIALS, REPAIR OR REPLACE PRIVATE OR PUBLIC PROPERTY WHICH MAY HAVE BEEN DAMAGED OR DESTROYED DURING CONSTRUCTION...
16. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING FLOW THROUGH THE EXISTING CLOSED STORM DRAINAGE SYSTEM DURING CONSTRUCTION AND SHALL SUBMIT A WORK PLAN FOR APPROVAL BY THE DESIGN ENGINEER...

UTILITY DEMOLITION NOTES

- 1. PROTECT EXISTING BOUNDARY LINE MONUMENTATION IF DISTURBED...
2. DEMOLITION OF UTILITIES REQUIRING TREE REMOVAL SHALL BE COORDINATED WITH THE OWNER AND IN ACCORDANCE WITH PROJECT PLANS...
3. UTILITY DEMOLITION SHALL BE COMPLETED IN COORDINATION WITH NEW INFRASTRUCTURE...
4. PROTECT EXISTING UTILITIES ALONG IN PUBLIC R.O.W. UNLESS NOTED OTHERWISE...
5. DEMOLITION SHOWN IS FOR MAJOR SITE ELEMENTS TO BE DEMOLISHED...
6. PRIOR TO ANY DEMOLITION, THE CONTRACTOR SHALL SUBMIT A SEQUENCE OF DEMOLITION PLANS TO THE OWNER...
7. CONTRACTOR REQUIRED TO CONFIRM/MAINTAIN BENCHMARKS...
8. UTILITY INFORMATION DEPICTED HEREON IS COMPILED USING PHYSICAL EVIDENCE...
9. ALL GRAVITY CONDUIT PIPES SHALL BE INSTALLED USING A PIPE LASER AND TARGET SYSTEM...
10. MAINTAIN MINIMUM 5'-6" OF COVER ABOVE TOP OF WATER SERVICE PIPE...
11. LOWER OR RAISE WATER SERVICES AS REQUIRED TO MAINTAIN MINIMUM 12 INCH VERTICAL SEPARATION...
12. COORDINATE FOUNDATION UNDERDRAIN LOCATIONS WITH ARCHITECTURAL AND STRUCTURAL DRAWINGS...
13. COORDINATE GREASE INTERCEPTOR LOCATIONS WITH ARCHITECTURAL & PLUMBING DRAWINGS...
14. COORDINATE UTILITY INVERTS AT BUILDING WITH ARCHITECTURAL, STRUCTURAL AND PLUMBING DRAWINGS...
15. COORDINATE LOCATION OF SEWER, WATER, GAS, FOUNDATION DRAINS AND ROOF DRAIN INVERTS AT THE BUILDING WITH ARCHITECTURAL DRAWINGS...
16. WATER SERVICE ENTRANCE DESIGNS TO INCLUDE METERS AND BACKFLOW PREVENTERS...
17. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY GRADE CHANGES...
18. UTILITIES WITHIN 5 FEET FROM FACE OF BUILDING ARE COORDINATED ON RELEVANT M.E.P. DRAWINGS...
19. CONTRACTOR SHALL FURNISH AND INSTALL TRENCHING MATERIALS AND BACKFILL FOR ALL UTILITIES...
20. COORDINATE ALL WATER RELATED WORK WITH PORTLAND WATER DISTRICT...
21. UTILITY CONTACTS: ELECTRIC: CENTRAL MAINE POWER (CMP) PAUL DUPERRÉ@CMP.CO.COM... WATER: PORTLAND WATER DISTRICT T.B.D. CONSOLIDATED COMMUNICATION: PATRICK MORRISON@CONSOLIDATED.COM...

UTILITY NOTES

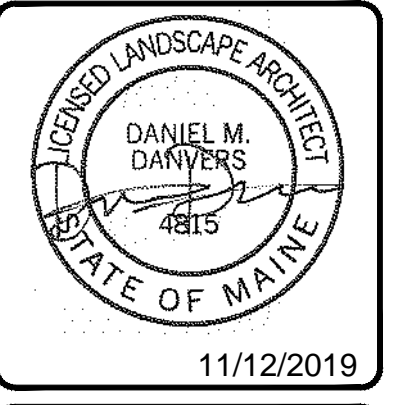
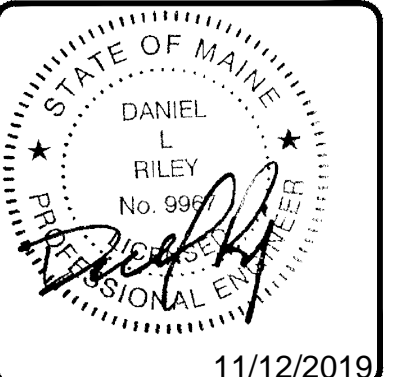
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14. UTILITY CONTACTS: ELECTRIC: CENTRAL MAINE POWER (CMP) PAUL DUPERRÉ@CMP.CO.COM... WATER: PORTLAND WATER DISTRICT T.B.D. CONSOLIDATED COMMUNICATION: PATRICK MORRISON@CONSOLIDATED.COM...

GRADING & EROSION NOTES

- 1. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH 'MAINE EROSION AND SEDIMENT CONTROL BMP'S' MANUAL...
2. WETLANDS, ASSOCIATED SETBACKS AND STREAM SETBACKS TO BE STAKED BY OWNER...
3. GRADING AND CLEARING LIMITS SHALL NOT ENDOUR ON ADJACENT PROPERTIES...
4. OPEN AREAS SHALL BE LIMITED TO AREAS BEING WORKED IN...
5. CONTRACTOR SHALL CLEAN AND REMOVE DEBRIS AND SEDIMENT DEPOSITED ON PUBLIC STREETS, SIDEWALKS, ADJACENT AREAS, OR OTHER PUBLIC WAYS DUE TO CONSTRUCTION...
6. CONTRACTOR SHALL INCORPORATE PROVISIONS AS NECESSARY IN CONSTRUCTION TO PROTECT EXISTING STRUCTURES, PHYSICAL FEATURES, AND MAINTAIN SITE STABILITY...
7. SITE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO CONSTRUCTION...
8. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH 'MAINE EROSION AND SEDIMENT CONTROL BMP'S' PUBLISHED BY THE BUREAU OF LAND AND WATER QUALITY...
9. THE CONTRACTOR IS HEREBY CAUTIONED THAT ALL SITE FEATURES SHOWN HEREON ARE BASED ON FIELD OBSERVATIONS...
10. CONTRACTOR SHALL BE AWARE THAT DIG SAFE ONLY NOTIFIES ITS 'MEMBER' UTILITIES ABOUT THE DIG...
11. CONTRACTORS SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE REQUIREMENTS OF 23 MRSA 3360-A...
12. ALL PAVEMENT MARKINGS AND DIRECTIONAL SIGNAGE SHOWN ON THE PLAN SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) STANDARDS...
13. ALL PAVEMENT JOINTS SHALL BE SAWCUT PRIOR TO PAVING TO PROVIDE A DURABLE AND UNIFORM JOINT...
14. NO HOLES, TRENCHES OR STRUCTURES SHALL BE LEFT OPEN OVERNIGHT IN ANY EXCAVATION ACCESSIBLE TO THE PUBLIC OR IN PUBLIC RIGHTS-OF-WAY...
15. IMMEDIATELY UPON COMPLETION OF CUTS/FILLS, THE CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH EROSION CONTROL NOTES AND AS SPECIFIED ON PLANS...
16. THE CONTRACTOR SHALL BE FULLY AND SOLELY RESPONSIBLE FOR THE REMOVAL, REPLACEMENT AND RECTIFICATION OF ALL DAMAGED AND DEFECTIVE MATERIAL AND WORKMANSHIP...
17. ALL WORK PERFORMED BY THE GENERAL CONTRACTOR AND/OR TRADE SUBCONTRACTOR SHALL CONFORM TO THE REQUIREMENTS OF LOCAL, STATE OR FEDERAL LAWS...
18. WHERE THE TERMS 'APPROVED EQUAL', 'OTHER APPROVED', 'EQUAL TO', 'ACCEPTABLE' OR OTHER GENERAL QUALIFYING TERMS ARE USED IN THESE NOTES...
19. THE GENERAL CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTION FOR THE WORK UNTIL TURNED OVER TO THE OWNER...
20. THE GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DRAWINGS ON SITE DURING ALL PHASES OF CONSTRUCTION...

CONSTRUCTION PLAN

- 1. PROVIDE EROSION CONTROL MEASURES PRIOR TO SITE DISTURBANCE...
2. WETLANDS, ASSOCIATED SETBACKS AND STREAM SETBACKS TO BE STAKED BY OWNER...
3. GRADING AND CLEARING LIMITS SHALL NOT ENDOUR ON ADJACENT PROPERTIES...
4. OPEN AREAS SHALL BE LIMITED TO AREAS BEING WORKED IN...
5. CONTRACTOR SHALL CLEAN AND REMOVE DEBRIS AND SEDIMENT DEPOSITED ON PUBLIC STREETS, SIDEWALKS, ADJACENT AREAS, OR OTHER PUBLIC WAYS DUE TO CONSTRUCTION...
6. CONTRACTOR SHALL INCORPORATE PROVISIONS AS NECESSARY IN CONSTRUCTION TO PROTECT EXISTING STRUCTURES, PHYSICAL FEATURES, AND MAINTAIN SITE STABILITY...
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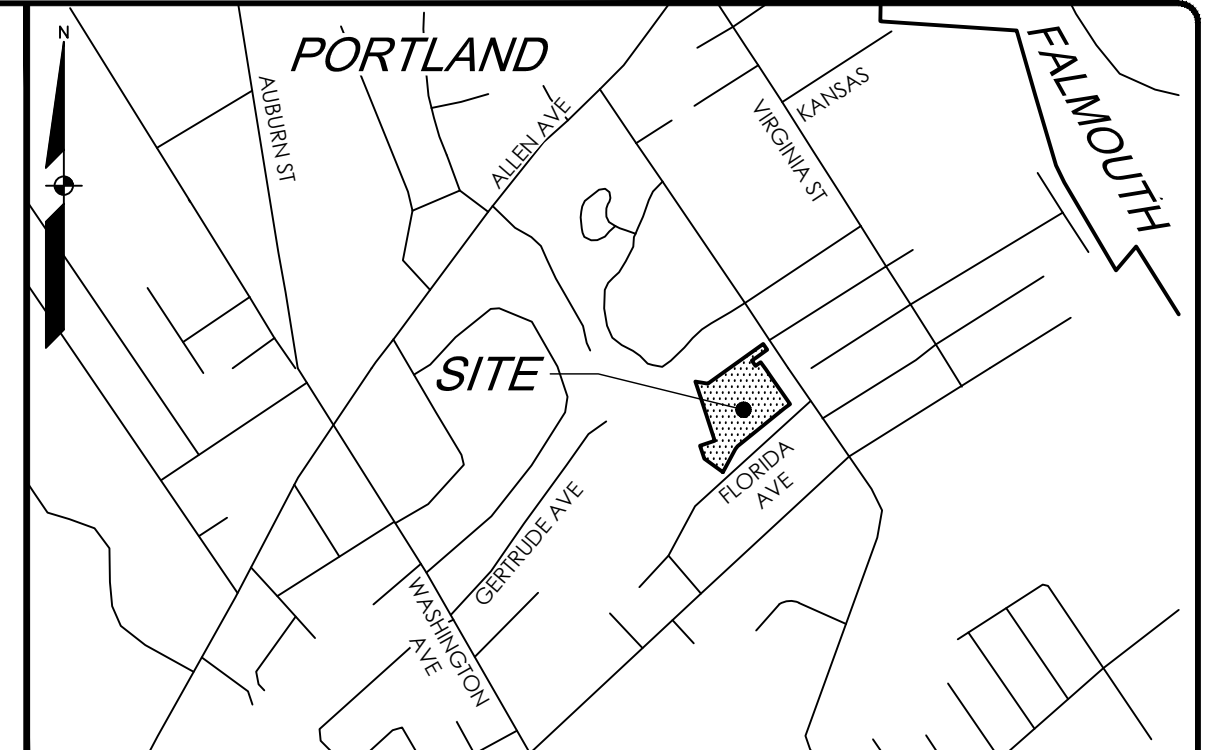
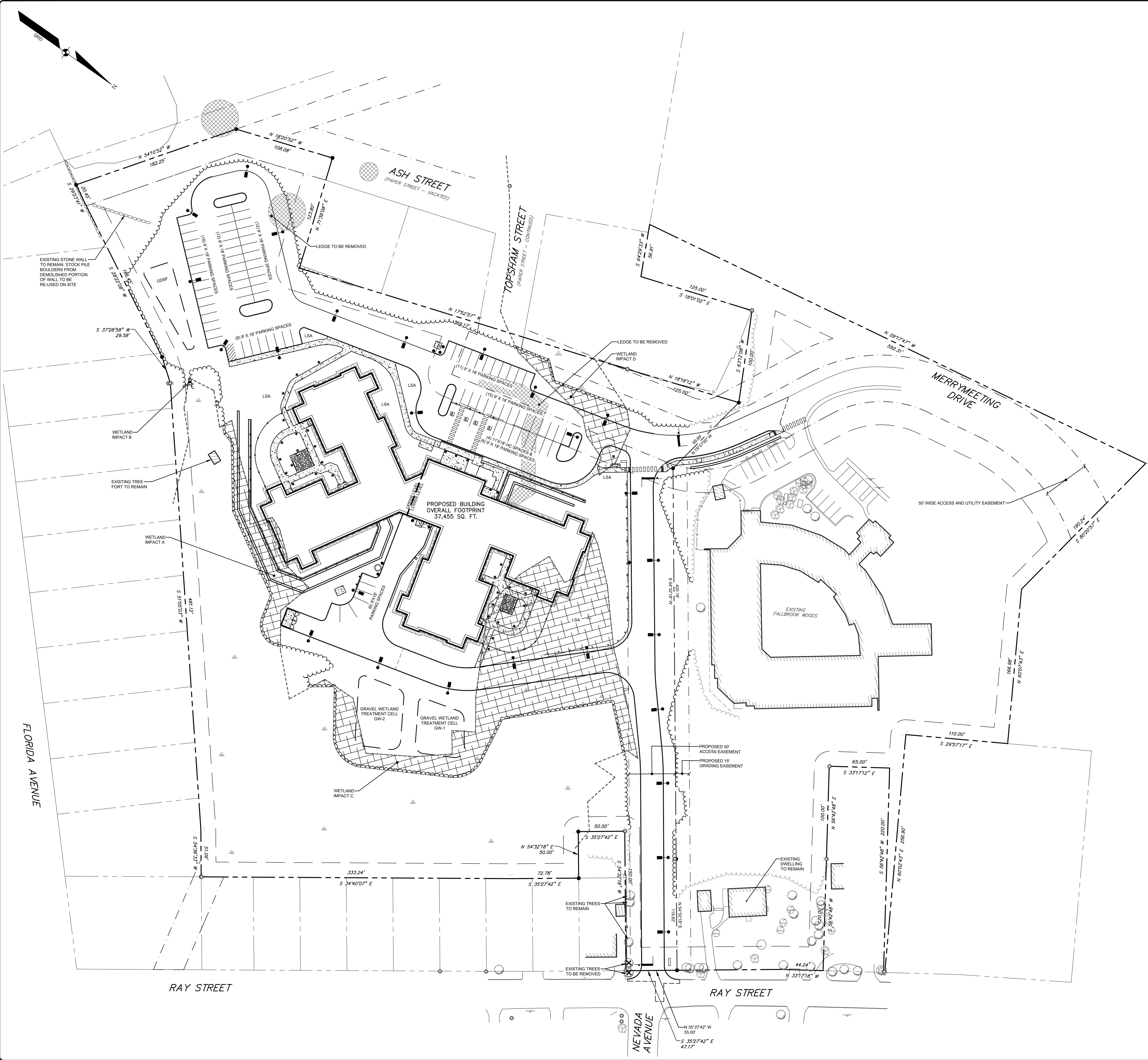
NOT FOR CONSTRUCTION

Table with columns for REVISIONS: NO., DATE, DESCRIPTION. Includes entries for DMD 11-12-19 SUBMIT TO CITY OF PORTLAND and DMD 11-12-19 STATUS.

SEBAGO TECHNICS logo and contact information: WWW.SEBAGOTECHNICS.COM, 75 JOHNSON STREET, Suite 414, South Portland, ME 04106, Tel. 207-209-2100.

NOTES AND LEGEND OF: FALLBROOK COMMONS PORTLAND, MAINE FOR: FALLBROOK COMMONS DEVELOPMENT LLC. 207 COMMERCIAL STREET, SUITE 201, PORTLAND, MAINE 04101.

Table with columns for DESIGNER (DMD), DRAWN (SRC), CHECKED (DLR), DATE (11/12/19), SCALE (AS SHOWN), PROJECT (18347).



LOCATION MAP
GENERAL NOTES

- THE RECORD OWNER OF PARCEL ONE IS FALLBROOK PROPERTIES, LLC BY DEED DATED DECEMBER 15, 2009 AND RECORDED AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS (CCRD) IN BOOK 27501, PAGE 183. THE RECORD OWNER OF PARCEL TWO IS PATRICIA A. McDONALD AND CATHERINE E. McDONALD BY DEED DATED JULY 7, 1989 AND RECORDED AT THE CCRD IN BOOK 8818, PAGE 50.
- PARCEL ONE IS SHOWN AS LOT F-001 ON THE CITY OF PORTLAND TAX MAP 403 AND IS LOCATED IN THE R-3 RESIDENTIAL ZONE. PARCEL TWO IS SHOWN AS LOT F-005 ON THE CITY OF PORTLAND TAX MAP 403 AND IS LOCATED IN THE R-3 RESIDENTIAL ZONE.
- SPACE AND BULK CRITERIA FOR THE R-3 RESIDENTIAL ZONE ARE AS FOLLOWS:

	REQUIRED	PROVIDED
MINIMUM LOT SIZE:	2 ACRES*	8.28 ACRES
MINIMUM STREET FRONTAGE:	50 FEET*	50 FEET
MINIMUM FRONT YARD:	25 FEET*	348.1 FEET
MINIMUM SIDE YARD:	16 FEET*	87.8 FEET
MINIMUM REAR YARD:	25 FEET*	83.9 FEET
MAXIMUM BUILDING HEIGHT:	35 FEET	34.33 FEET
MAXIMUM COVERAGE:	35%	33.7%

 * SEE ORDINANCE FOR MORE PARTICULAR INFORMATION.
- TOTAL AREA OF THE LOT IS APPROXIMATELY 360,771 SQUARE FEET OR 8.3 ACRES.
- OFF STREET PARKING: PROPOSED- 92 SPACES
REQUIRED- 60 SPACES
ORDINANCE SEC. 14-332 (n): LONG-TERM, EXTENDED CARE AND INTERMEDIATE CARE FACILITIES: ONE (1) PARKING SPACE FOR EACH FIVE (5) BEDS, OR MAJOR FRACTION THEREOF, PLUS ONE (1) PARKING SPACE PER EACH EMPLOYEE NORMALLY PRESENT DURING ONE (1) WEEKDAY MORNING SHIFT.
- A WETLAND DELINEATION WAS PERFORMED ON THIS PROJECT SITE IN SEPTEMBER 2018 BY GARY M. FULLERTON, CERTIFIED SOIL SCIENTIST OF SEBAGO TECHNICS, INC. THIS DELINEATION CONFORMS TO THE STANDARDS AND METHODS OUTLINED IN THE 1987 WETLANDS DELINEATION MANUAL AND NORTHEAST REGIONAL SUPPLEMENT AUTHORED AND PUBLISHED BY THE U.S. ARMY CORPS OF ENGINEERS. WETLAND FLAGS WITHIN PROPOSED DEVELOPMENT AREAS WERE LOCATED USING GLOBAL POSITIONING SYSTEMS (GPS) TECHNOLOGY CAPABLE OF DECIMETER ACCURACY. A VERNAL POOL SURVEY WAS PERFORMED ON MAY 4, 2019 BY GARY M. FULLERTON, CERTIFIED SOIL SCIENTIST OF SEBAGO TECHNICS, INC. THIS SURVEY CONFORMS TO THE STANDARDS AND METHODS OUTLINED IN CHAPTER 335, SECTION 9, OF THE NATURAL RESOURCE PROTECTION ACT, MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION.
- ALL WORK SHALL CONFORM TO THE APPLICABLE CODES AND ORDINANCES.
- CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIM OR HERSELF WITH ALL CONDITIONS AFFECTING THE PROPOSED WORK AND SHALL MAKE PROVISIONS AS TO THE COST THEREOF. CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING HIMSELF WITH ALL CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS AND CONFIRMING THAT THE WORK MAY BE ACCOMPLISHED AS SHOWN PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO THE COMMENCEMENT OF WORK.
- CONTRACTOR SHALL NOTIFY ENGINEER OF ALL PRODUCTS OR ITEMS NOTED AS "EXISTING" WHICH ARE NOT FOUND IN THE FIELD.
- PROVIDE ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND OWNER'S REQUIREMENTS UNLESS SPECIFICALLY OTHERWISE INDICATED OR WHERE LOCAL CODES OR REGULATIONS TAKE PRECEDENCE.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO FABRICATION AND ERECTION OF ANY MATERIAL. ANY UNUSUAL CONDITIONS SHALL BE REPORTED TO THE ATTENTION OF THE ENGINEER.
- CONTRACTOR SHALL CLEAN AND REMOVE DEBRIS AND SEDIMENT DEPOSITED ON PUBLIC STREETS, SIDEWALKS, ADJACENT AREAS, OR OTHER PUBLIC WAYS DUE TO CONSTRUCTION.
- CONTRACTOR SHALL INCORPORATE PROVISIONS AS NECESSARY IN CONSTRUCTION TO PROTECT EXISTING STRUCTURES, PHYSICAL FEATURES, AND MAINTAIN SITE STABILITY DURING CONSTRUCTION. CONTRACTOR SHALL RESTORE ALL AREAS TO ORIGINAL CONDITION AND AS DIRECTED BY DESIGN DRAWINGS.
- SITE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO CONSTRUCTION.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH MAINE EROSION AND SEDIMENT CONTROL BMP'S PUBLISHED BY THE BUREAU OF LAND AND WATER QUALITY OF THE MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, OCTOBER 2016 OR LATEST EDITION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO POSSESS A COPY OF THE EROSION CONTROL PLAN AT ALL TIMES.
- ALL PAVEMENT MARKINGS AND DIRECTIONAL SIGNAGE SHOWN ON THE PLAN SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) STANDARDS.
- ALL PAVEMENT JOINTS SHALL BE SAWCUT PRIOR TO PAVING TO PROVIDE A DURABLE AND UNIFORM JOINT.
- NO HOLES, TRENCHES OR STRUCTURES SHALL BE LEFT OPEN OVERNIGHT IN ANY EXCAVATION ACCESSIBLE TO THE PUBLIC OR IN PUBLIC RIGHTS-OF-WAY.
- THE CONTRACTOR SHALL BE FULLY AND SOLELY RESPONSIBLE FOR THE REMOVAL, REPLACEMENT AND RECTIFICATION OF ALL DAMAGED AND DEFECTIVE MATERIAL AND WORKMANSHIP IN CONNECTION WITH THE CONTRACT WORK. THE CONTRACTOR SHALL REPLACE OR REPAIR AS DIRECTED BY THE OWNER ALL SUCH DAMAGED OR DEFECTIVE MATERIALS WHICH APPEAR WITHIN A PERIOD OF ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION.
- ALL WORK PERFORMED BY THE GENERAL CONTRACTOR AND/OR TRADE SUBCONTRACTOR SHALL CONFORM TO THE REQUIREMENTS OF LOCAL, STATE OR FEDERAL LAWS, AS WELL AS ANY OTHER GOVERNING REQUIREMENTS, WHETHER OR NOT SPECIFIED ON THE DRAWINGS.
- WHERE THE TERMS "APPROVED EQUAL", "OTHER APPROVED", "EQUAL TO", "ACCEPTABLE" OR OTHER GENERAL QUALIFYING TERMS ARE USED IN THESE NOTES, IT SHALL BE UNDERSTOOD THAT REFERENCE IS MADE TO THE RULING AND JUDGEMENT OF SEBAGO TECHNICS, INC.
- THE GENERAL CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTION FOR THE WORK UNTIL TURNED OVER TO THE OWNER.
- THE GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DRAWINGS ON SITE DURING ALL PHASES OF CONSTRUCTION FOR USE OF ALL TRADES.

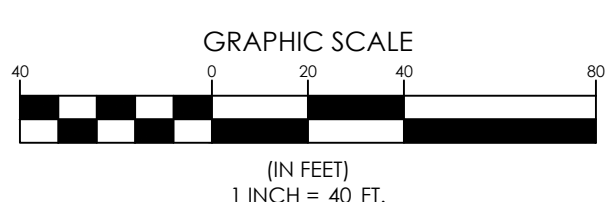
IMPACT SCHEDULE

WETLAND IMPACTS

A:	5.610s.F.
B:	29s.F.
C:	26.966s.F.
D:	4.095s.F.
TOTAL:	37.771s.F.

TREE CLEARING: 216.788s.F.

WETLAND IMPACT



STATE OF MAINE
DANIEL L. RILEY
No. 9867
11/12/2019

REGISTERED LANDSCAPE ARCHITECT
DANIEL M. DANKERS
4815
11/12/2019

NOT FOR CONSTRUCTION

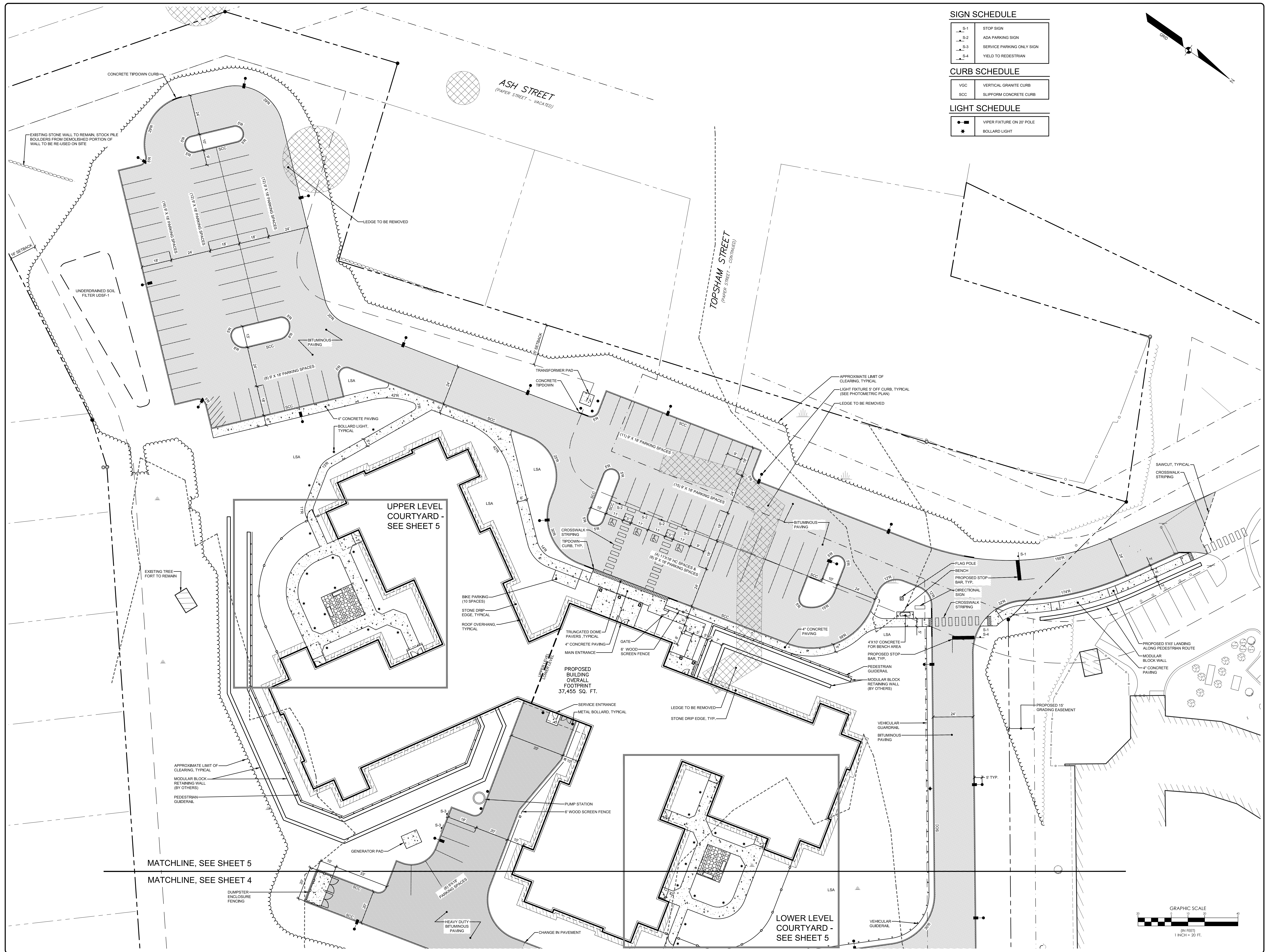
NO.	DATE	BY	STATUS
A	DMD 11-12-19	SUBMIT TO CITY OF PORTLAND	

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS, ADJUSTMENTS OR CHANGES SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

SEBAGO
TECHNICAL
WWW.SEBAGOTECHNICALS.COM
75 JOHNSON ST. #100
Salem, ME 04106
Tel: 207-200-2100

OVERALL SITE PLAN
OF:
FALLBROOK COMMONS
RAY STREET
PORTLAND, MAINE
FOR:
FALLBROOK COMMONS DEVELOPMENT LLC.
202 COMMERCIAL STREET, SUITE 201
PORTLAND, MAINE 04112

DESIGNED	DMD
DRAWN	SRG
CHECKED	DLR
DATE	11/12/19
SCALE	1" = 40'
PROJECT	18347



SIGN SCHEDULE

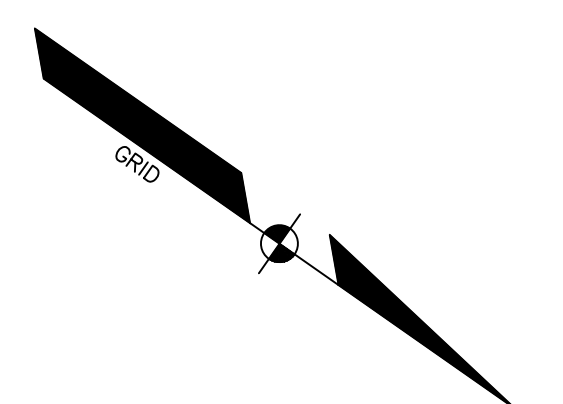
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S-2	ADA PARKING SIGN
S-3	SERVICE PARKING ONLY SIGN
S-4	YIELD TO PEDESTRIAN

CURB SCHEDULE

VGC	VERTICAL GRANITE CURB
SCC	SLIPFORM CONCRETE CURB

LIGHT SCHEDULE

●	VIPER FIXTURE ON 20' POLE
★	BOLLARD LIGHT



DANIEL L. RILEY P.E. 6096
 11/12/2019
 LICENSED LANDSCAPE ARCHITECT
 DANIEL M. DARVENY
 No. 9847
 4815
 11/12/2019

NOT FOR CONSTRUCTION

DATE:	11-12-19
PROJECT:	DMD 11-12-19
SCALE:	1" = 20'
PROJECT:	18347

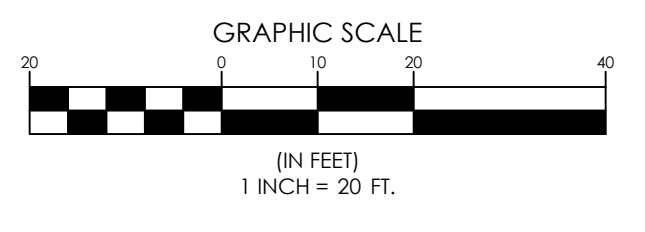
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SERBAGO TECHNIQUES, INC. ANY ALTERATIONS, ADDITIONS OR DELETIONS SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SERBAGO TECHNIQUES, INC.

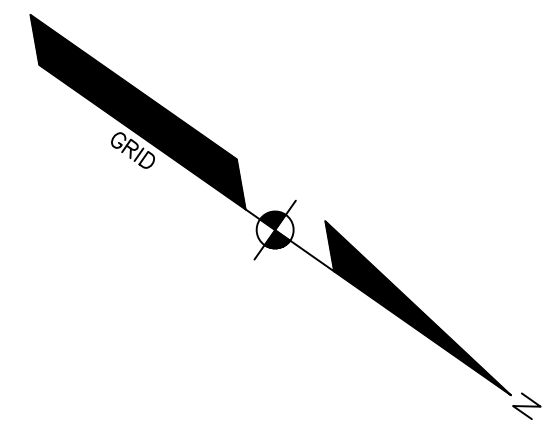
SERBAGO
 TECHNICAL SERVICES
 WWW.SERBAGOTECHNICALSERVICES.COM
 75 JOHNSON AVENUE, SUITE 100
 SOUTH PORTLAND, ME 04106
 TEL: 207-200-2100

SITE PLAN 1
 OF: FALLBROOK COMMONS
 DRAWN BY: RAY STREET, PORTLAND, MAINE
 FOR: FALLBROOK COMMONS DEVELOPMENT LLC.
 217 COMMERCIAL STREET, SUITE 201
 PORTLAND, MAINE 04102

DESIGNED	DMD
DRAWN	SRG
CHECKED	DLR
DATE	11/12/19
SCALE	1" = 20'
PROJECT	18347

MATCHLINE, SEE SHEET 5
MATCHLINE, SEE SHEET 4





SIGN SCHEDULE

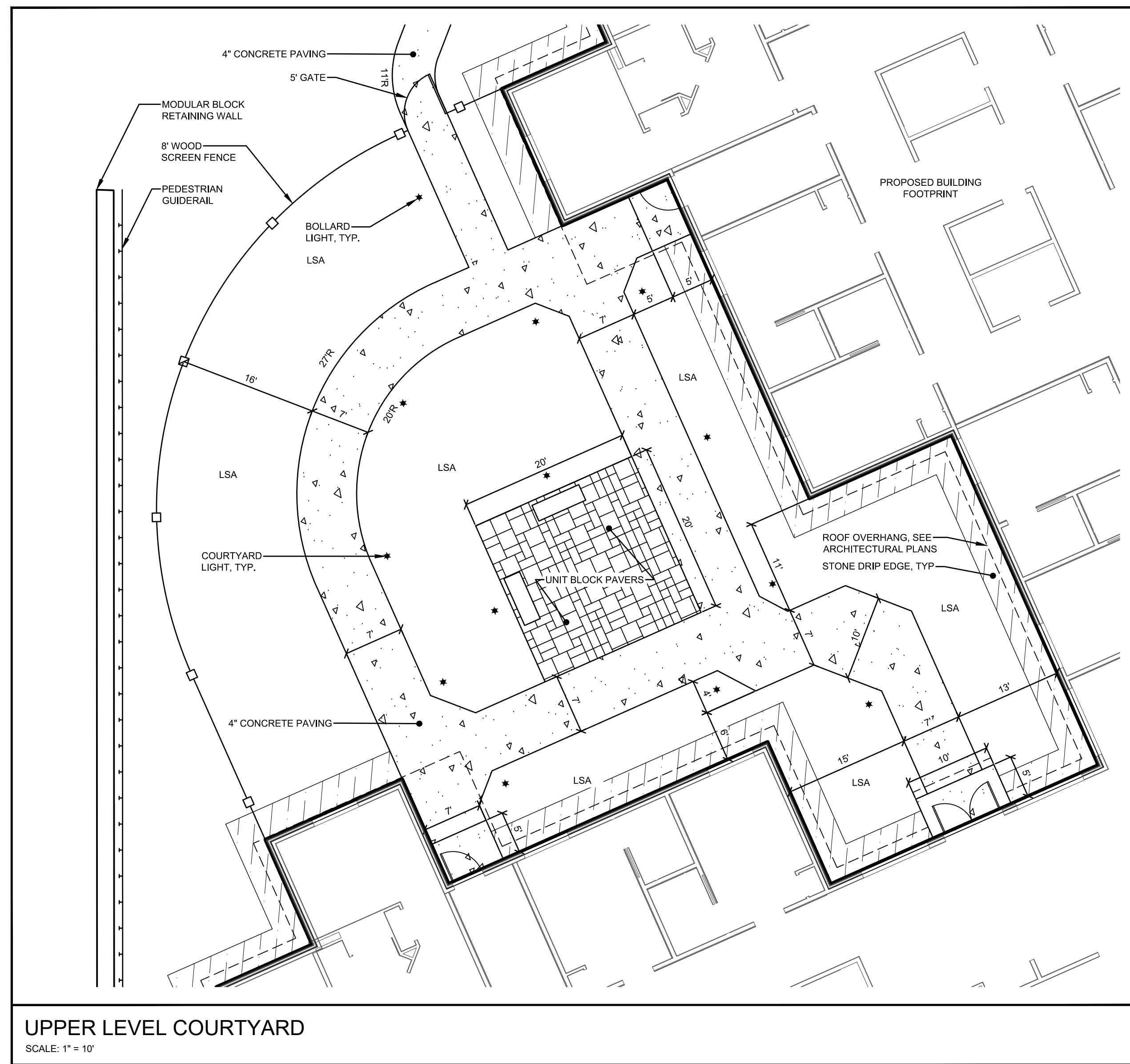
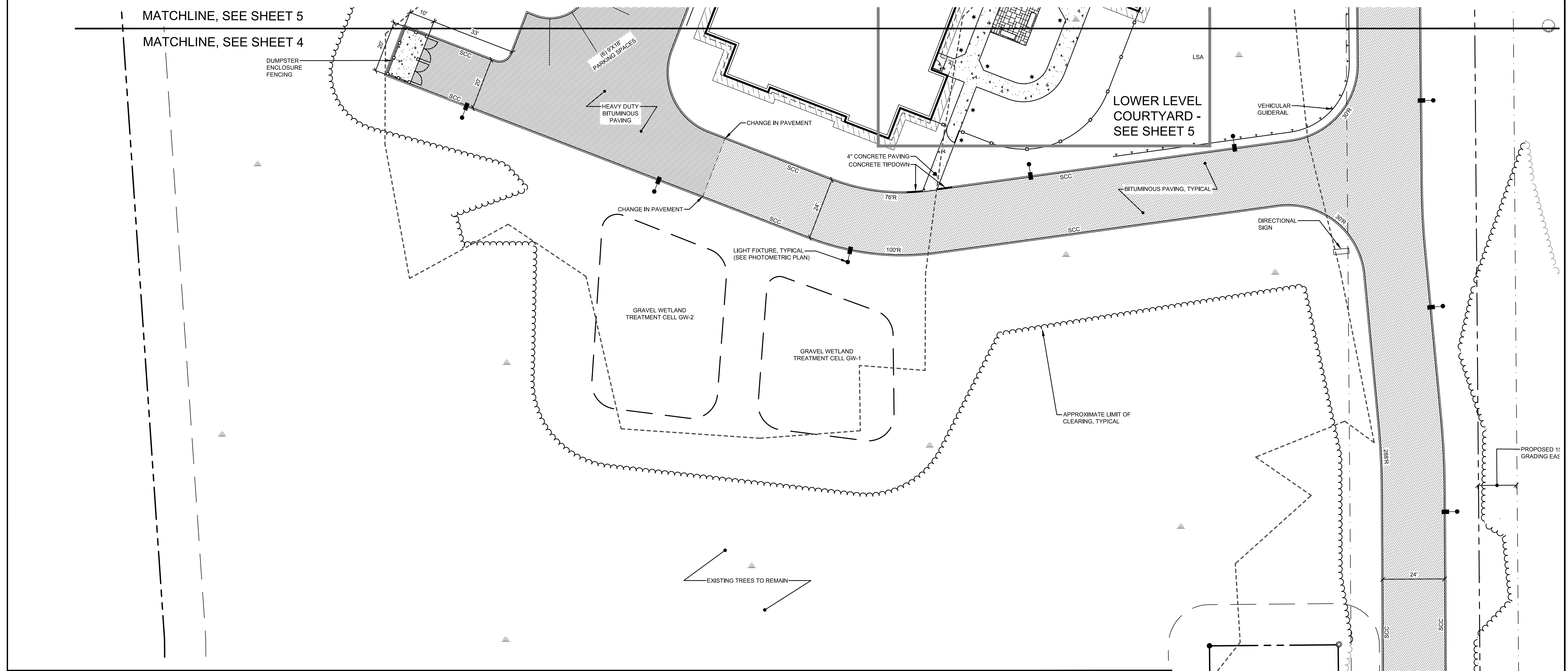
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S-2	ADA PARKING SIGN
S-3	SERVICE PARKING ONLY SIGN
S-4	YIELD TO REDESTRAN

CURB SCHEDULE

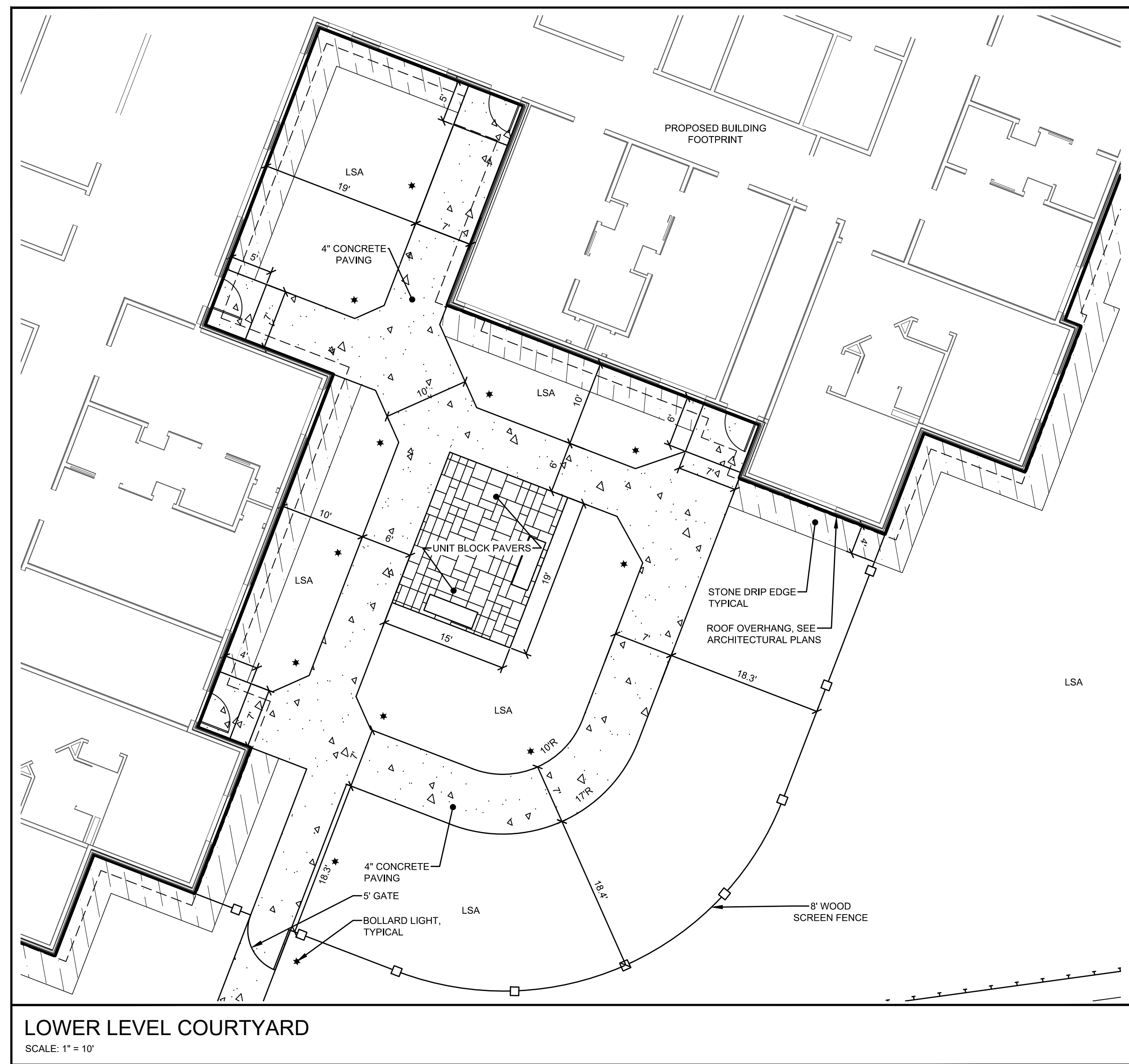
VGC	VERTICAL GRANITE CURB
SCC	SLIPFORM CONCRETE CURB

LIGHT SCHEDULE

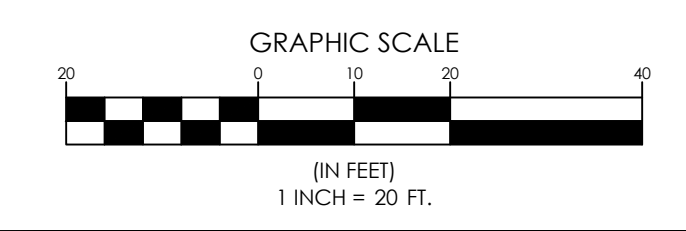
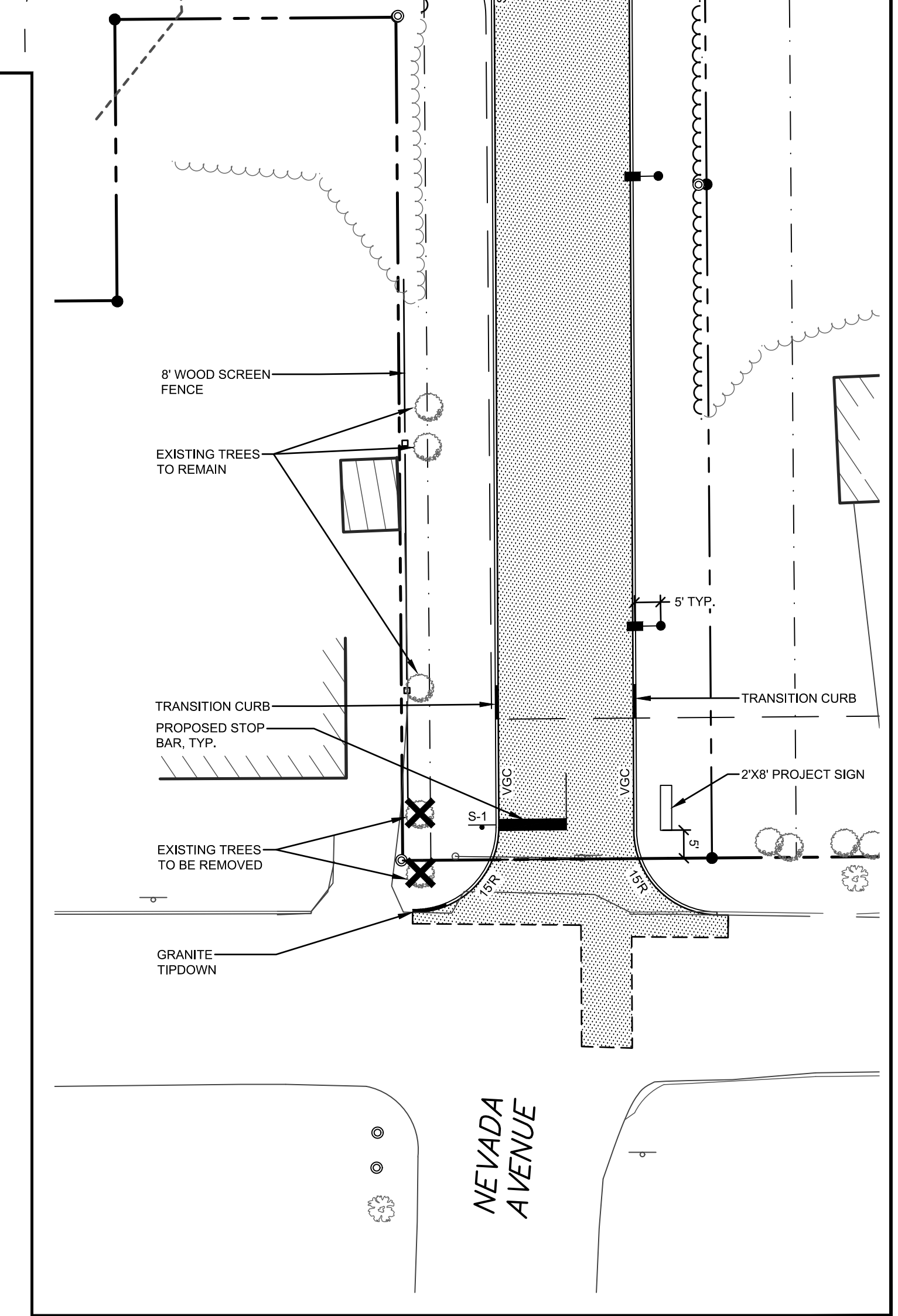
●	VIPER FIXTURE ON 20' POLE
★	BOLLARD LIGHT



UPPER LEVEL COURTYARD
SCALE: 1" = 10'



LOWER LEVEL COURTYARD
SCALE: 1" = 10'



DANIEL M. DANVERS, RLA 4815
11/12/2019

DANIEL M. DANVERS, RLA 4815
11/12/2019

NOT FOR CONSTRUCTION

DATE	11-12-19
DESIGNED BY	DMD
CHECKED BY	DLR
DRAWN BY	SRG
PROJECT	18347

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS, ADDITIONS OR DELETIONS SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

SEBAGO
TECHNICS
WWW.SEBAGOTECHNICS.COM
75 JONATHAN RD.
SOUTH PORTLAND, ME 04106
TEL: 207-200-2100

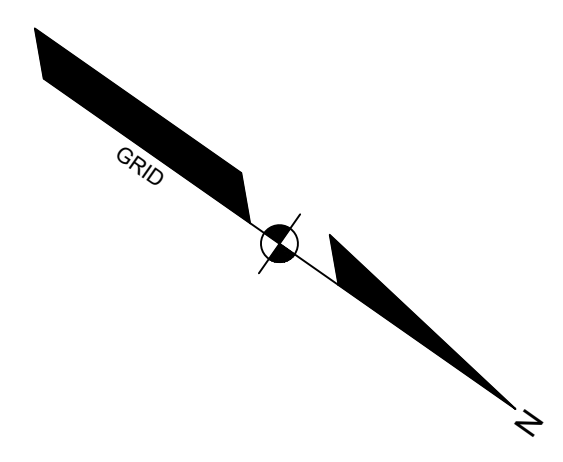
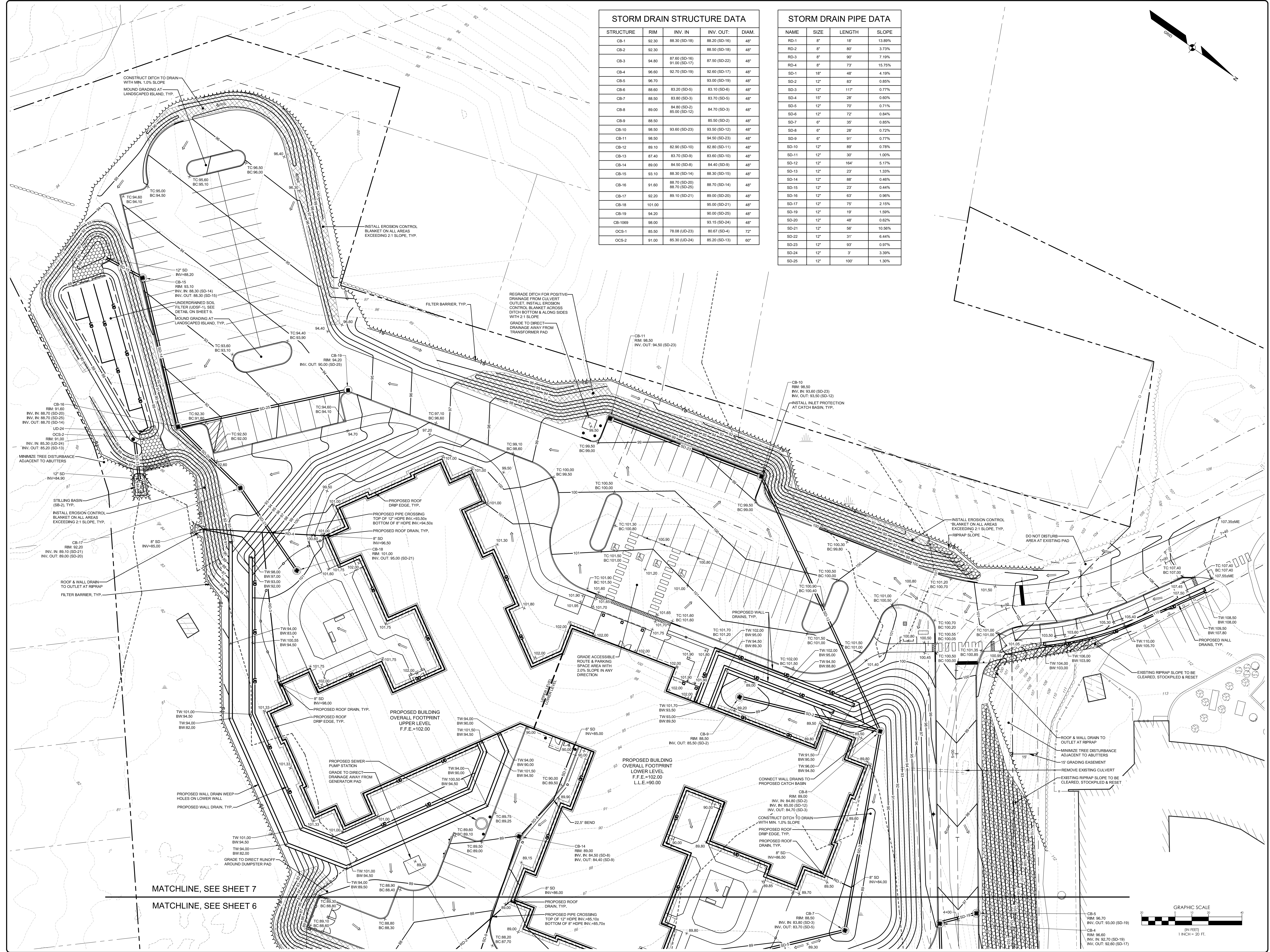
SITE PLAN 2
OF:
FALLBROOK COMMONS
RAY STREET
PORTLAND, MAINE

FOR:
FALLBROOK COMMONS DEVELOPMENT LLC.
217 COMMERCIAL STREET, SUITE 201
PORTLAND, MAINE 04102

DESIGNED	DMD
DRAWN	SRG
CHECKED	DLR
DATE	11/12/19
SCALE	AS NOTED
PROJECT	18347

STORM DRAIN STRUCTURE DATA				
STRUCTURE	RIM	INV. IN	INV. OUT	DIAM.
CB-1	92.30	88.30 (SD-18)	88.20 (SD-16)	48"
CB-2	92.30		88.50 (SD-18)	48"
CB-3	94.80	87.60 (SD-18) 91.00 (SD-17)	87.50 (SD-22)	48"
CB-4	96.60	92.70 (SD-19)	92.60 (SD-17)	48"
CB-5	96.70		93.00 (SD-19)	48"
CB-6	88.60	83.20 (SD-5)	83.10 (SD-6)	48"
CB-7	88.50	83.80 (SD-3)	83.70 (SD-5)	48"
CB-8	89.00	84.80 (SD-2) 85.00 (SD-12)	84.70 (SD-3)	48"
CB-9	88.50		85.50 (SD-2)	48"
CB-10	98.50	93.60 (SD-23)	93.50 (SD-12)	48"
CB-11	98.50		94.50 (SD-23)	48"
CB-12	89.10	82.90 (SD-10)	82.80 (SD-11)	48"
CB-13	87.40	83.70 (SD-9)	83.60 (SD-10)	48"
CB-14	89.00	84.50 (SD-8)	84.40 (SD-9)	48"
CB-15	93.10	88.30 (SD-14)	88.30 (SD-15)	48"
CB-16	91.60	88.70 (SD-20) 88.70 (SD-25)	88.70 (SD-14)	48"
CB-17	92.20	89.10 (SD-21)	89.00 (SD-20)	48"
CB-18	101.00		95.00 (SD-21)	48"
CB-19	94.20		90.00 (SD-25)	48"
CB-1069	98.00		93.15 (SD-24)	48"
OCS-1	85.50	78.08 (UD-23)	80.67 (SD-4)	72"
OCS-2	91.00	85.30 (UD-24)	85.20 (SD-13)	60"

STORM DRAIN PIPE DATA				
NAME	SIZE	LENGTH	SLOPE	
RD-1	8"	18'	13.89%	
RD-2	8"	80'	3.73%	
RD-3	8"	90'	7.19%	
RD-4	8"	73'	15.75%	
SD-1	18"	48'	4.19%	
SD-2	12"	83'	0.85%	
SD-3	12"	117'	0.77%	
SD-4	15"	28'	0.60%	
SD-5	12"	70'	0.71%	
SD-6	12"	72'	0.84%	
SD-7	6"	35'	0.85%	
SD-8	6"	28'	0.72%	
SD-9	6"	91'	0.77%	
SD-10	12"	89'	0.78%	
SD-11	12"	30'	1.00%	
SD-12	12"	164'	5.17%	
SD-13	12"	23'	1.33%	
SD-14	12"	88'	0.46%	
SD-15	12"	23'	0.44%	
SD-16	12"	63'	0.96%	
SD-17	12"	75'	2.15%	
SD-19	12"	19'	1.59%	
SD-20	12"	48'	0.62%	
SD-21	12"	56'	10.56%	
SD-22	12"	31'	6.44%	
SD-23	12"	93'	0.97%	
SD-24	12"	3'	3.39%	
SD-25	12"	100'	1.30%	



DANIEL L. RILEY P.E. 6898
 STATE OF MAINE
 DANIEL L. RILEY
 No. 6898
 11/12/2019

DANIEL M. DANVERS R.L.A. 4815
 LICENSED LANDSCAPE ARCHITECT
 DANIEL M. DANVERS
 4815
 STATE OF MAINE
 11/12/2019

NOT FOR CONSTRUCTION

NO.	DATE	BY	DESCRIPTION
1	11-12-19	DM	FOR CITY OF PORTLAND

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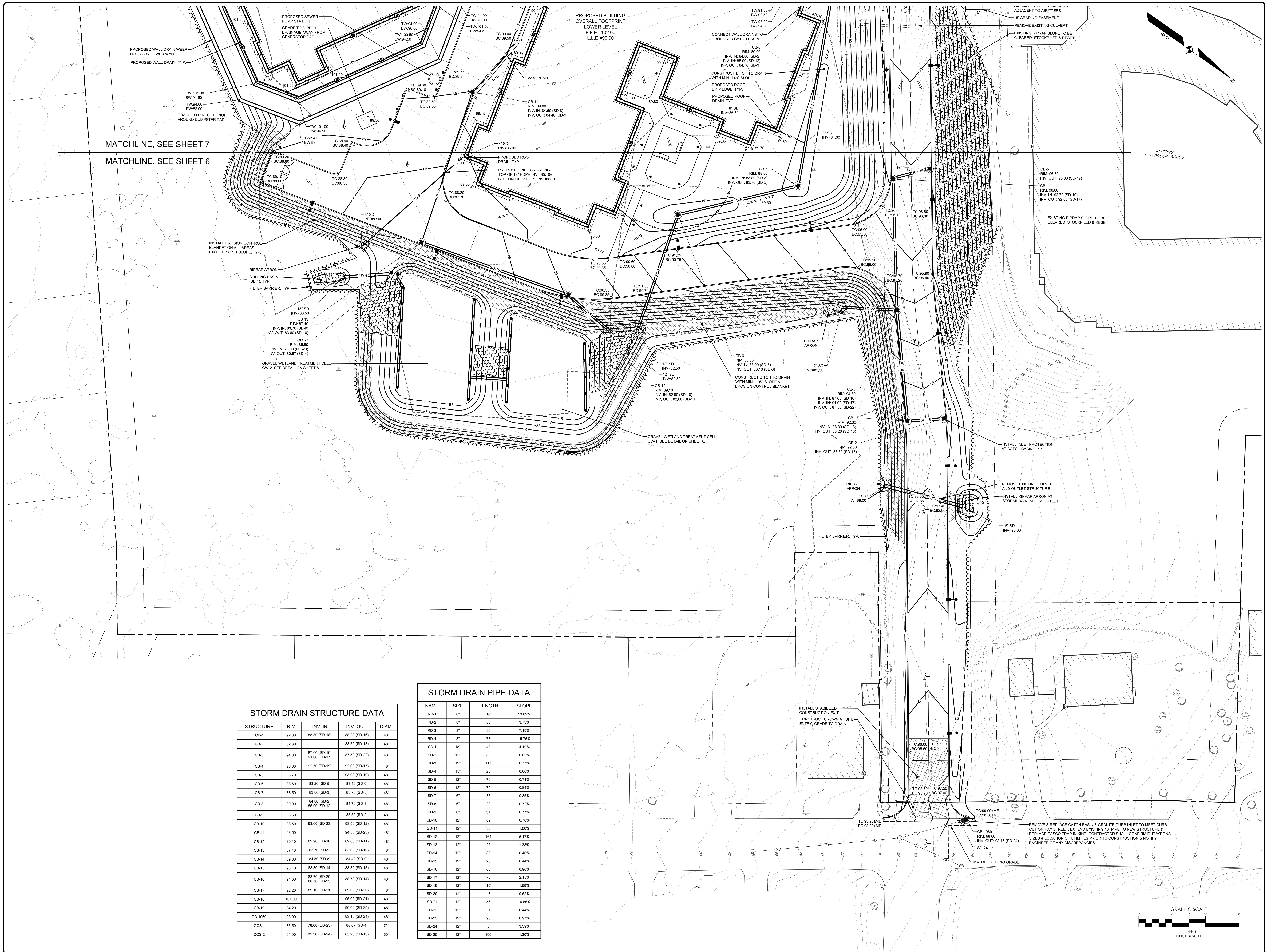
SEBAGO
 TECHNICAL SERVICES
 WWW.SEBAGOTECHNICALSERVICES.COM
 75 JOHNSON AVENUE, 3RD FLOOR
 SOUTH PORTLAND, ME 04106
 TEL: 207-269-2100

GRADING PLAN 1
 OF: FALLBROOK COMMONS
 RAY STREET
 PORTLAND, MAINE

FOR: FALLBROOK COMMONS DEVELOPMENT LLC.
 207 COMMERCIAL STREET, SUITE 201
 PORTLAND, MAINE 04101

DESIGNED	DM
DRAWN	SRC
CHECKED	DLR
DATE	11/12/19
SCALE	1" = 20'
PROJECT	18347

SHEET 6 OF 19



DANIEL L. RILEY P.E. 6986
11/12/2019
DANIEL M. DARVEYS
LICENSED LANDSCAPE ARCHITECT
STATE OF MAINE
4815
11/12/2019

NOT FOR CONSTRUCTION

DATE:	11-12-19	STATUS:	SUBMIT TO CITY OF PORTLAND
REV:	A	BY:	DMD

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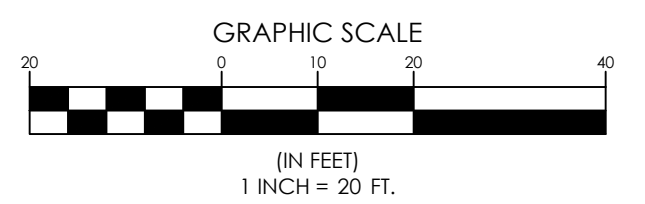
SEBAGO
TECHNICALS
WWW.SEBAGOTECHNICALS.COM
75 John Deere Blvd.
Salem, MA 01970
South Portland, ME 04106
Tel: 207-266-2100

GRADING PLAN 2
OF:
FALLBROOK COMMONS
RAY STREET
PORTLAND, MAINE
FOR:
FALLBROOK COMMONS DEVELOPMENT LLC.
227 COMMERCIAL STREET, SUITE 201
PORTLAND, MAINE 04101

DESIGNED	DMD
DRAWN	SRG
CHECKED	DLR
DATE	11/12/19
SCALE	1" = 20'
PROJECT	18347

STRUCTURE	RIM	INV. IN	INV. OUT	DIAM.
CB-1	92.30	88.30 (SD-18)	88.20 (SD-16)	48"
CB-2	92.30		88.50 (SD-16)	48"
CB-3	94.80	87.00 (SD-16) 87.00 (SD-17)	87.50 (SD-22)	48"
CB-4	96.60	92.70 (SD-19)	92.60 (SD-17)	48"
CB-5	96.70		93.00 (SD-19)	48"
CB-6	88.60	83.20 (SD-5)	83.10 (SD-6)	48"
CB-7	88.50	83.80 (SD-3)	83.70 (SD-5)	48"
CB-8	89.00	84.80 (SD-2) 85.00 (SD-12)	84.70 (SD-3)	48"
CB-9	88.50		85.50 (SD-2)	48"
CB-10	98.50	93.60 (SD-23)	93.50 (SD-12)	48"
CB-11	98.50		94.50 (SD-23)	48"
CB-12	89.10	82.90 (SD-10)	82.80 (SD-11)	48"
CB-13	87.40	83.70 (SD-9)	83.60 (SD-10)	48"
CB-14	89.00	84.50 (SD-8)	84.40 (SD-9)	48"
CB-15	93.10	88.30 (SD-14)	88.30 (SD-15)	48"
CB-16	91.60	88.70 (SD-20) 88.70 (SD-26)	88.70 (SD-14)	48"
CB-17	92.20	89.10 (SD-21)	89.00 (SD-20)	48"
CB-18	101.00		95.00 (SD-21)	48"
CB-19	94.20		90.00 (SD-25)	48"
CB-1069	98.00		93.15 (SD-24)	48"
OCS-1	85.50	78.08 (UD-23)	80.67 (SD-4)	72"
OCS-2	91.00	85.30 (UD-24)	85.20 (SD-13)	60"

NAME	SIZE	LENGTH	SLOPE
RD-1	8"	18'	13.89%
RD-2	8"	80'	3.73%
RD-3	8"	90'	7.19%
RD-4	8"	73'	15.75%
SD-1	18"	48'	4.19%
SD-2	12"	83'	0.85%
SD-3	12"	117'	0.77%
SD-4	15"	28'	0.60%
SD-5	12"	70'	0.71%
SD-6	12"	72'	0.84%
SD-7	6"	35'	0.85%
SD-8	6"	28'	0.72%
SD-9	6"	91'	0.77%
SD-10	12"	89'	0.78%
SD-11	12"	30'	1.00%
SD-12	12"	164'	5.17%
SD-13	12"	23'	1.33%
SD-14	12"	88'	0.46%
SD-15	12"	23'	0.44%
SD-16	12"	63'	0.96%
SD-17	12"	75'	2.15%
SD-18	12"	19'	1.59%
SD-19	12"	48'	0.62%
SD-20	12"	56'	10.56%
SD-21	12"	31'	6.44%
SD-22	12"	93'	0.97%
SD-23	12"	3'	3.39%
SD-24	12"	100'	1.30%

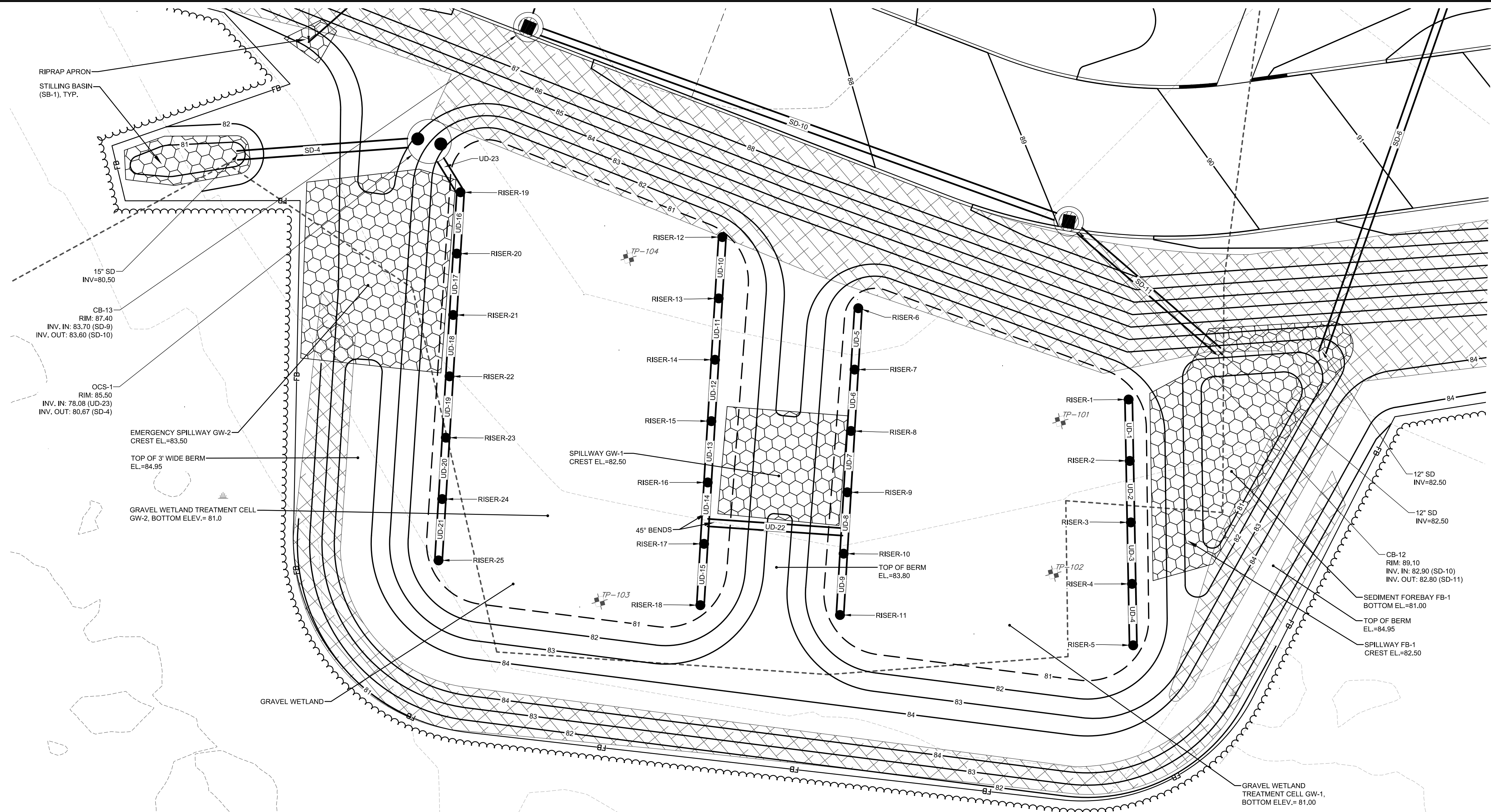


STORM DRAIN STRUCTURE DATA

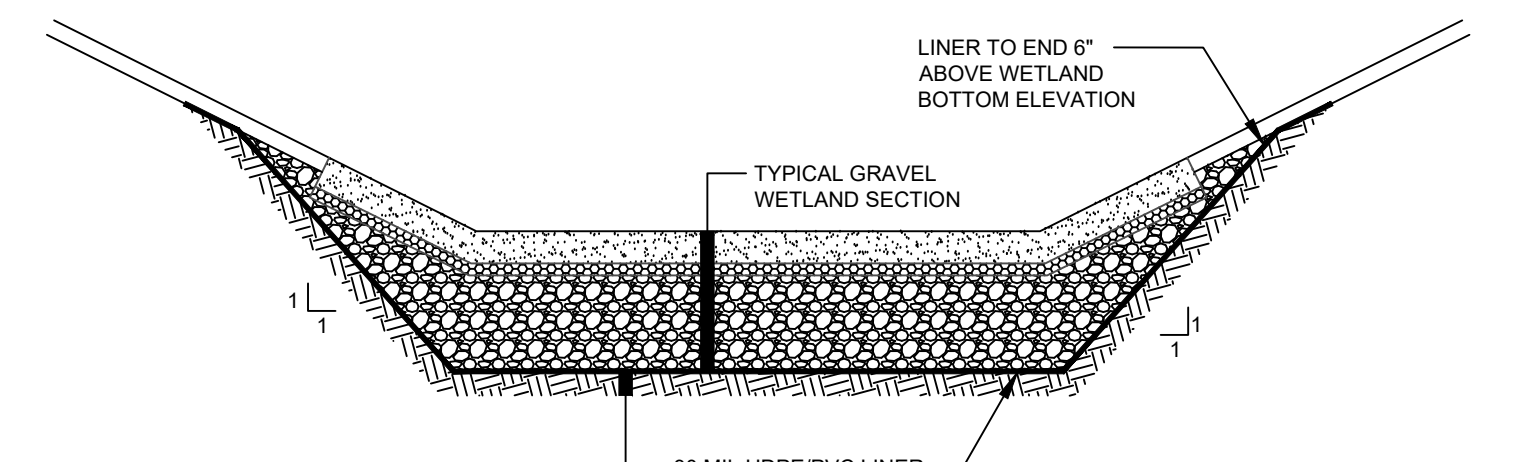
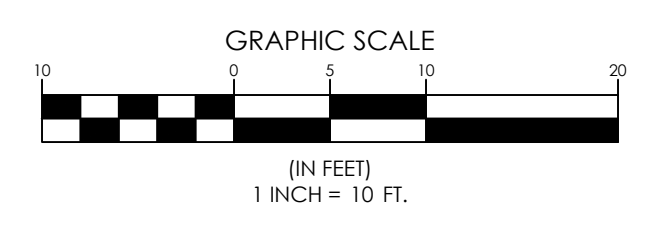
STRUCTURE	RIM	INV. IN	INV. OUT	DIAM.
OCS-1	82.50	78.08 (UD-23)	80.67 (SD-4)	72"
RISER-1	82.50		78.08 (UD-1)	8"
RISER-2	82.50	78.08 (UD-1)	78.08 (UD-2)	8"
RISER-3	82.50	78.08 (UD-2)	78.08 (UD-3)	8"
RISER-4	82.50	78.08 (UD-3)	78.08 (UD-4)	8"
RISER-5	82.50	78.08 (UD-4)		8"
RISER-6	82.50		78.08 (UD-5)	8"
RISER-7	82.50	78.08 (UD-5)	78.08 (UD-6)	8"
RISER-8	82.50	78.08 (UD-6)	78.08 (UD-7)	8"
RISER-9	82.50	78.08 (UD-7)	78.08 (UD-8)	8"
RISER-10	82.50	78.08 (UD-8)	78.08 (UD-9)	8"
RISER-11	82.50	78.08 (UD-9)		8"
RISER-12	82.50		78.08 (UD-10)	8"
RISER-13	82.50	78.08 (UD-10)	78.08 (UD-11)	8"
RISER-14	82.50	78.08 (UD-11)	78.08 (UD-12)	8"
RISER-15	82.50	78.08 (UD-12)	78.08 (UD-13)	8"
RISER-16	82.50	78.08 (UD-13)	78.08 (UD-14)	8"
RISER-17	82.50	78.08 (UD-14)	78.08 (UD-15)	8"
RISER-18	82.50	78.08 (UD-15)		8"
RISER-19	82.50	78.08 (UD-16)	78.08 (UD-23)	8"
RISER-20	82.50	78.08 (UD-17)	78.08 (UD-16)	8"
RISER-21	82.50	78.08 (UD-18)	78.08 (UD-17)	8"
RISER-22	82.50	78.08 (UD-19)	78.08 (UD-18)	8"
RISER-23	82.50	78.08 (UD-20)	78.08 (UD-19)	8"
RISER-24	82.50	78.08 (UD-21)	78.08 (UD-20)	8"
RISER-25	82.50		78.08 (UD-21)	8"

STORM DRAIN PIPE DATA

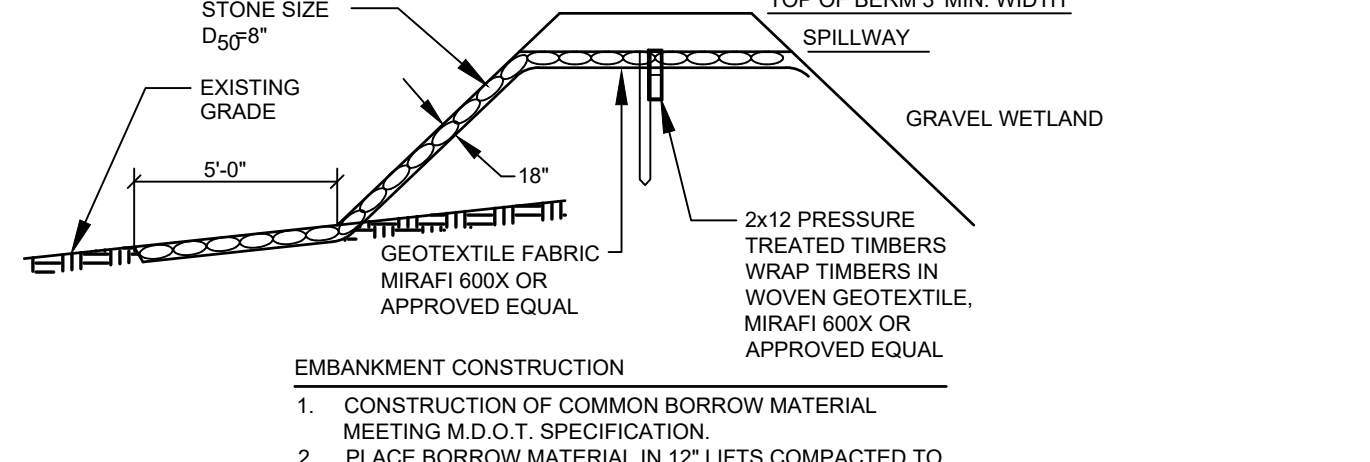
NAME	SIZE	LENGTH	SLOPE
SD-4	15"	28'	0.60%
UD-1	12"	9'	0.00%
UD-2	12"	9'	0.00%
UD-3	12"	9'	0.00%
UD-4	12"	9'	0.00%
UD-5	12"	9'	0.00%
UD-6	12"	9'	0.00%
UD-7	12"	9'	0.00%
UD-8	12"	9'	0.00%
UD-9	12"	9'	0.00%
UD-10	12"	9'	0.00%
UD-11	12"	9'	0.00%
UD-12	12"	9'	0.00%
UD-13	12"	9'	0.00%
UD-14	12"	9'	0.00%
UD-15	12"	9'	0.00%
UD-16	12"	9'	0.00%
UD-17	12"	9'	0.00%
UD-18	12"	9'	0.00%
UD-19	12"	9'	0.00%
UD-20	12"	9'	0.00%
UD-21	12"	9'	0.00%
UD-22	12"	22'	0.00%
UD-23	12"	9'	0.00%



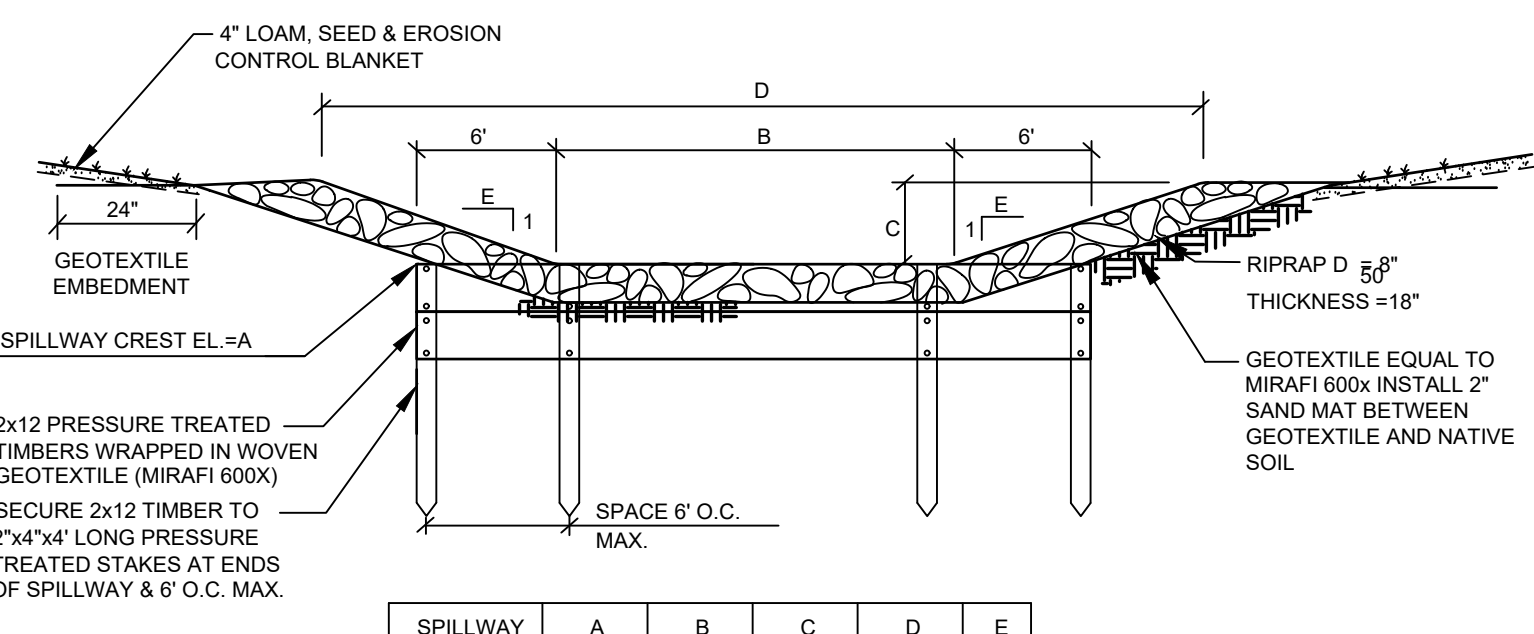
GRAVEL WETLAND DETAIL
SCALE: 1" = 10'



HDPE/PVC LINER DETAIL
NOT TO SCALE

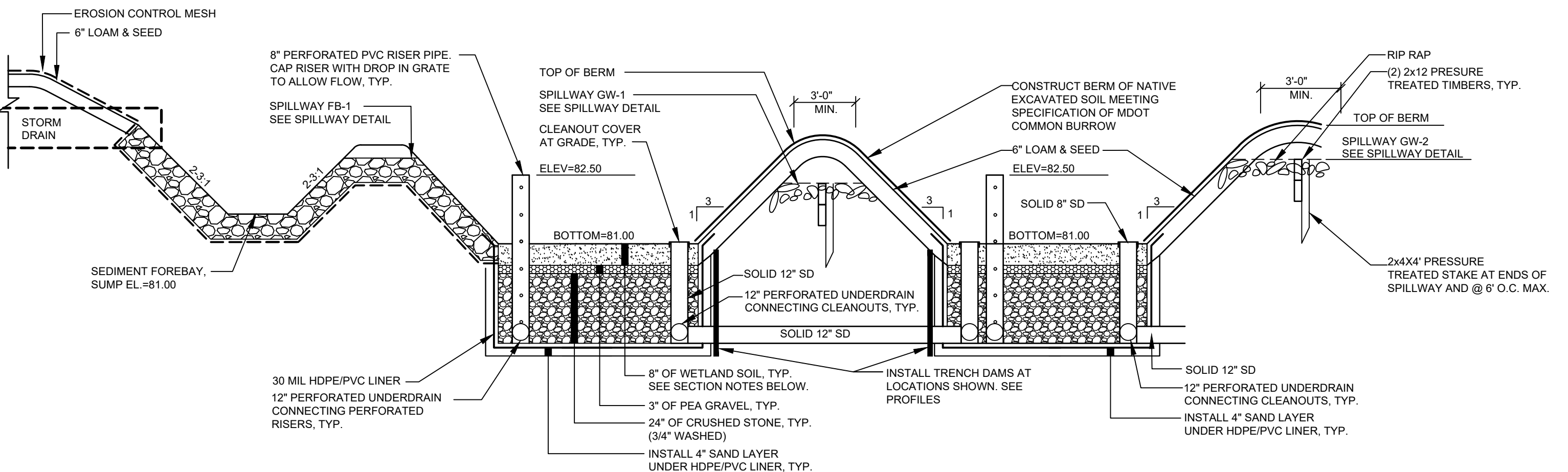


SPILLWAY SECTION
NOT TO SCALE

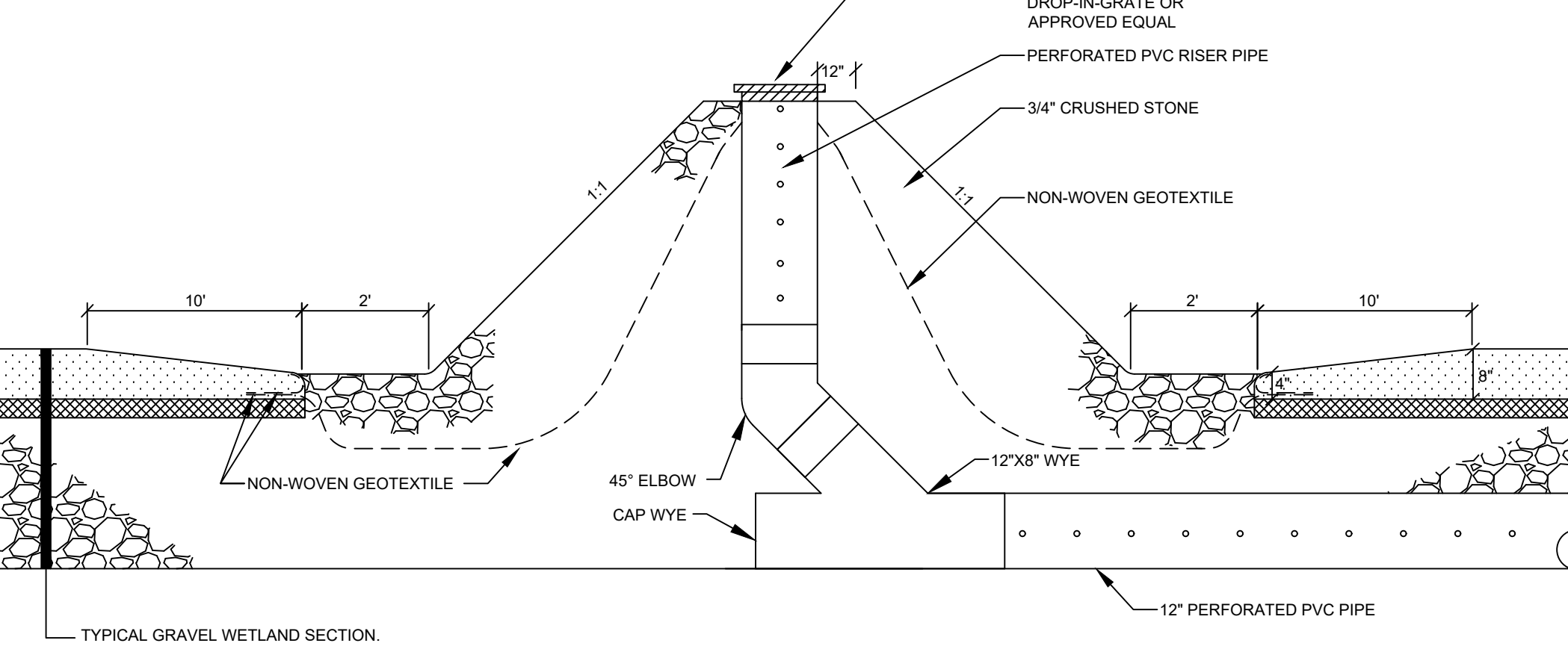


SPILLWAY	A	B	C	D	E
FB-1	82.5	10.0	1.0	18.0	3
GW-1	82.5	12.0	1.3	18.0	3
GW-2	83.5	28.0	1.45	34.0	3

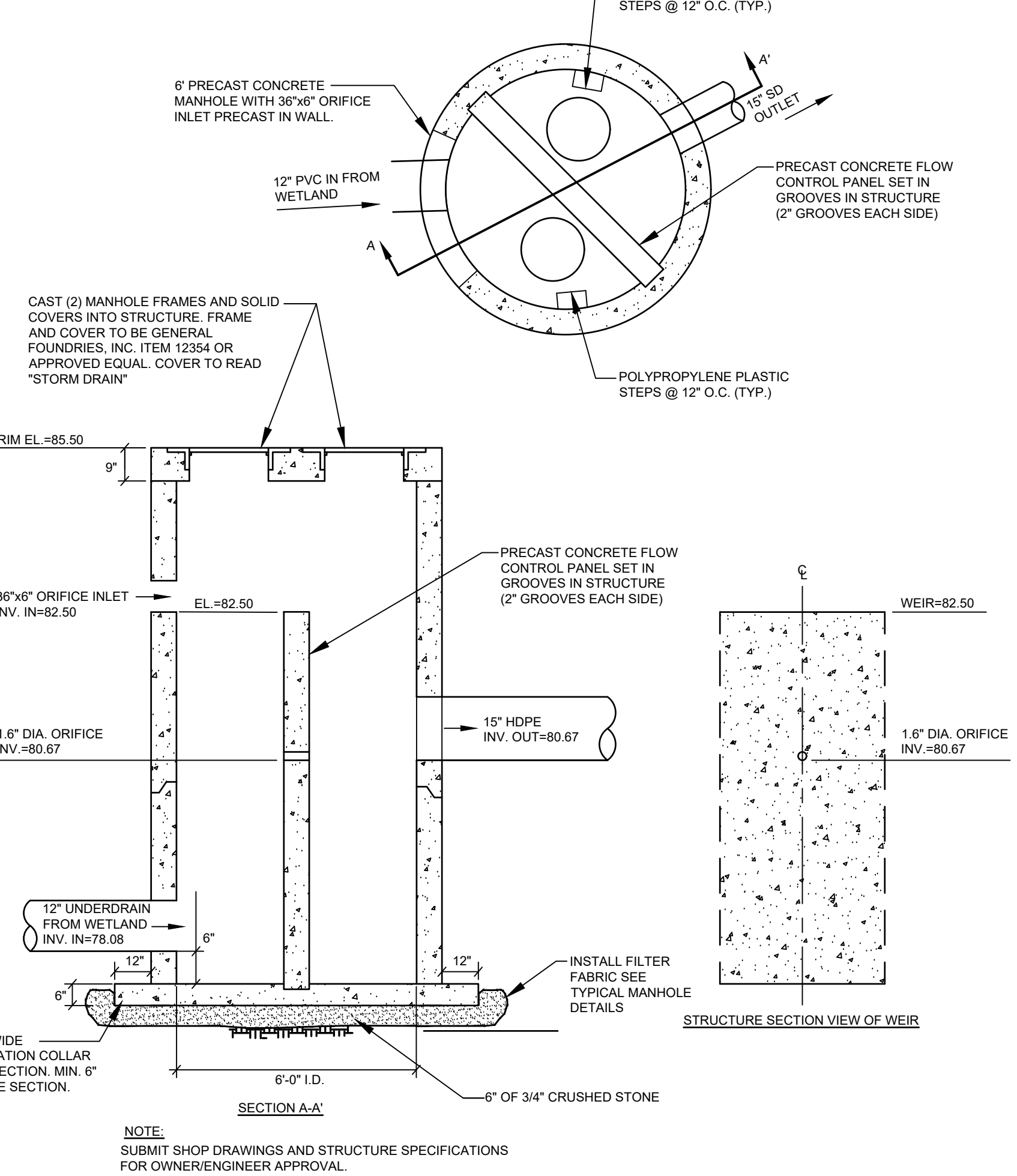
SPILLWAY CROSS-SECTION
NOT TO SCALE



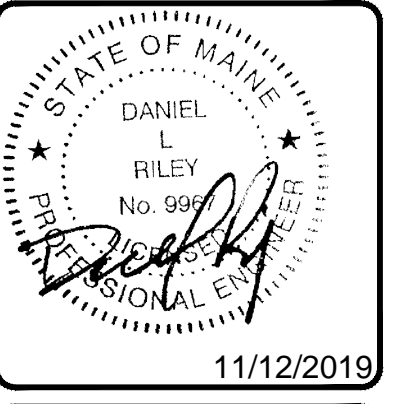
SUBSURFACE GRAVEL WETLAND SECTION
NOT TO SCALE



RISER PIPE DETAIL
NOT TO SCALE



OUTLET CONTROL STRUCTURE (OCS-1)
NOT TO SCALE



NOT FOR CONSTRUCTION

NO.	DATE	DESCRIPTION
1	11/12/19	ISSUED FOR PERMIT
2		
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DESIGNED BY: DMD
 DRAWN BY: SRC
 CHECKED BY: DLR
 DATE: 11/12/19
 SCALE: AS SHOWN
 PROJECT: 18347

STORM DRAIN STRUCTURE DATA				
STRUCTURE	RIM	INV. IN	INV. OUT.	DIAM.
CB-15	93.10	88.30 (SD-14)	88.30 (SD-15)	48"
OCS-2	91.00	85.30 (UD-24)	85.20 (SD-13)	60"

STORM DRAIN PIPE DATA			
NAME	SIZE	LENGTH	SLOPE
SD-13	12"	23'	1.33%
SD-15	12"	23'	0.44%
UD-24	6"	7'	0.00%

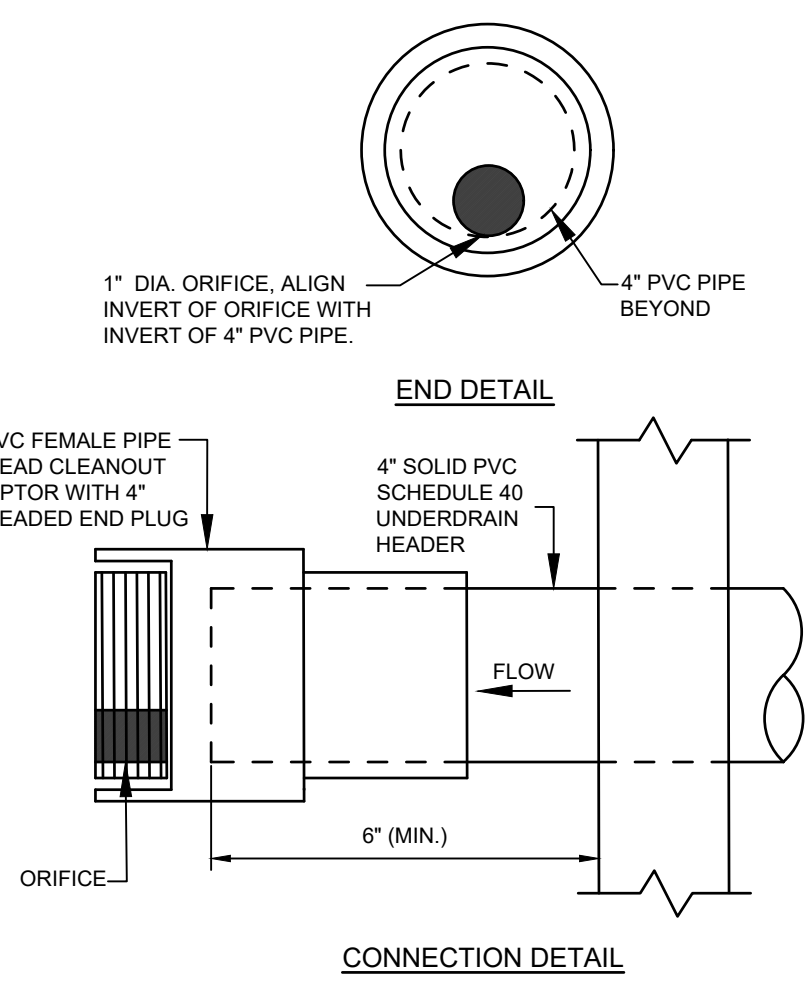
UNDERDRAINED SOIL FILTER CONSTRUCTION OVERSIGHT NOTES:
 THE APPLICANT WILL RETAIN THE SERVICES OF A PROFESSIONAL ENGINEER TO INSPECT THE CONSTRUCTION AND STABILIZATION OF THE UNDERDRAIN. IF NECESSARY, THE INSPECTING ENGINEER WILL INTERPRET THE UNDERDRAIN'S CONSTRUCTION PLAN FOR THE CONTRACTOR. ONCE ALL STORMWATER MANAGEMENT STRUCTURES ARE CONSTRUCTED AND STABILIZED, THE INSPECTING ENGINEER WILL NOTIFY THE DEPARTMENT IN WRITING WITHIN 10 DAYS TO STATE THAT THE POND HAS BEEN COMPLETED. ACCOMPANYING THE ENGINEER'S NOTIFICATION MUST BE A LOG OF THE ENGINEER'S INSPECTIONS GIVING THE DATE OF EACH INSPECTION, THE TIME OF EACH INSPECTION, AND THE ITEMS INSPECTED ON EACH VISIT, AND INCLUDE ANY TESTING DATA OR SIEVE ANALYSIS DATA OF EVERY MINERAL SOIL AND SOIL MEDIA SPECIFIED IN THE PLANS AND USED ON SITE.

- CONSTRUCTION SEQUENCE:** THE UNDERDRAIN AND VEGETATION MUST NOT BE INSTALLED UNTIL THE AREA THAT DRAINS TO THE UNDERDRAIN HAS BEEN PERMANENTLY STABILIZED WITH PAVEMENT OR OTHER STRUCTURE, 90% VEGETATION COVER, OR OTHER PERMANENT STABILIZATION UNLESS THE RUNOFF FROM THE CONTRIBUTING DRAINAGE AREA IS DIVERTED AROUND THE FILTER UNTIL STABILIZATION IS COMPLETED.
- COMPACTION OF UNDERDRAIN:** UNDERDRAIN BEDDING MATERIAL MUST BE COMPACTED TO BETWEEN 90% AND 92% STANDARD PROCTOR. THE BED SHOULD BE INSTALLED IN AT LEAST 2 LIFTS OF 9 INCHES TO PREVENT POCKETS OF LOOSE MEDIA.
- CONSTRUCTION OVERSIGHT:** INSPECTION BY A PROFESSIONAL ENGINEER WILL OCCUR AT A MINIMUM:
 - FOR FIRST UNDERDRAIN CONSTRUCTED, AFTER UNDERDRAIN PIPE IS INSTALLED AT GRADE AND BUT NOT BACKFILLED, AFTER THE UNDERDRAIN PIPE IS COMPLETELY BACKFILLED AND BEFORE PLACEMENT OF LOAMY COARSE SAND LAYER.
 - AFTER THE LOAMY COARSE SAND LAYER AND SODI LOAM HAS BEEN INSTALLED.
 - AFTER ONE YEAR TO INSPECT HEALTH OF THE VEGETATION AND MAKE CORRECTIONS.
- ALL MATERIAL USED FOR THE CONSTRUCTION OF THE UNDERDRAIN MUST BE CONFIRMED AS SUITABLE BY THE DESIGN ENGINEER. TESTING MUST BE DONE BY A CERTIFIED LABORATORY.

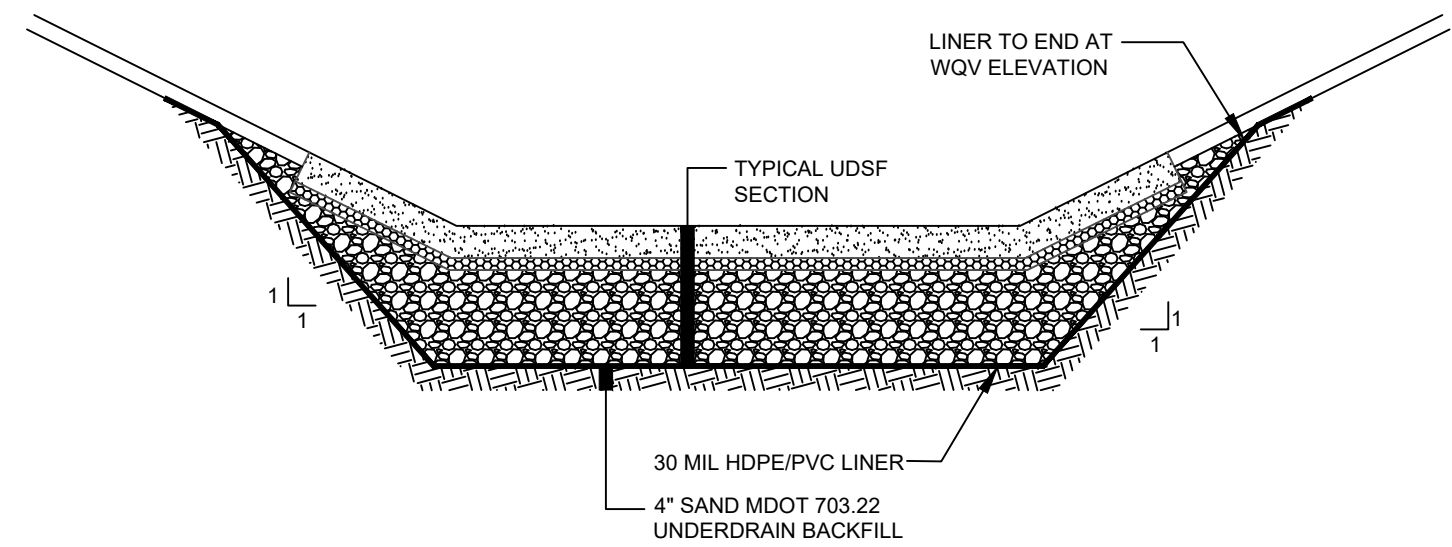
TESTING AND SUBMITTALS
 THE UNDERDRAIN SHALL CONSIST OF THE TOP THREE LAYERS IDENTIFIED AS LOAMY TOPSOIL, 2" TRANSITION AND 12" LOAMY COARSE SAND. THE CONTRACTOR SHALL IDENTIFY THE LOCATION OF THE SOURCE FOR EACH COMPONENT OF THE UNDERDRAIN AND SUBMIT GRADATIONS FOR THE UNDERDRAIN MATERIALS TO THE ENGINEER FOR APPROVAL. SAMPLES MUST BE A COMPOSITE OF THREE DIFFERENT LOCATIONS (GRABS) FROM THE STOCKPILE OR PIT FACE. SAMPLE SIZE REQUIRED WILL BE DETERMINED BY THE TESTING LABORATORY.

UNDERDRAIN SOIL FILTER MATERIAL NOTES:

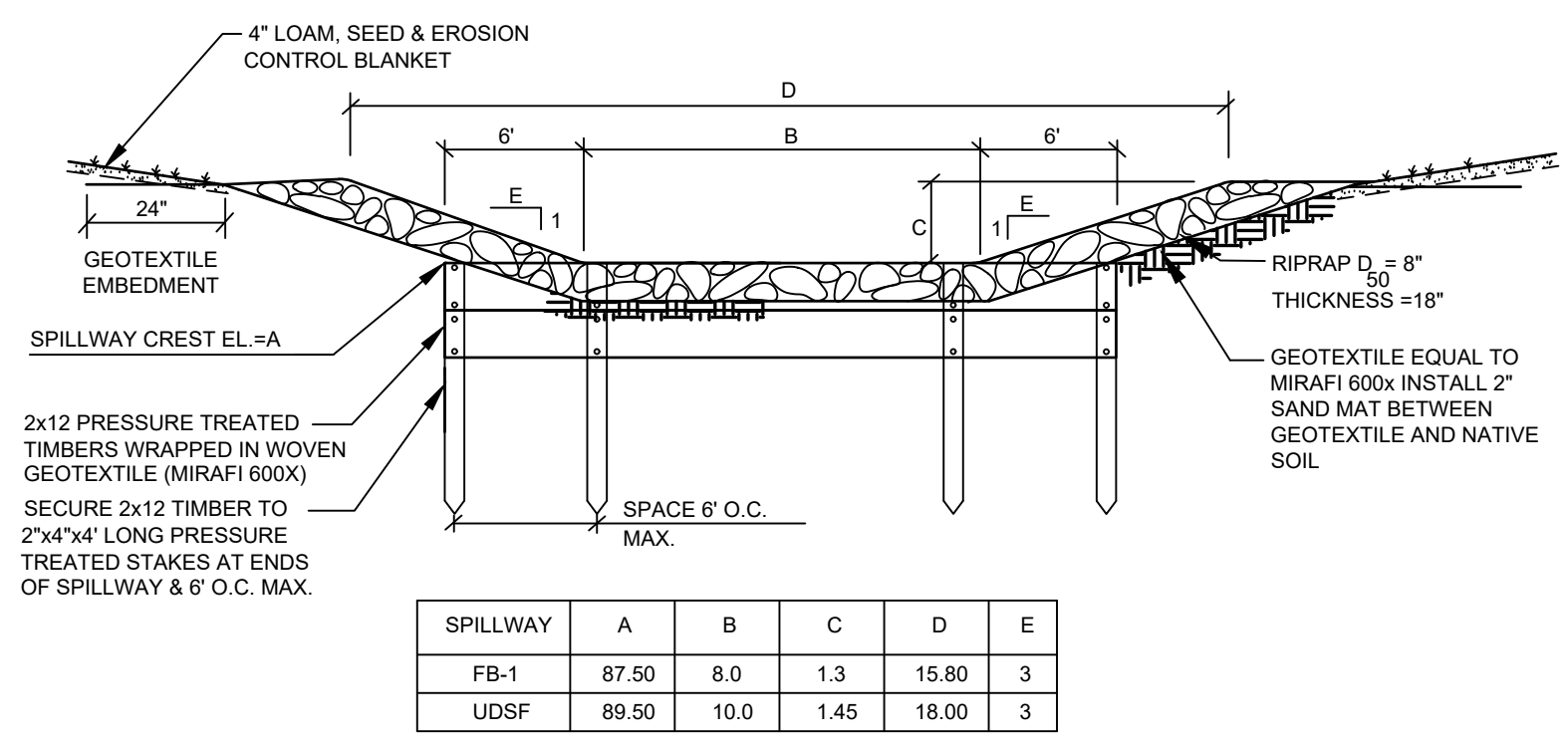
- ON-SITE LOAM SHALL BE SCREENED FOR STONES LARGER THAN 1 INCH AND BE TESTED TO VERIFY THERE IS LESS THAN 2% CLAY CONTENT AND 5% ORGANIC MATTER. IF ON-SITE LOAM DOES NOT MEET REQUIREMENTS, THEN LOAM FROM OFFSITE SHALL BE A NON-CLAYEY, LOAMY TOPSOIL, SUCH AS A USDA SANDY LOAM TOPSOIL WITH 5% HUMIFIED ORGANIC MATTER.
- THE TOPSOIL SHALL BE GENTLY MIXED WITHIN THE FILTER LAYER TO PROVIDE CONTINUITY FOR DEEP ROOT PENETRATION. THE TEETH OF A BACKHOE, A HAND RAKE, A SHOVEL, OR ROTOTILLING 2-3 INCHES MAY BE USED TO CREATE A LOOSENED TRANSITION.
- THE LOAMY COARSE SAND LAYER SHALL BE TESTED IN ACCORDANCE WITH THE TESTING AND SUBMITTALS NOTES ABOVE.
- A LAYER OF HAY SHALL BE PLACED BETWEEN 12" LOAMY COARSE SAND AND UNDERDRAIN STONE BEDDING TO PREVENT SUBSIDENCE OR PLUGGING OF THE SAND/GRAVEL/STONE LAYER AND/OR PIPE.
- UNDERDRAIN STONE BEDDING MATERIAL MUST CONFORM TO THE MDOT SPECIFICATION 703.22 UNDERDRAIN TYPE B FOR UNDERDRAIN BACKFILL MATERIAL. THE BEDDING MATERIAL MUST HAVE NO MORE THAN 5% PASSING THE 200 SIEVE.
- MATERIAL LAYERS ABOVE THE UNDERDRAIN BACKFILL LAYER SHALL BE A UNIFORM MIX, FREE OF STONES, STUMPS, ROOTS OR OTHER SIMILAR OBJECTS LARGER THAN TWO INCHES. NO OTHER MATERIALS OR SUBSTANCES THAT MAY BE HARMFUL TO PLANT GROWTH, OR PROVIDE A HINDERANCE TO THE PLANTING OR MAINTENANCE OPERATIONS CAN BE MIXED WITHIN THE FILTER. DURING CONSTRUCTION, CARE SHOULD BE TAKEN TO AVOID COMPACTION OF BOTH THE GRAVEL AND SOIL FILTER.
- COVER COMPACTION OF UNDERDRAIN MATERIAL SHALL BE AVOIDED. VEHICLES AND HEAVY EQUIPMENT ARE PROHIBITED FROM DRIVING ON THE UNDERDRAINED SOIL FILTER SURFACE. IF COVER COMPACTION OCCURS, ROTOTILL AGAIN PRIOR TO SEEDING OR SODDING.
- SNOW STORAGE IS PROHIBITED OVER THE UNDERDRAINED SOIL FILTER.



FLANGE ADAPTOR ORIFICE DETAIL

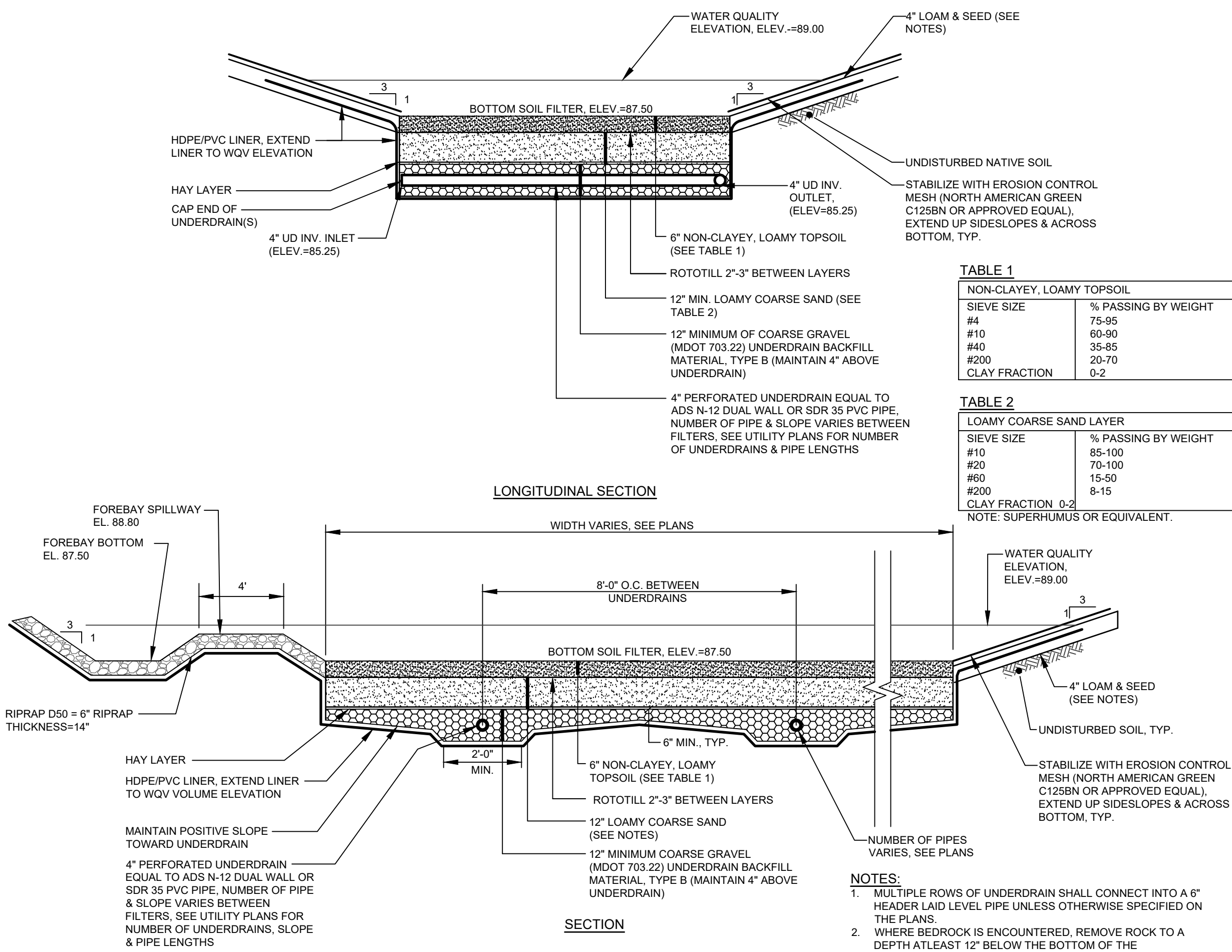


HDPE/PVC LINER DETAIL
NOT TO SCALE

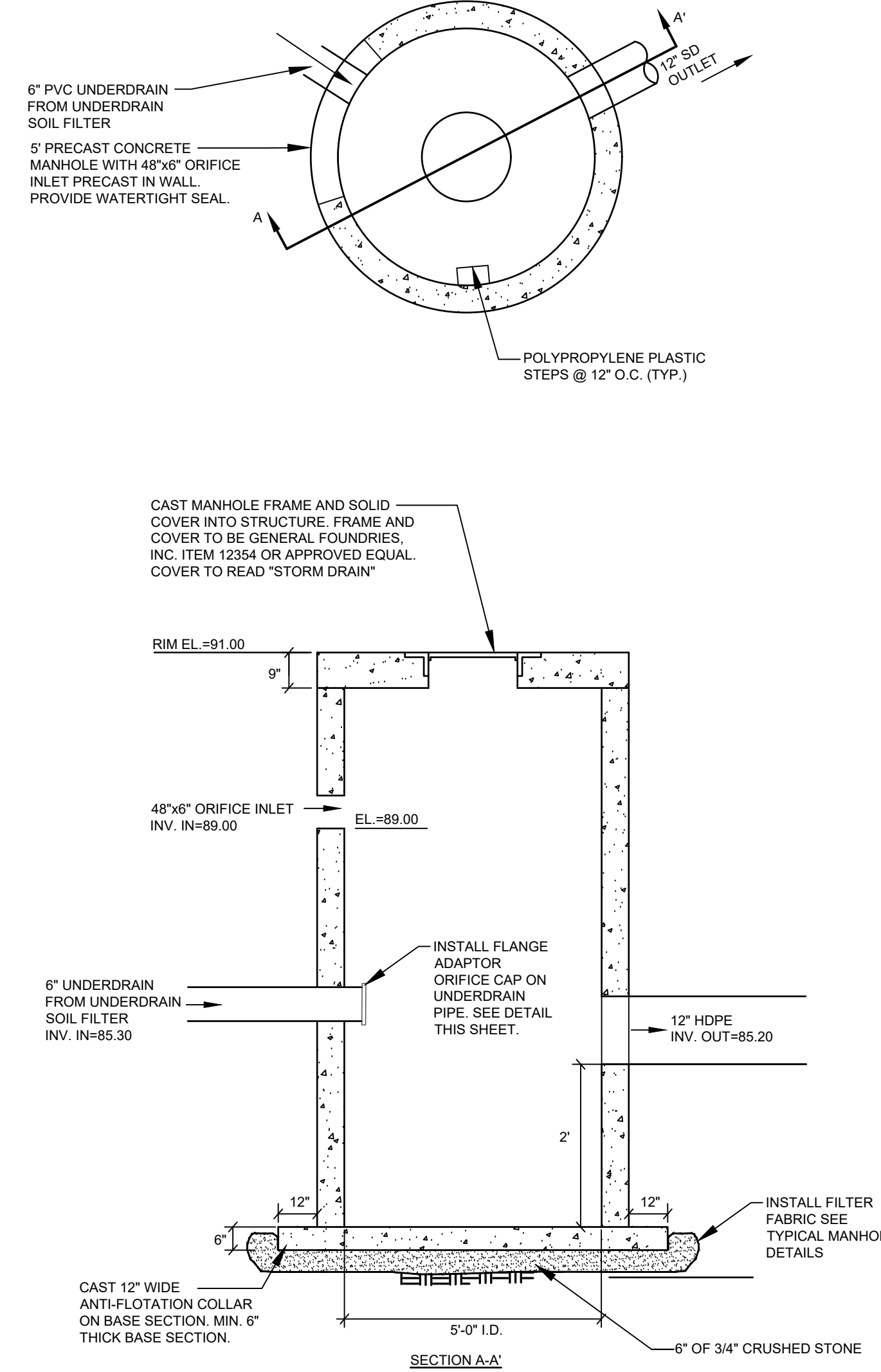


SPILLWAY CROSS-SECTION
NOT TO SCALE

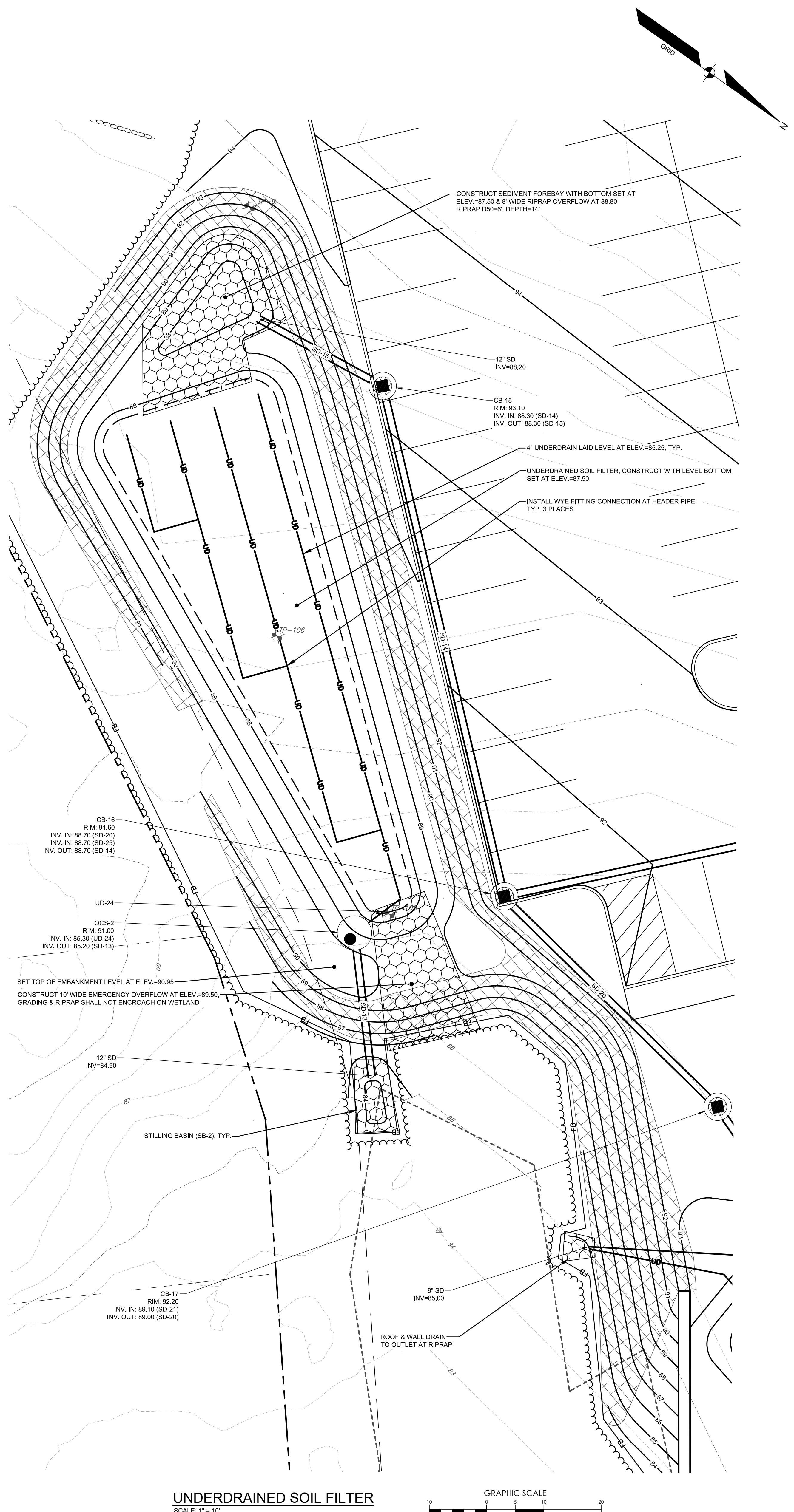
SPILLWAY	A	B	C	D	E
FB-1	87.50	8.0	1.3	15.80	3
UDSF	89.50	10.0	1.45	18.00	3



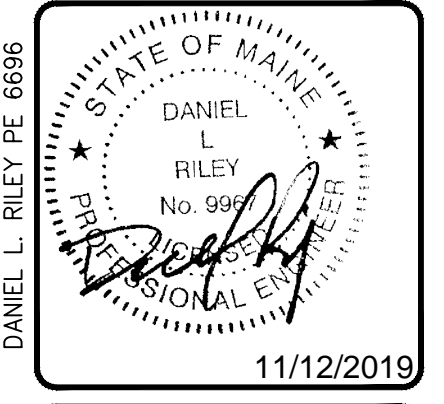
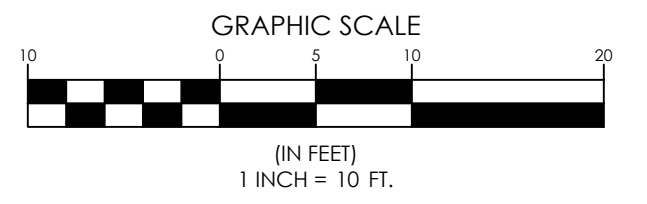
UNDERDRAINED SOIL FILTER DETAIL
NOT TO SCALE



UNDERDRAINED SOIL FILTER OUTLET STRUCTURE (OCS-2)
NOT TO SCALE



UNDERDRAINED SOIL FILTER
SCALE: 1" = 10'



NOT FOR CONSTRUCTION

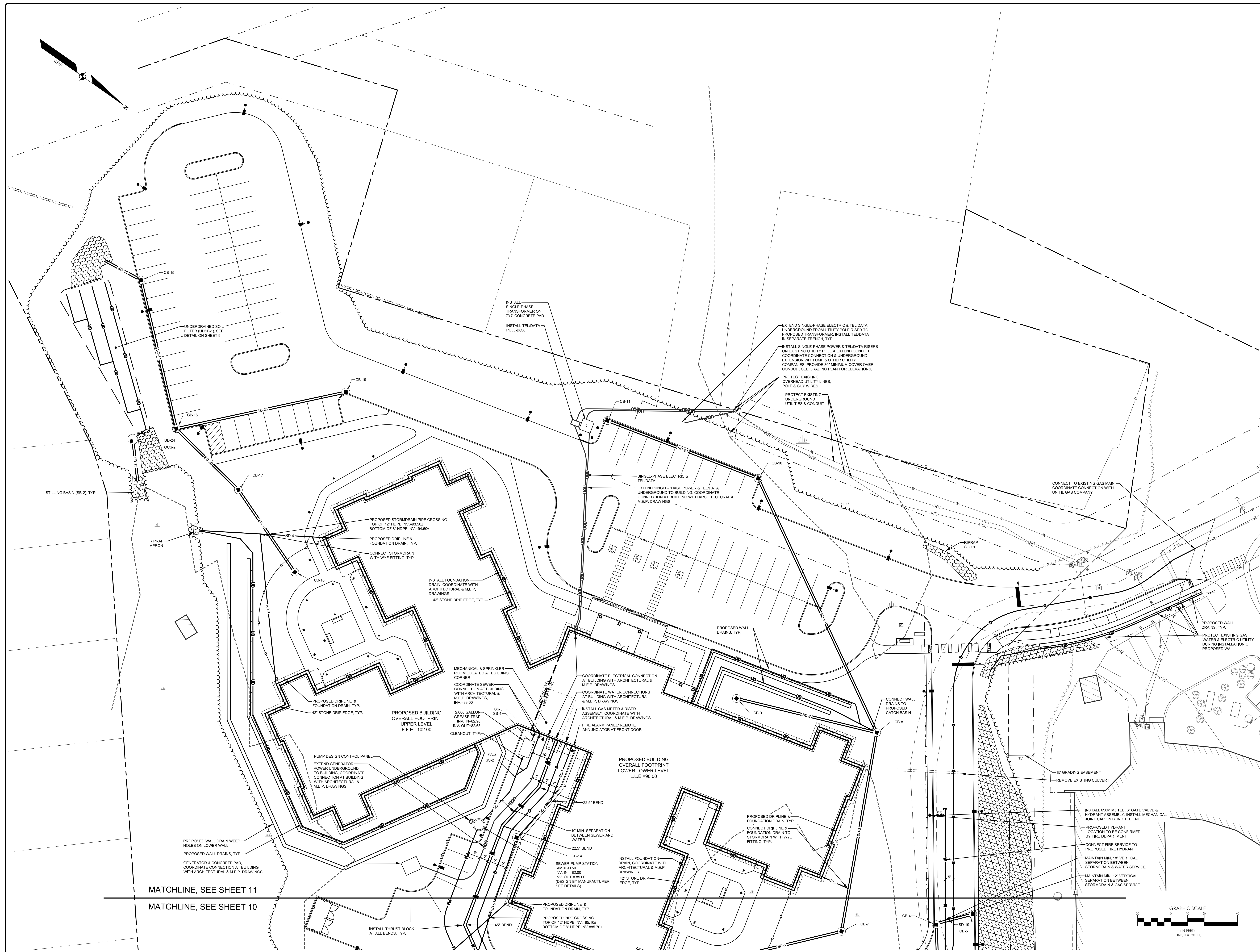
NO.	DATE	BY	DESCRIPTION
1	11/12/19	DR	ISSUED FOR PERMITS

A: DMD 11-12-19 SUBMIT TO CITY OF PORTLAND
 REV: DATE: STATUS:
 THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICALS, INC. ANY ALTERATIONS, ADDITIONS OR DELETIONS SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICALS, INC.

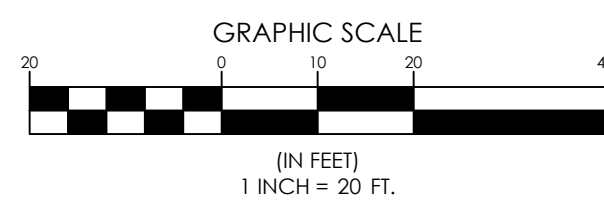


UNDERDRAINED SOIL FILTER DETAIL
 OF: FALLBROOK COMMONS
 RAY STREET
 PORTLAND, MAINE
 FOR: FALLBROOK COMMONS DEVELOPMENT LLC.
 227 COMMERCIAL STREET, SUITE 201
 PORTLAND, MAINE 04112

DESIGNED	DMD
DRAWN	SRG
CHECKED	DLR
DATE	11/12/19
SCALE	AS SHOWN
PROJECT	18347



MATCHLINE, SEE SHEET 11
 MATCHLINE, SEE SHEET 10



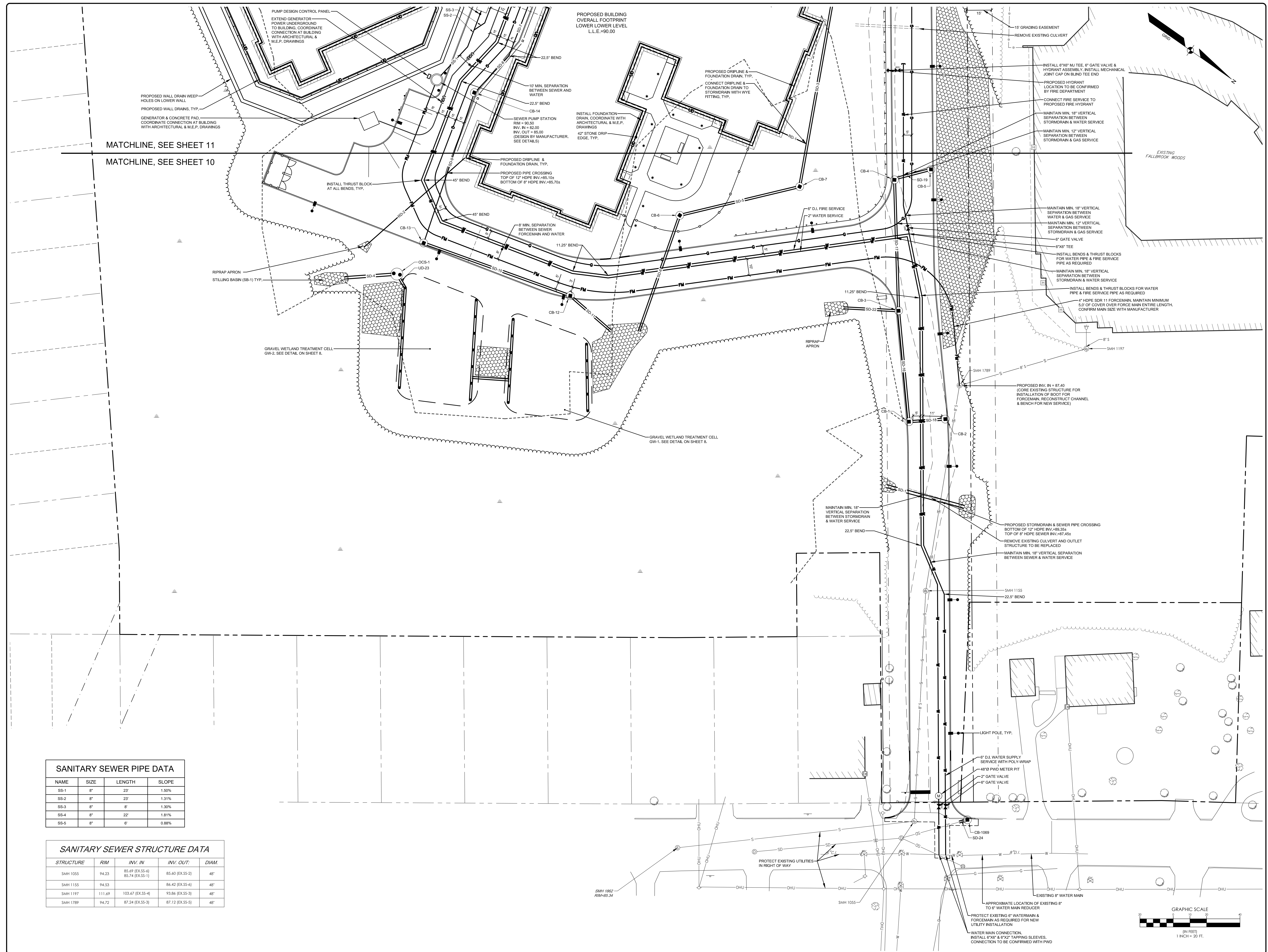
DANIEL L. RILEY P.E. 6896
 11/12/2019
 DANIEL M. DANKERS R.L.A. 4815
 11/12/2019

NOT FOR CONSTRUCTION

DESIGNED	DMD
DRAWN	SRC
CHECKED	DLR
DATE	11/12/19
SCALE	1" = 20'
PROJECT	18347

SEBAGO
 ENGINEERS
 WWW.SEAGOTECHNICS.COM
 75 JOHNSON STREET, SUITE 101
 SOUTH PORTLAND, ME 04106
 TEL: 207-208-2100

UTILITY PLAN 1
 OF:
 FALLBROOK COMMONS
 RAY STREET
 PORTLAND, MAINE
 FOR:
 FALLBROOK COMMONS DEVELOPMENT LLC.
 227 COMMERCIAL STREET, SUITE 201
 PORTLAND, MAINE 04112



DANIEL M. DANVERS R.L.A. 4815
 DANIEL M. DANVERS
 LICENSED LANDSCAPE ARCHITECT
 STATE OF MAINE
 11/12/2019

NOT FOR CONSTRUCTION

DATE:	11-12-19	SUBMIT TO:	CITY OF PORTLAND
BY:	DMD	STATUS:	

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SEBAGO
 TECHNICS
 WWW.SEBAGOTECHNICS.COM
 75 John Bates Rd.
 South Portland, ME 04106
 Tel: 207-266-2100

UTILITY PLAN 2
 OF:
 FALLBROOK COMMONS
 RAY STREET
 PORTLAND, MAINE
 FOR:
 FALLBROOK COMMONS DEVELOPMENT LLC.
 227 COMMERCIAL STREET, SUITE 201
 PORTLAND, MAINE 04101

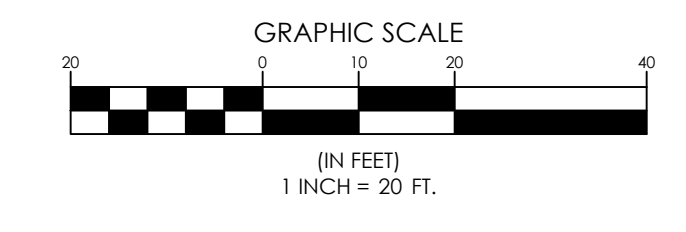
DESIGNED	DMD
DRAWN	SRG
CHECKED	DLR
DATE	11/12/19
SCALE	1" = 20'
PROJECT	18347

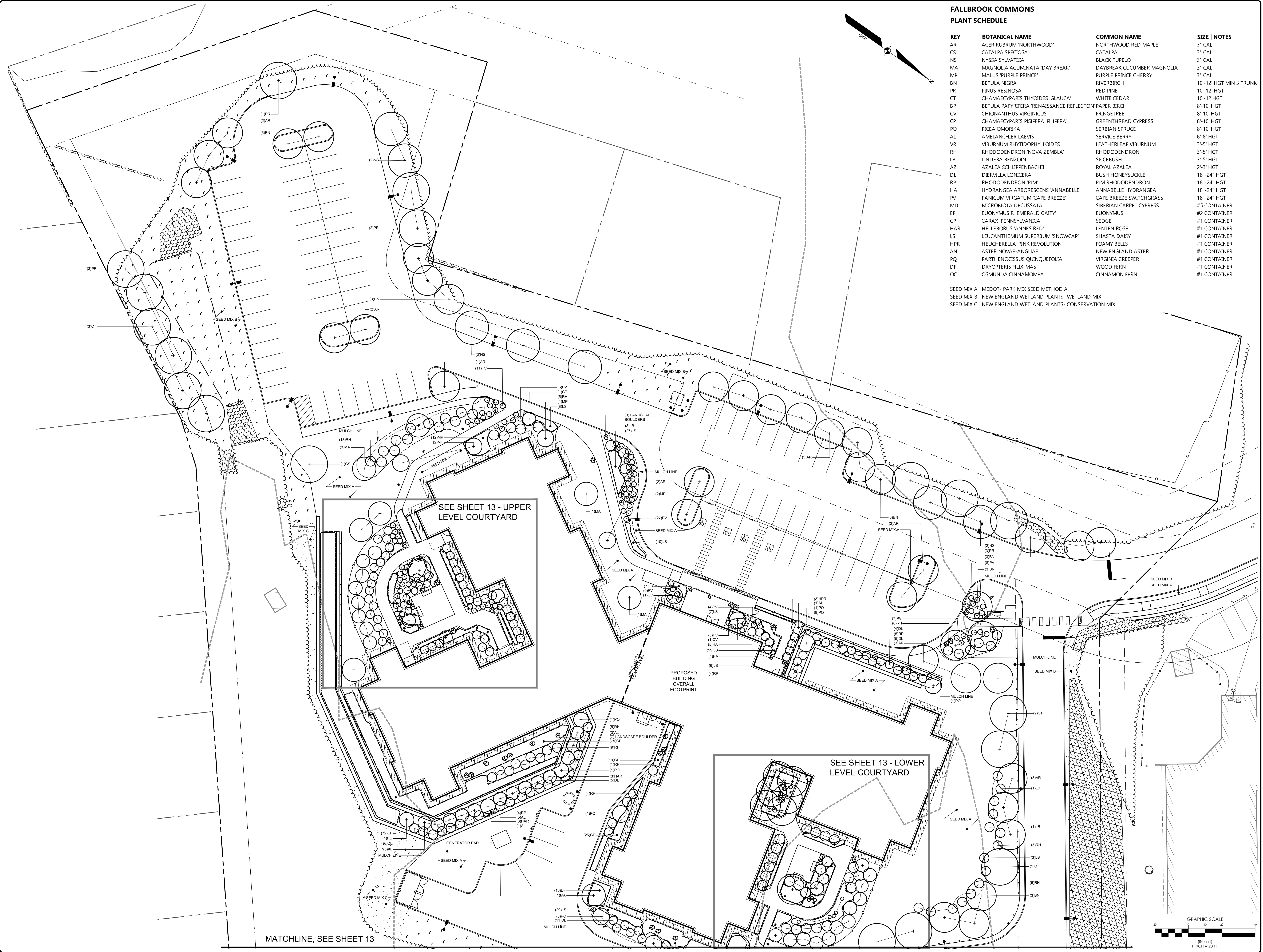
SANITARY SEWER PIPE DATA

NAME	SIZE	LENGTH	SLOPE
SS-1	8"	23'	1.90%
SS-2	8"	23'	1.31%
SS-3	8"	8'	1.30%
SS-4	8"	22'	1.81%
SS-5	8"	6'	0.88%

SANITARY SEWER STRUCTURE DATA

STRUCTURE	RIM	INV. IN	INV. OUT	DIAM.
SMH 1055	94.23	85.69 (EX.SS-4) 85.74 (EX.SS-1)	85.60 (EX.SS-2)	48"
SMH 1155	94.53	86.42 (EX.SS-4)		48"
SMH 1197	111.69	103.67 (EX.SS-4)	93.86 (EX.SS-3)	48"
SMH 1789	94.72	87.24 (EX.SS-3)	87.12 (EX.SS-5)	48"

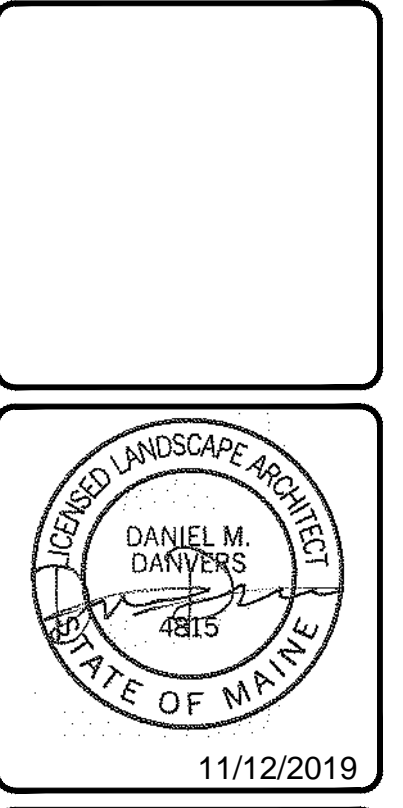




**FALLBROOK COMMONS
PLANT SCHEDULE**

KEY	BOTANICAL NAME	COMMON NAME	SIZE NOTES
AR	ACER RUBRUM 'NORTHWOOD'	NORTHWOOD RED MAPLE	3" CAL
CS	CATALPA SPECIOSA	CATALPA	3" CAL
NS	NYSSA SYLVATICA	BLACK TUPELO	3" CAL
MA	MAGNOLIA ACUMINATA 'DAY BREAK'	DAYBREAK CUCUMBER MAGNOLIA	3" CAL
MP	MALUS 'PURPLE PRINCE'	PURPLE PRINCE CHERRY	3" CAL
BN	BETULA NIGRA	RIVERBIRCH	10'-12" HGT MIN 3 TRUNK
PR	PINUS RESINOSA	RED PINE	10'-12" HGT
CT	CHAMAECYPARIS THYOIDES 'GLAUCA'	WHITE CEDAR	10'-12" HGT
BP	BETULA PAPPYRIFERA 'RENAISSANCE REFLECTON'	PAPER BIRCH	8'-10" HGT
CV	CHIONANTHUS VIRGINICUS	FRINGETREE	8'-10" HGT
CP	CHAMAECYPARIS PISIFERA 'FILIFERA'	GREENTHREAD CYPRESS	8'-10" HGT
PO	PICEA OMORIKA	SERBIAN SPRUCE	8'-10" HGT
AL	AMELANCHIER LAEVIS	SERVICE BERRY	6'-8" HGT
VR	VIBURNUM RHYTIDOPHYLLOIDES	LEATHERLEAF VIBURNUM	3'-5" HGT
RH	RHODODENDRON 'NOVA ZEMBLA'	RHODODENDRON	3'-5" HGT
LB	LINDERA BENZOIN	SPICEBUSH	2'-3" HGT
AZ	AZALEA SCHLIPPENBACHII	ROYAL AZALEA	2'-3" HGT
DL	DIERVILLA LONICERA	BUSH HONEYSUCKLE	18"-24" HGT
RP	RHODODENDRON 'PJM'	PJM RHODODENDRON	18"-24" HGT
HA	HYDRANGEA ARBORESCENS 'ANNABELLE'	ANNABELLE HYDRANGEA	18"-24" HGT
PV	PANICUM VIRGATUM 'CAPE BREEZE'	CAPE BREEZE SWITCHGRASS	18"-24" HGT
MD	MICROBIOTA DECUSSATA	SIBERIAN CARPET CYPRESS	#5 CONTAINER
EF	EUONYMUS F. 'EMERALD GAITY'	EUONYMUS	#2 CONTAINER
CP	CARAX 'PENNSYLVANICA'	SEDGE	#1 CONTAINER
HAR	HELLEBORUS 'ANNES RED'	LENTEEN ROSE	#1 CONTAINER
LS	LEUCANTHEMUM SUPERBUM 'SNOWCAP'	SHASTA DAISY	#1 CONTAINER
HPR	HEUCHERELLA 'PINK REVOLUTION'	FOAMY BELLS	#1 CONTAINER
AN	ASTER NOVAE-ANGLIAE	NEW ENGLAND ASTER	#1 CONTAINER
PQ	PARTHENOCISSUS QUINQUEFOLIA	VIRGINIA CREEPER	#1 CONTAINER
DF	DRYOPTERIS FILIX-MAS	WOOD FERN	#1 CONTAINER
OC	OSMUNDA CINNAMOMEA	CINNAMON FERN	#1 CONTAINER

SEED MIX A MEDOT- PARK MIX SEED METHOD A
 SEED MIX B NEW ENGLAND WETLAND PLANTS- WETLAND MIX
 SEED MIX C NEW ENGLAND WETLAND PLANTS- CONSERVATION MIX



NOT FOR CONSTRUCTION

DATE	11/12/19
BY	DMD
CHECKED	DLR
DATE	11/12/19
SCALE	1" = 20'
PROJECT	18347

SEBAGO
 L - B - C - H - N - I - C - S
 WWW.SEAGOTECHNICS.COM
 75 JOHNSON AVENUE, SUITE 404
 SOUTH PORTLAND, ME 04106
 TEL: 207-266-2100

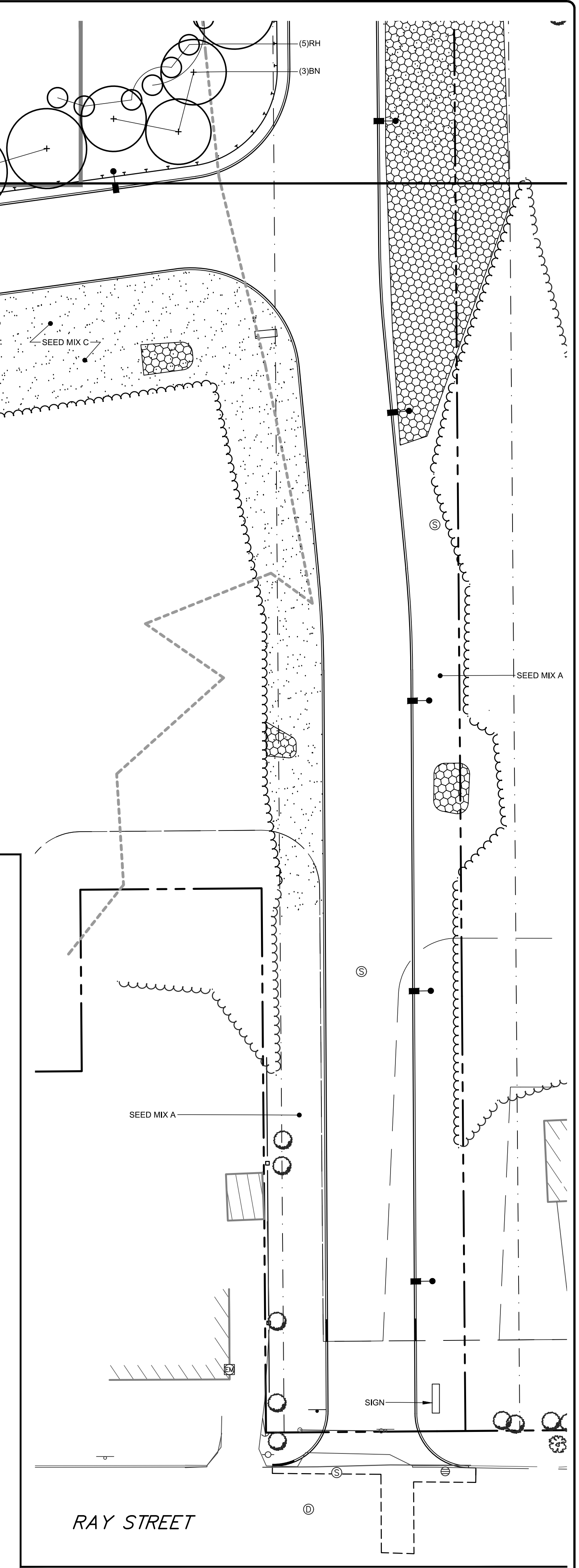
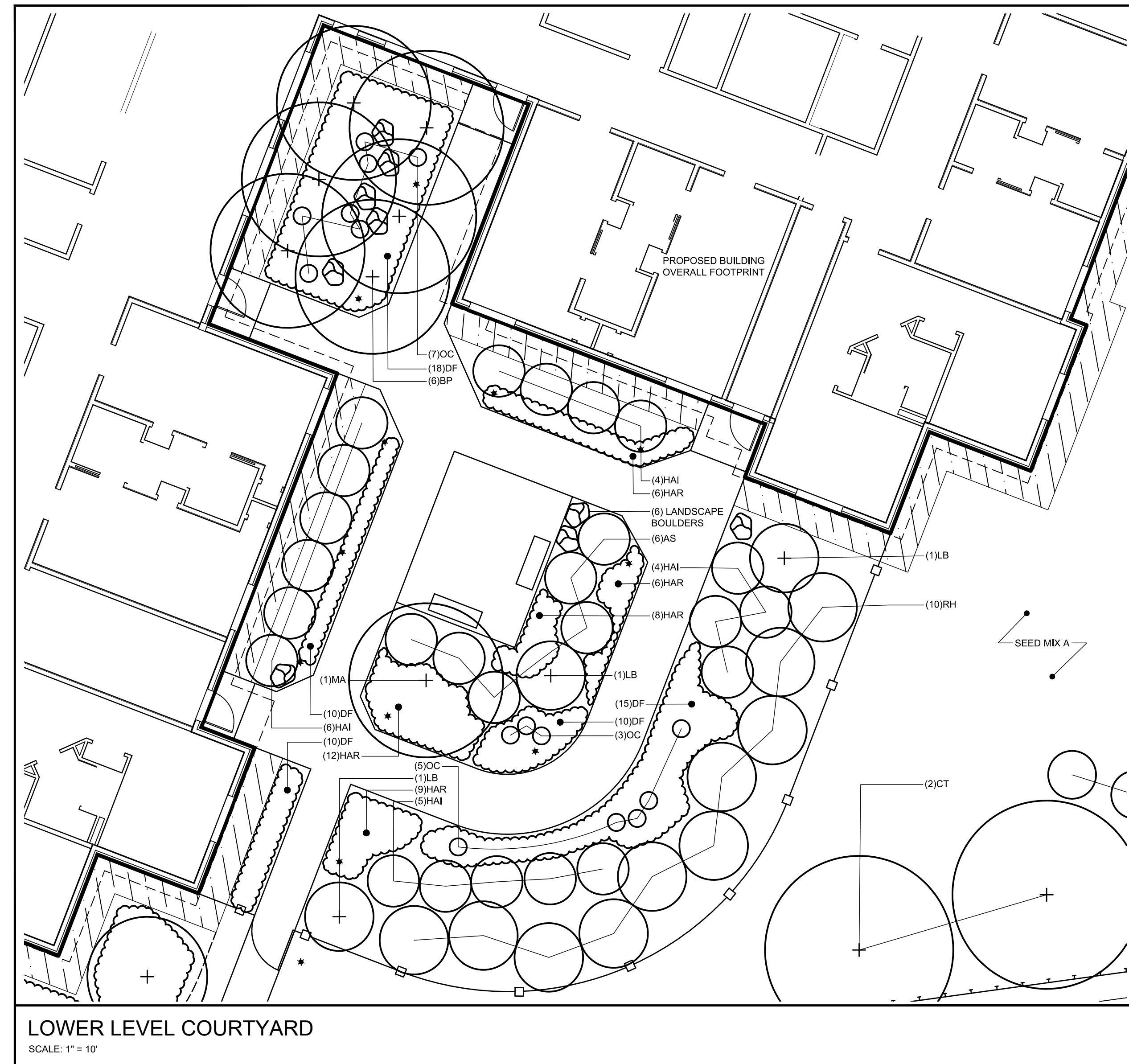
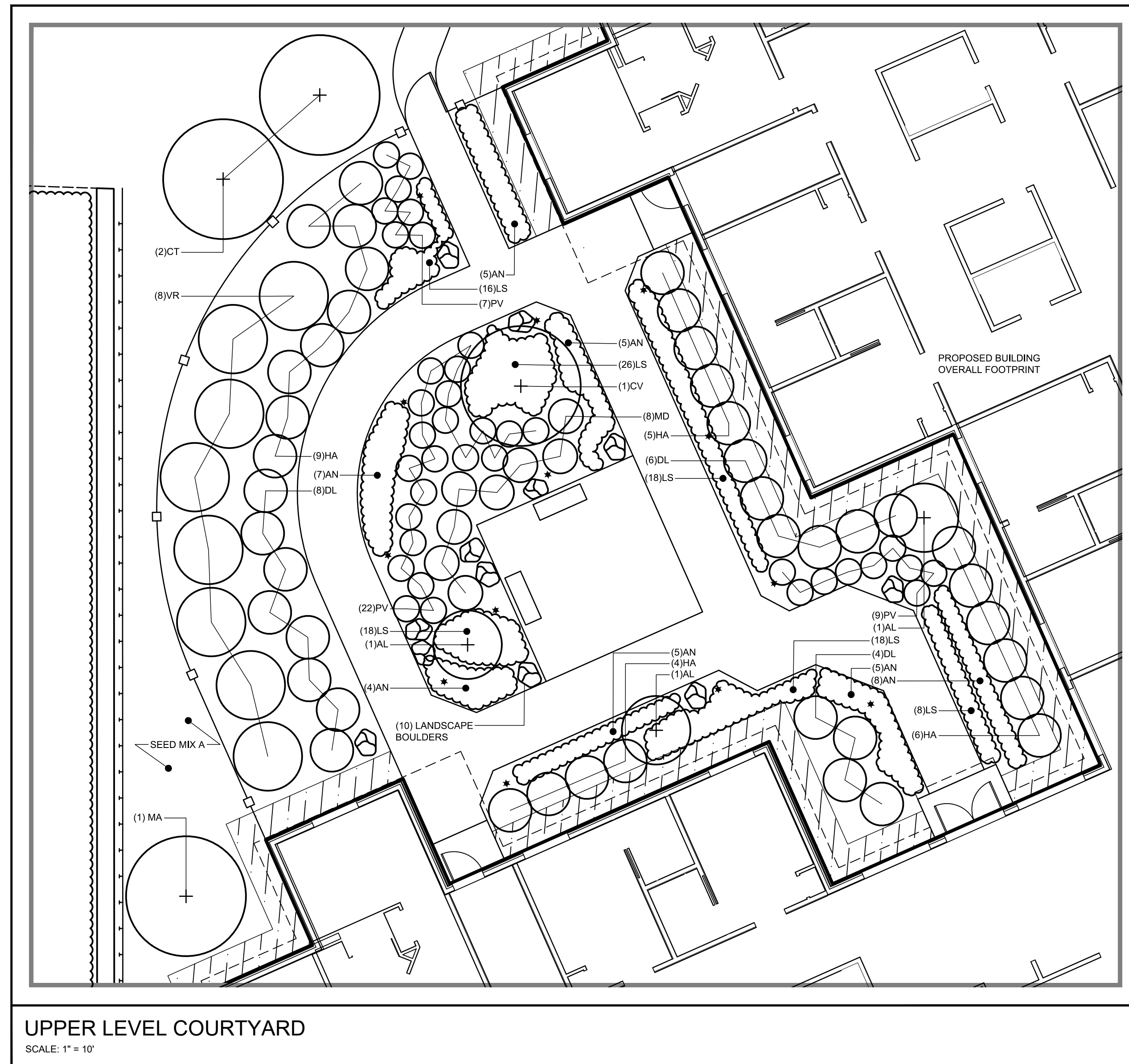
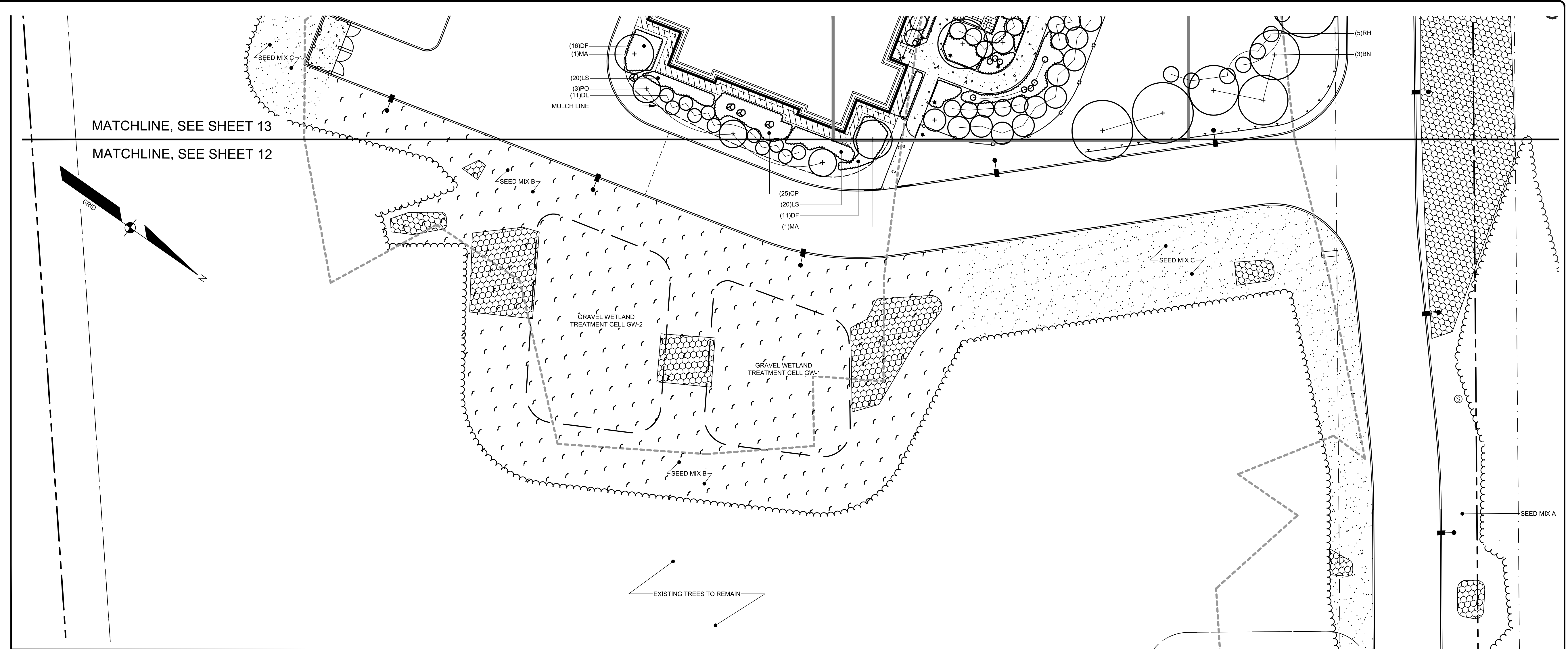
LANDSCAPE PLAN 1
 OF:
 FALLBROOK COMMONS
 RAY STREET
 PORTLAND, MAINE
 FOR:
 FALLBROOK COMMONS DEVELOPMENT LLC.
 217 COMMERCIAL STREET, SUITE 201
 PORTLAND, MAINE 04112

DESIGNED	DMD
DRAWN	SRC
CHECKED	DLR
DATE	11/12/19
SCALE	1" = 20'
PROJECT	18347

**FALLBROOK COMMONS
PLANT SCHEDULE**

KEY	BOTANICAL NAME	COMMON NAME	SIZE NOTES
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LS	LEUCANTHEMUM SUPERBUM 'SNOWCAP'	SHASTA DAISY	#1 CONTAINER
HPR	HEUCHERELLA 'PINK REVOLUTION'	FOAMY BELLS	#1 CONTAINER
AN	ASTER NOVAE-ANGLIAE	NEW ENGLAND ASTER	#1 CONTAINER
PQ	PARTHENOCISSUS QUINQUEFOLIA	VIRGINIA CREEPER	#1 CONTAINER
DF	DRYOPTERIS FILIX-MAS	WOOD FERN	#1 CONTAINER
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SEED MIX A MEDOT- PARK MIX SEED METHOD A
 SEED MIX B NEW ENGLAND WETLAND PLANTS- WETLAND MIX
 SEED MIX C NEW ENGLAND WETLAND PLANTS- CONSERVATION MIX



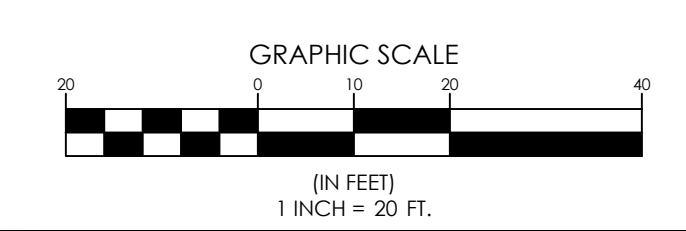
DANIEL M. DANVERS RLA 4815
 LICENSED LANDSCAPE ARCHITECT
 DANIEL M. DANVERS
 4815
 STATE OF MAINE
 11/12/2019

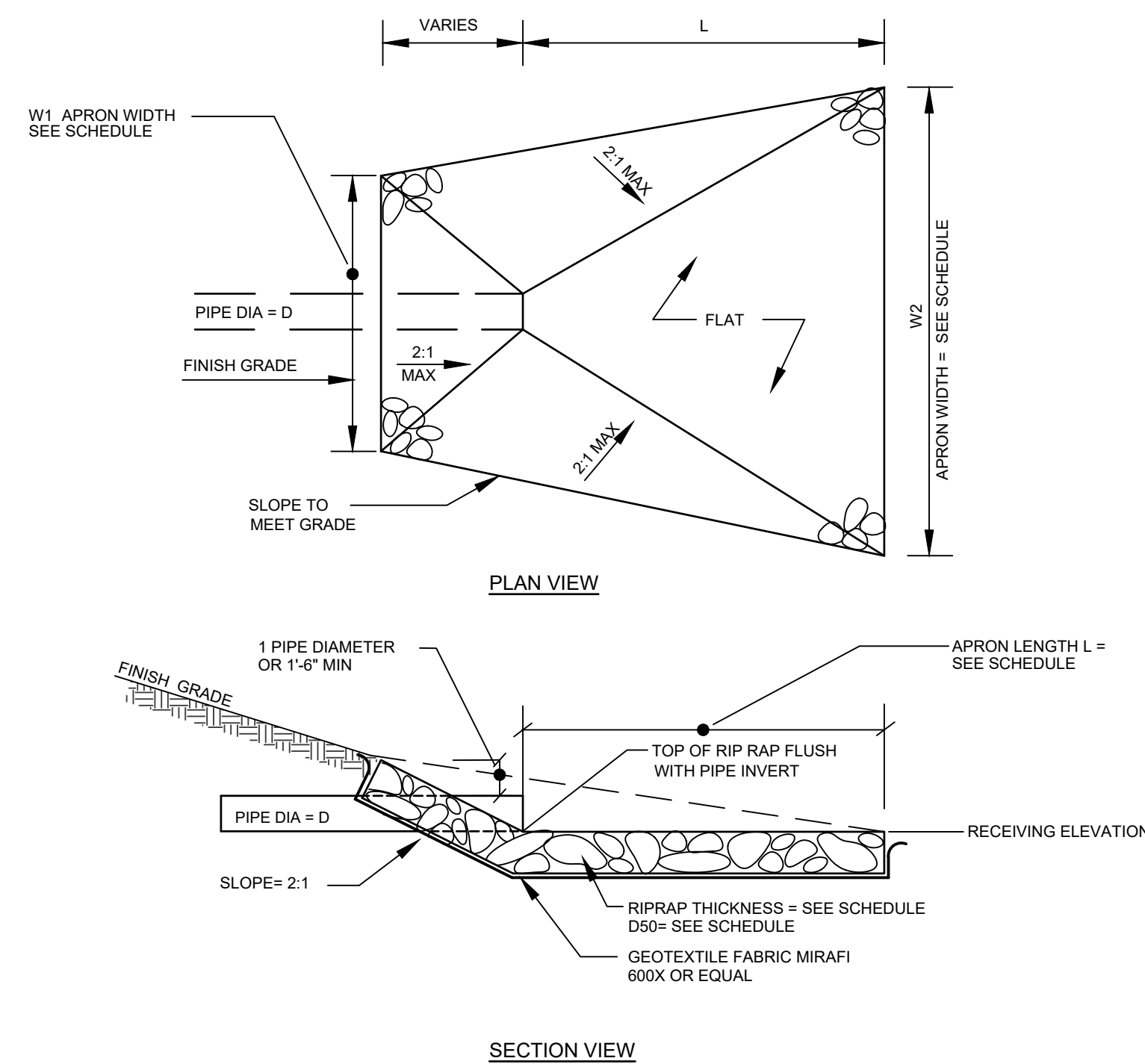
NOT FOR CONSTRUCTION

DESIGNED	DMD
DRAWN	SRG
CHECKED	DLR
DATE	11/12/19
SCALE	1" = 20'
PROJECT	18347

SEBAGO
 L A N D S C A P E A R C H I T E C T S
 WWW.SEBAGOTECHNICS.COM
 75 JOHNSON AVENUE
 SUITE 404
 SOUTH PORTLAND, ME 04106
 TEL: 207-266-2100

LANDSCAPE PLAN 2
 OF:
 FALLBROOK COMMONS
 PORTLAND, MAINE
 FOR:
 FALLBROOK COMMONS DEVELOPMENT LLC.
 217 COMMERCIAL STREET, SUITE 201
 PORTLAND, MAINE 04102





RIPRAP APRON
NOT TO SCALE

NOTES

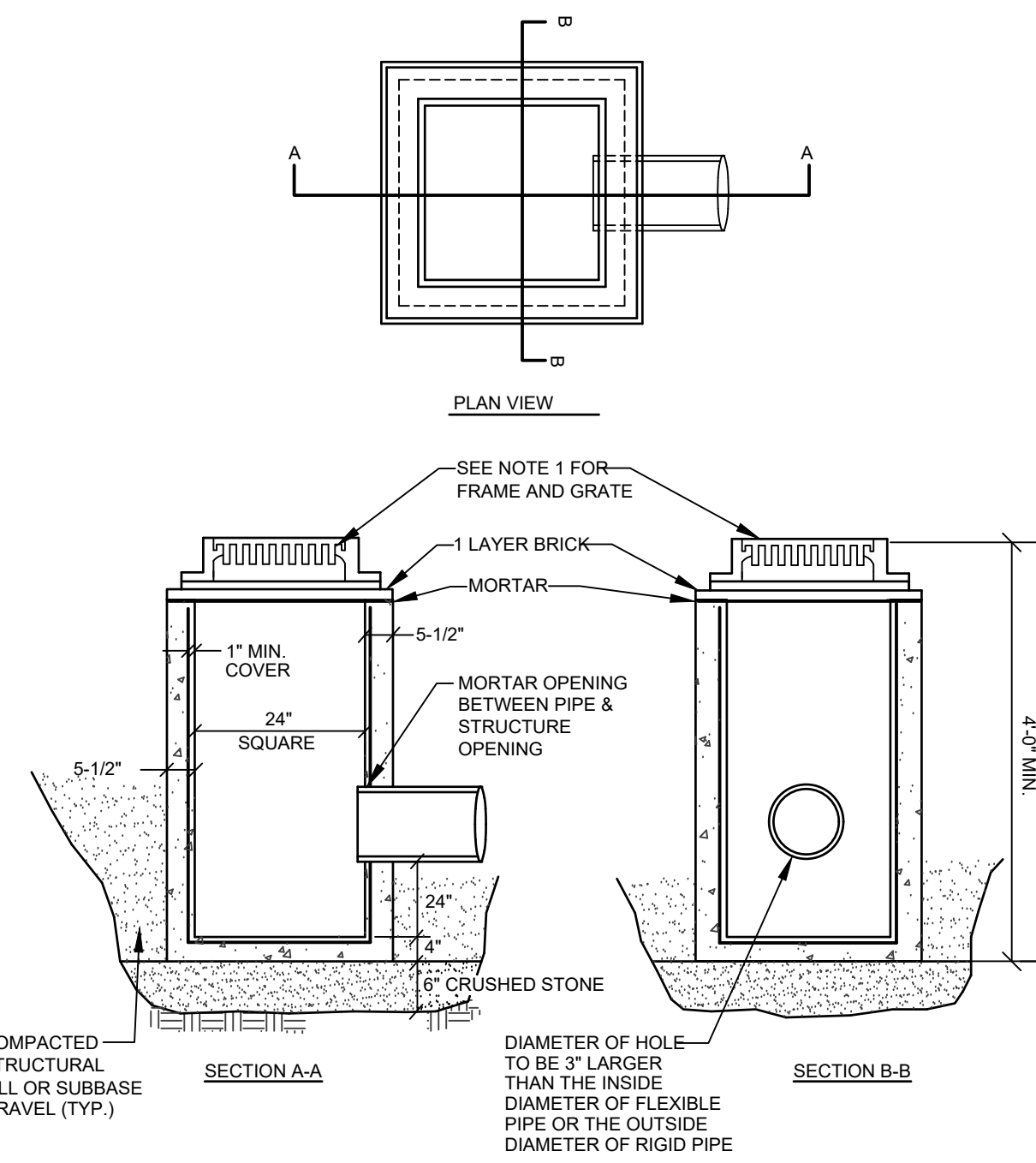
- RIPRAP TO BE PROCESSED ANGULAR ROCK
- RIPRAP GRADATION SHALL BE A WELL GRADED MIX FROM ABOUT 1.5 TIMES D SIZE TO 25 PERCENT OF THE D SIZE
- THE RIPRAP STONES SHALL BE CAREFULLY PLACED FROM THE TOE OF THE SLOPE UPWARD
- STONES SHALL BE LOWERED TO THE SLOPE AND NOT BE ALLOWED TO DROP MORE THAN 12" ONTO THE GEOTEXTILE
- THE FINISHED SURFACE SHALL BE A RELATIVELY SMOOTH, UNIFORMLY SLOPED SURFACE

TYPICAL RIPRAP APRON SCHEDULE

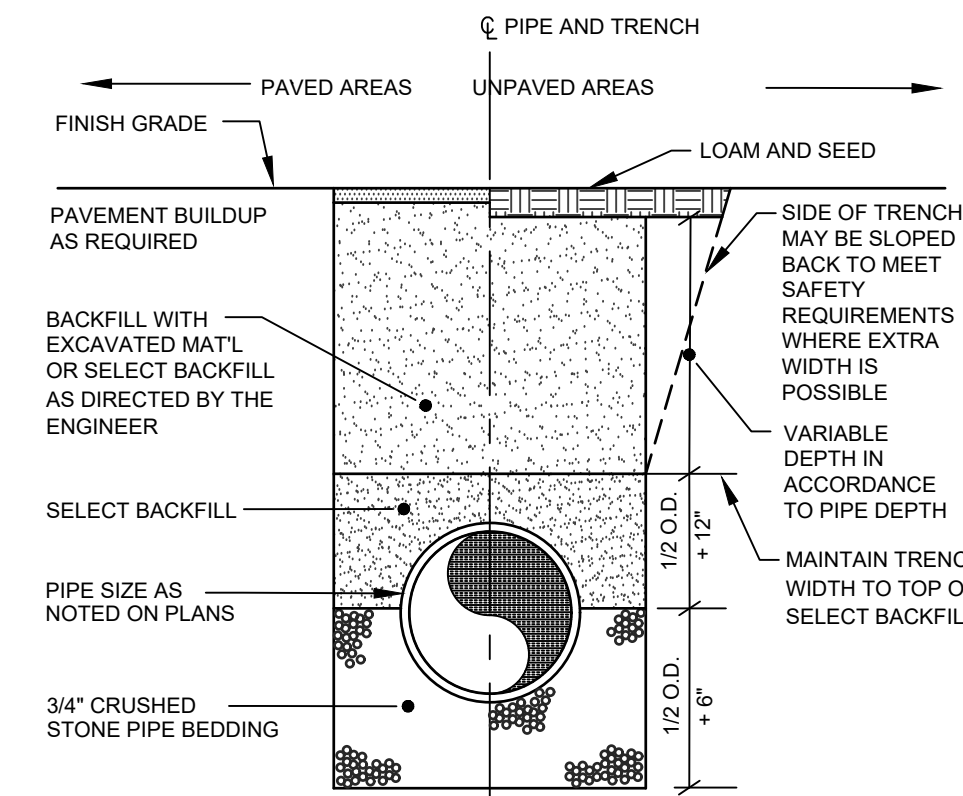
CULVERT DIAMETER - D (IN.)	APRON LENGTH - L (FT.)	WIDTH - W1 (FT.)	WIDTH - W2 (FT.)	RIPRAP D50 (IN.)	RIPRAP THICKNESS (IN.)
12	8	3	9	6	14
15	10	4	12	6	14
18	13	5	15	7	16
24	18	6	20	8	18
36	29	9	32	11	25
42	33	11	37	12	27
48	39	12	43	16	38

SIZING NOTES:

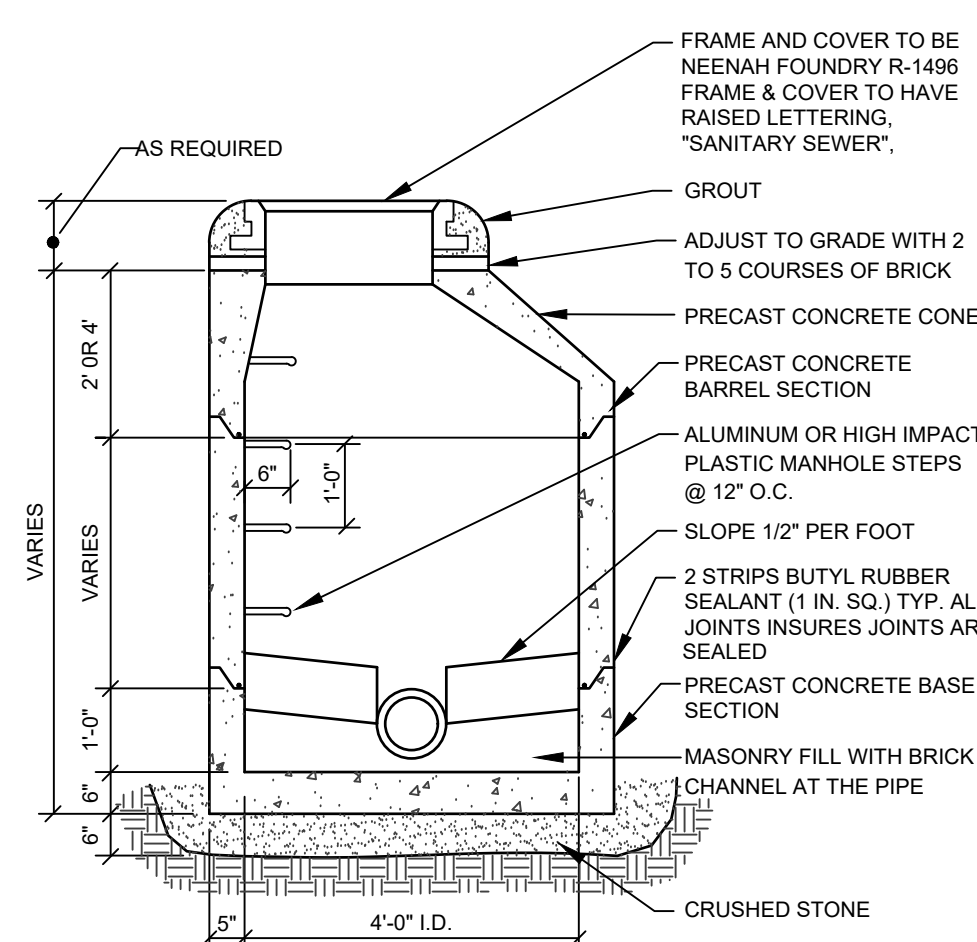
- VALUES CALCULATED USING AN HDPE CULVERT AT A SLOPE OF 1% FLOWING FULL
- APRON LENGTHS AND RIPRAP D50 SIZES DETERMINED FROM THE OUTLET PROTECTION SIZING CHART IN THE MARCH 2003 MAINE EROSION AND SEDIMENT CONTROL BMP MANUAL.
- APRON WIDTHS W1 & W2 WERE BASED ON THE STANDARDS SET FORTH IN THE MARCH 2003 MAINE EROSION AND SEDIMENT CONTROL BMP MANUAL SECTION E-3.2
- THESE DIMENSIONS ARE MINIMUM VALUES FOR EACH PIPE. IF NECESSARY, THESE DIMENSIONS CAN BE INCREASED AND ARE LABELED BY THE ENGINEER ON THE PLANS.



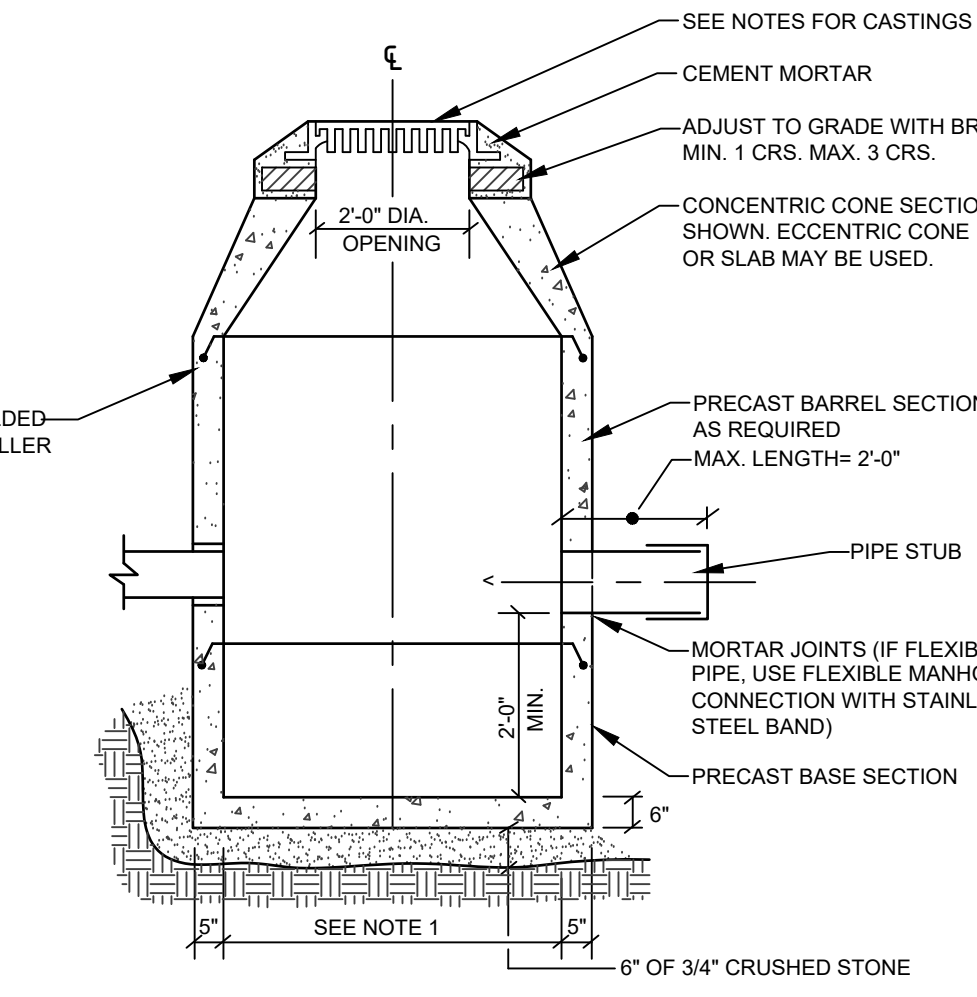
TYP. TYPE "F" CATCH BASIN
NOT TO SCALE



TYPICAL TRENCH SECTION
NOT TO SCALE

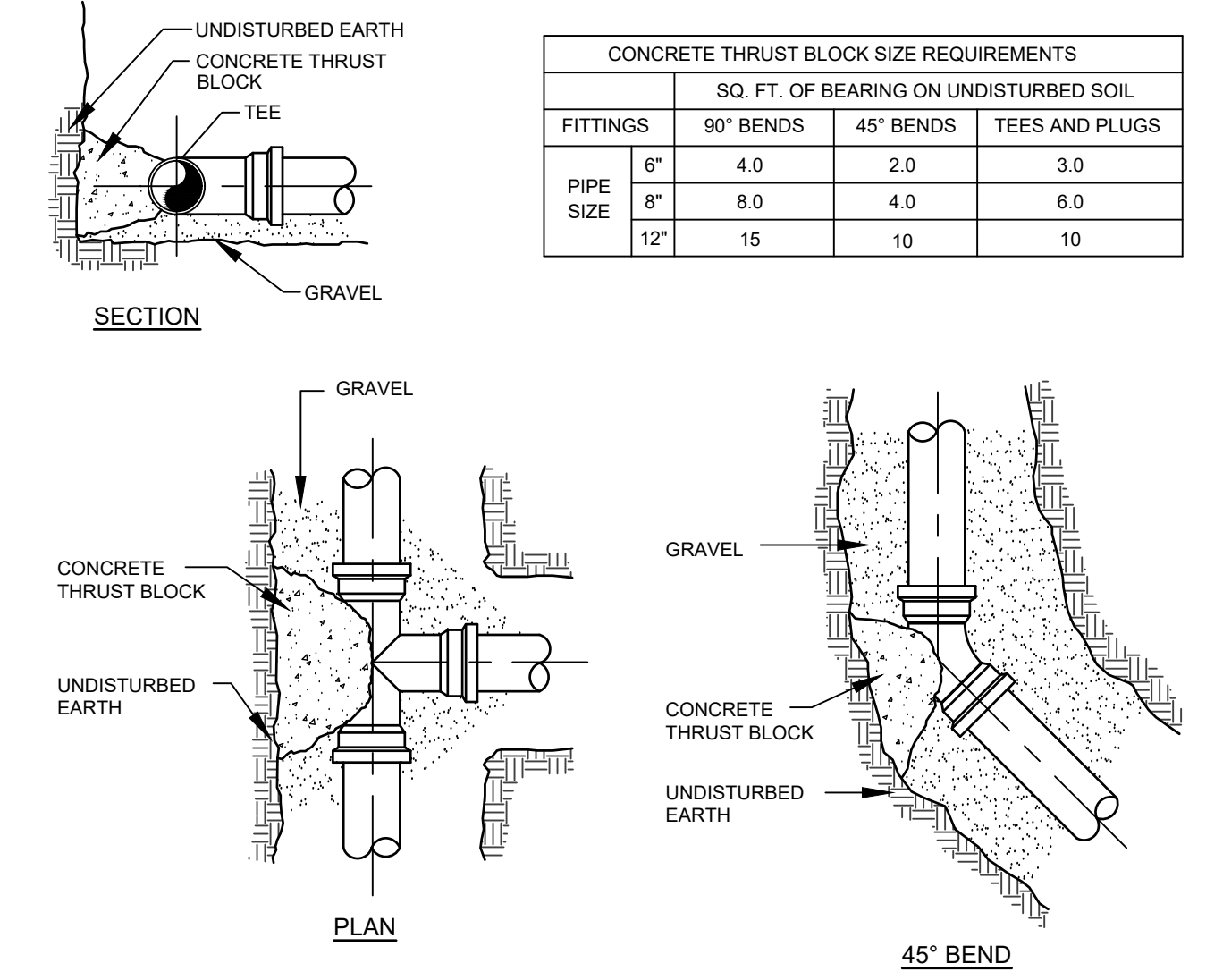


PRECAST MANHOLE
NOT TO SCALE

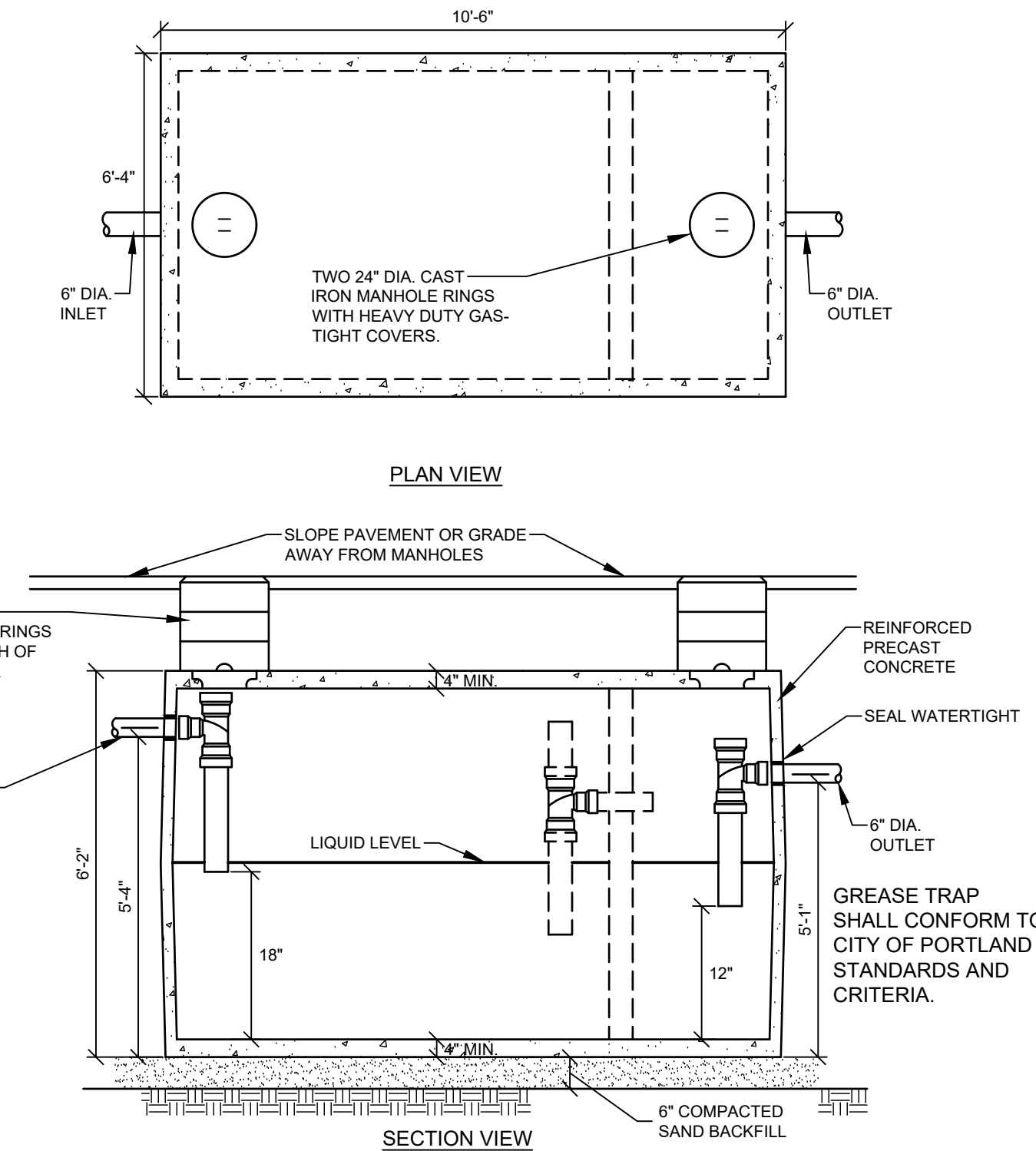


- NOTES:**
- 4'-0" I.D. TYPICAL. SOME STRUCTURES MAY REQUIRE LARGER I.D. PROVIDE SHOP DRAWINGS.
 - DRAINAGE STRUCTURES TO BE DESIGNED FOR H-20 LOADING.
 - PIPE SIZES AND INVERTS AS NOTED ON PLANS.
 - CATCH BASIN FRAME AND GRATE TO BE NEENAH FOUNDRY R-2554 OR APPROVED EQUAL.

TYPICAL CATCH BASIN
NOT TO SCALE



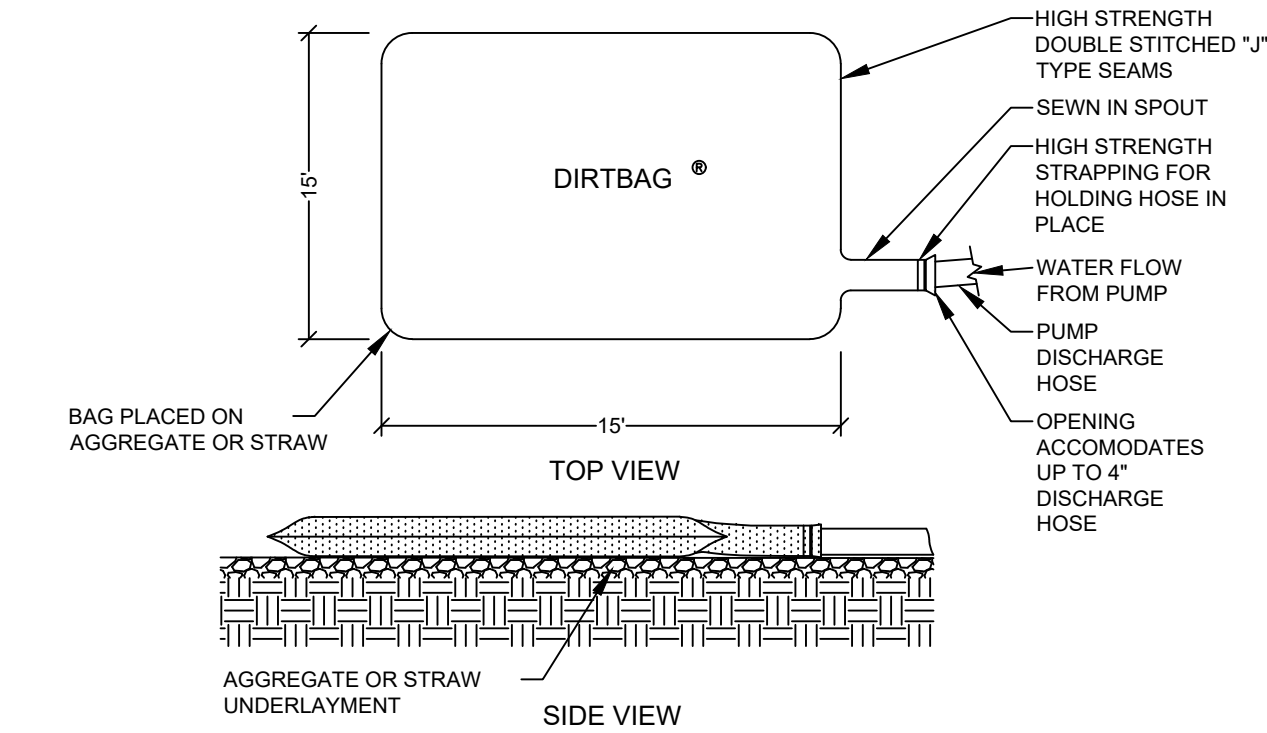
TEE & BEND DETAIL
NOT TO SCALE



CAPACITY	LENGTH	WIDTH	HEIGHT	INLET	OUTLET	STD. ITEM#	H.D. ITEM#	WGT.
750 LB.	8'-6"	4'-10"	4'-1"	3'-2"	2'-11"	2003	2003A	5,720 lbs.
1,000 REG.	8'-6"	4'-10"	5'-4"	4'-6"	4'-3"	2014	2014A	7,080 lbs.
1,000 LB.	10'-6"	6'-4"	4'-0"	3'-2"	2'-11"	2018B	2018C	10,800 lbs.
1,500 REG.	10'-6"	6'-4"	5'-4"	4'-6"	4'-1"	2022	2022A	11,280 lbs.
2,000 REG.	10'-6"	6'-4"	6'-2"	5'-4"	5'-1"	2032	2030B	13,280 lbs.

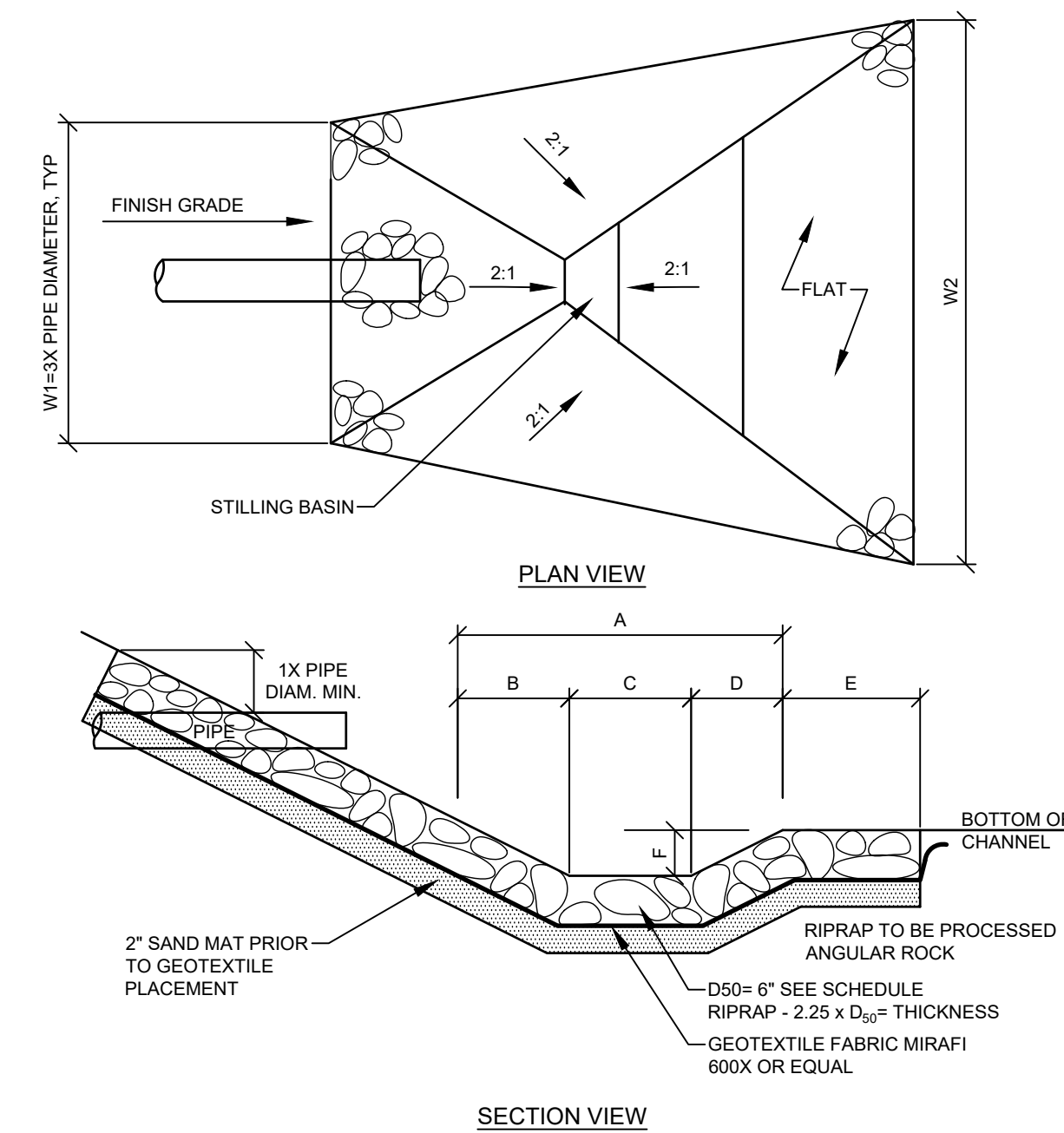
- NOTES:**
- ALL CONCRETE HAS A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI @ 28 DAYS.
 - STANDARD TANKS ARE REINFORCED WITH #6@ 10/10 W.W.M.
 - THE TONGUE AND GROOVE CENTER SEAM IS SEALED WITH A BUTYL SEALANT.
 - THE PVC TEE Baffles FOR THIS TANK CAN BE MOVED TO ANY OF THE (B) INLETS OR OUTLETS.
 - OPTIONAL CENTER WALL FOR TWO COMPARTMENT TANK.
 - POLYKOR PIPE SEALS STANDARD AT ALL PIPE PENETRATIONS.
 - INSTALLATION UNDER DRIVEWAYS, PARKING LOTS, AND WHEN THE TOP IS MORE THAN 3' BELOW GRADE, REQUIRE HEAVY DUTY TANKS REINFORCED WITH #8 REBAR.
 - DETAIL SHOWS GENERAL SCHEMATIC REQUIREMENTS. CONTRACTOR SHALL SUBMIT PROPOSED GREASE INTERCEPTOR INSTALLATION PLANS AND SPECIFICATIONS TO LOCAL AUTHORITIES FOR THEIR APPROVAL BEFORE ACQUISITION OF INTERCEPTOR. PROVIDE INTERCEPTOR WITH ADEQUATE STRUCTURAL STRENGTH TO ACCOMMODATE VEHICULAR TRAFFIC AT INSTALLATION LOCATION.
 - GREASE TRAP AS MANUFACTURED BY GAGNE & SON OR APPROVED EQUAL.

PRE-CAST GREASE TRAP
NOT TO SCALE



- INSTALLATION NOTES:**
- DEWATERING IF NECESSARY FOR UNDERDRAINED POND CONSTRUCTION AND REMOVAL OF ACCUMULATED SEDIMENT SHALL BE ACCOMPLISHED WITHOUT DISCHARGING SEDIMENT LADEN WATER TO THE STREAM AND WETLANDS ADJUTING THE SITE.
 - CONTRACTOR MAY UTILIZE A GEOTEXTILE PUMPED SEDIMENT CONTROL DEVICE ("DIRTBAG" OR EQUIVALENT).
 - DIRTBAG SHALL BE INSTALLED TO MAINTAIN A MINIMUM 75' UNDISTURBED BUFFER FROM THE STREAM AND WETLANDS.
 - INSTALL DIRTBAG ON A 3" BED OF HAY TO MAXIMIZE FLOW OF WATER THROUGH ALL SURFACES OF THE BAG. SURROUND DIRTBAG WITH A DOUBLE ROW OF SILTATION FENCE, OR AN EROSION CONTROL BERM BACKED BY SILTATION FENCE.

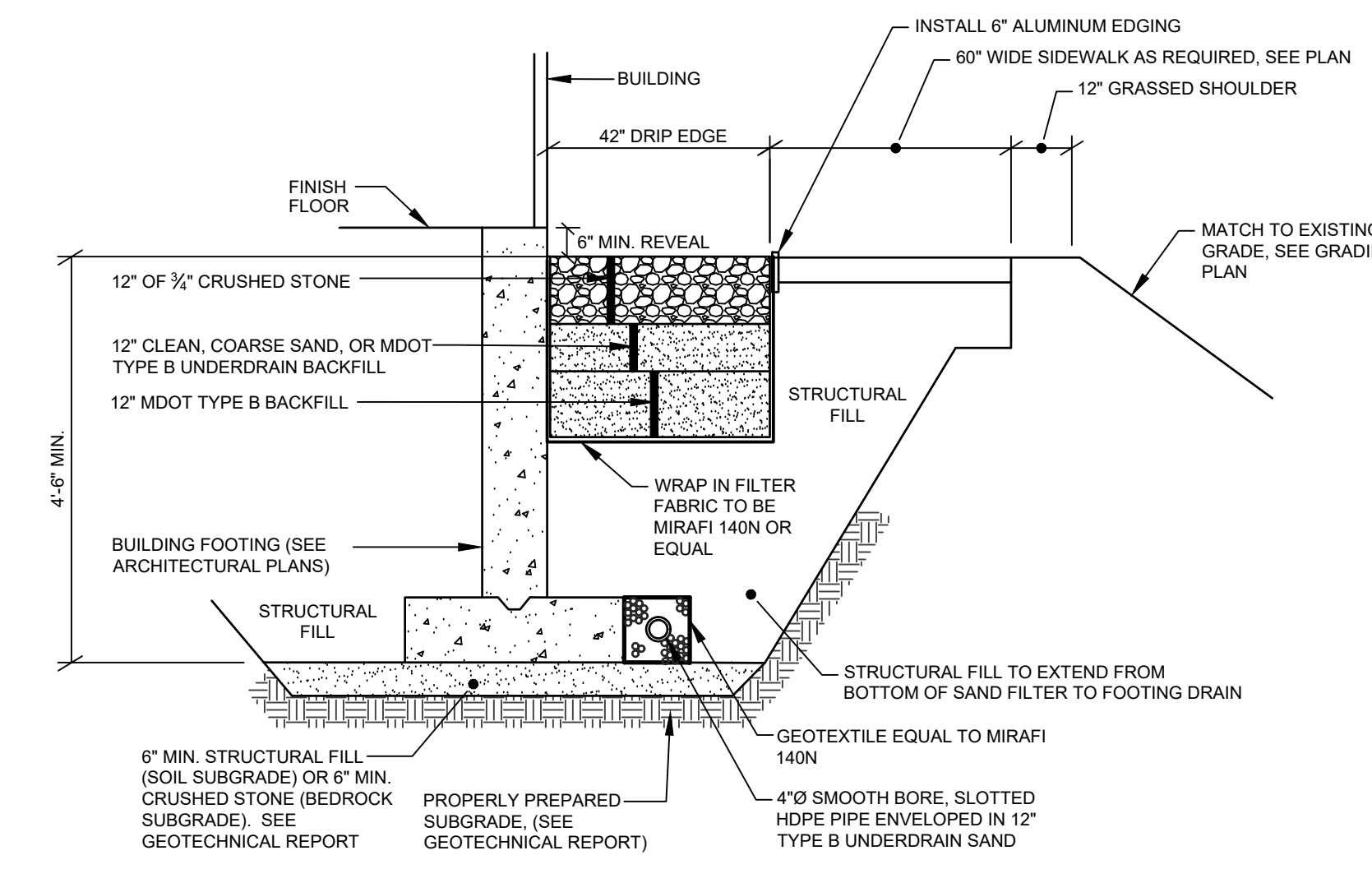
DIRTBAG PUMPED SILT CONTROL SYSTEM
NOT TO SCALE



STILLING BASIN SCHEDULE

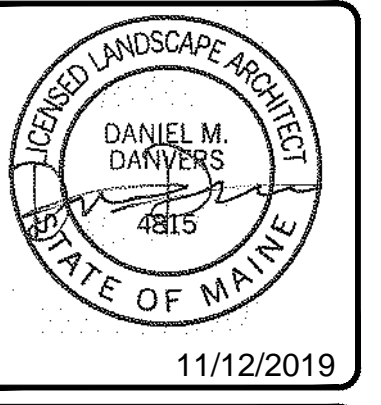
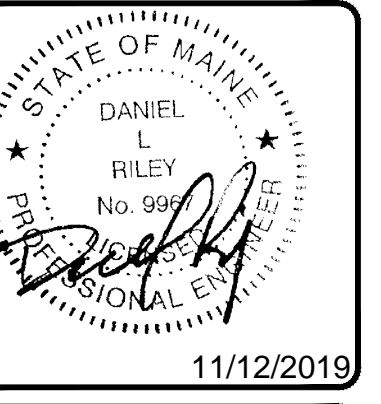
STRUCTURE	DIMENSIONS (FT)						W1	W2	RIPRAP D50
	A	B	C	D	E	F			
SB-1	16	3	10	3	4	1	6	8	6"
SB-2	10	2	6	2	3	0.7	4	6	6"

STILLING BASIN
NOT TO SCALE



- NOTE:**
- UNDERDRAIN INSTALLATION AND MATERIAL GRADATION RECOMMENDATIONS SHALL BE COORDINATED WITH THE GEOTECHNICAL REPORT.
 - THIS DETAIL IS PROVIDED FOR ILLUSTRATIVE PURPOSES ONLY. CONSTRUCTION OF THE FOUNDATION DRAIN, FOOTING & ASSOCIATED MATERIALS SHALL BE COORDINATED WITH THE BUILDING DRAWINGS.
 - COMPACT GRAVEL SUBBASE, BASE COURSE TO 95% OF MAXIMUM DENSITY USING HEAVY ROLLER COMPACTION.

UNDERDRAINED ROOF DRIP EDGE DETAIL
NOT TO SCALE



NOT FOR CONSTRUCTION

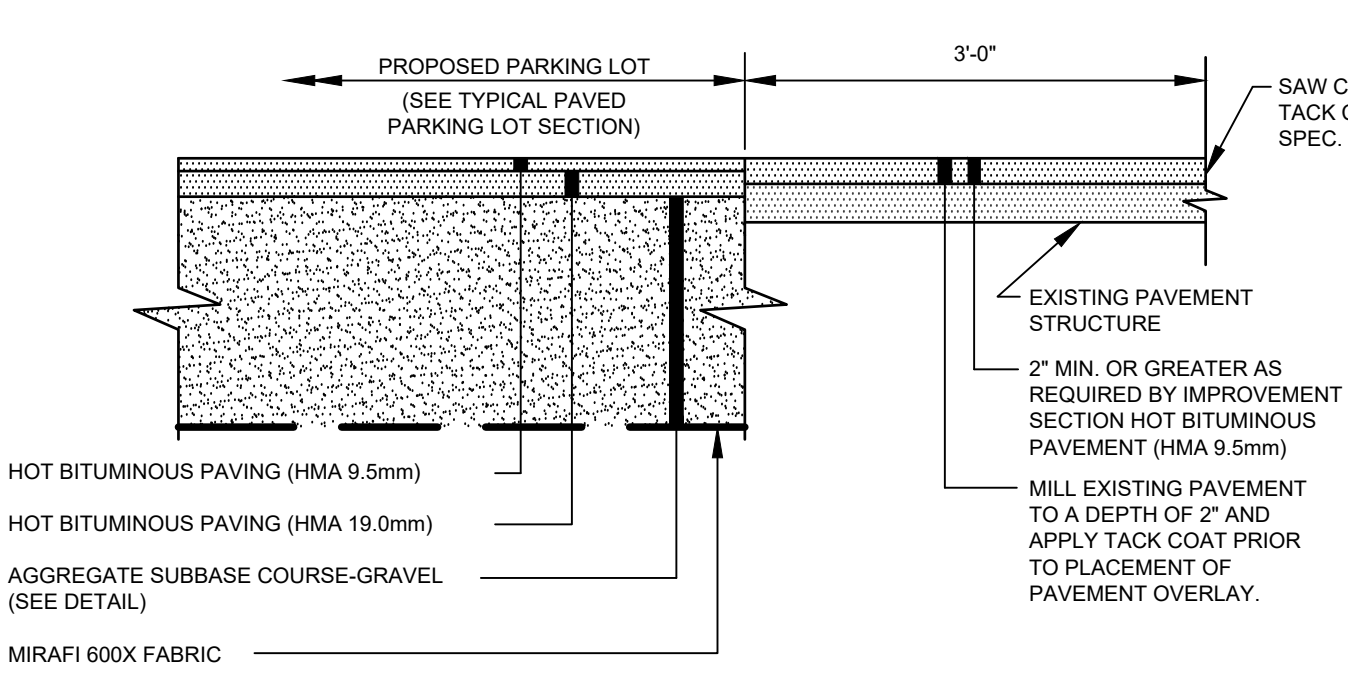
NO.	DATE	BY	DESCRIPTION
A	DMD 11-12-19	SUBMIT TO CITY OF PORTLAND	STATUS: SUBMITTED

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNIQS, INC. ANY VARIATIONS, ADDITIONS OR OMISSIONS SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNIQS, INC.

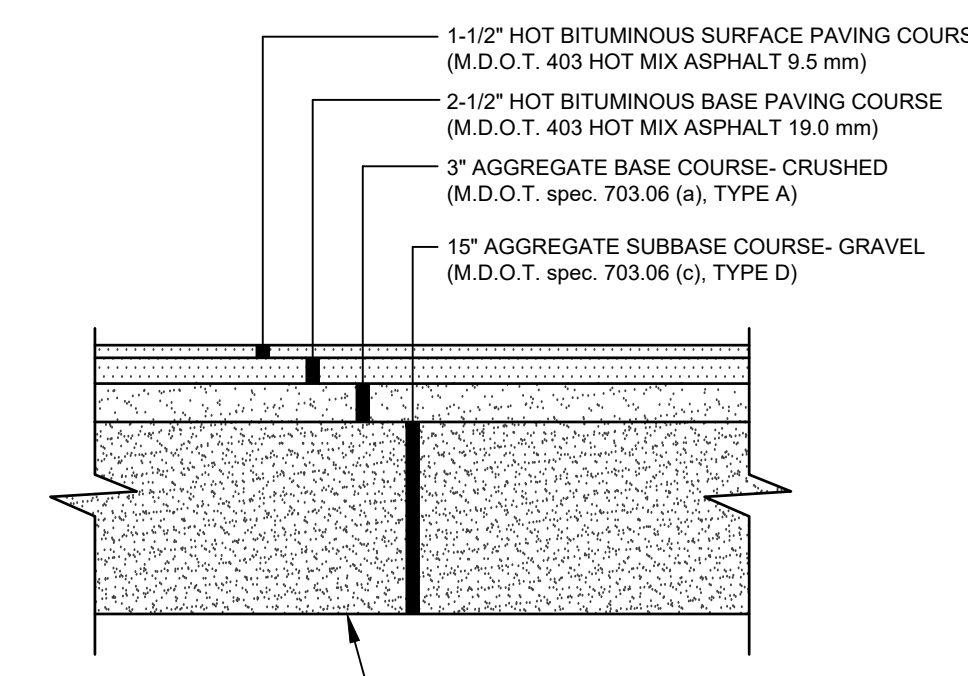
SEBAGO TECHNICAL CONSULTING
WWW.SEAGOTECHNICS.COM
75 JOHNSON STREET, SUITE 414
SOUTH PORTLAND, ME 04106
TEL: 207-209-2100

DETAILS 1
FOR: FALLBROOK COMMONS
PORTLAND, MAINE
FOR: FALLBROOK COMMONS DEVELOPMENT LLC.
217 COMMERCIAL STREET, SUITE 201
PORTLAND, MAINE 04102

DESIGNED	DMD
DRAWN	SRG
CHECKED	DLR
DATE	11/12/19
SCALE	NTS
PROJECT	18347

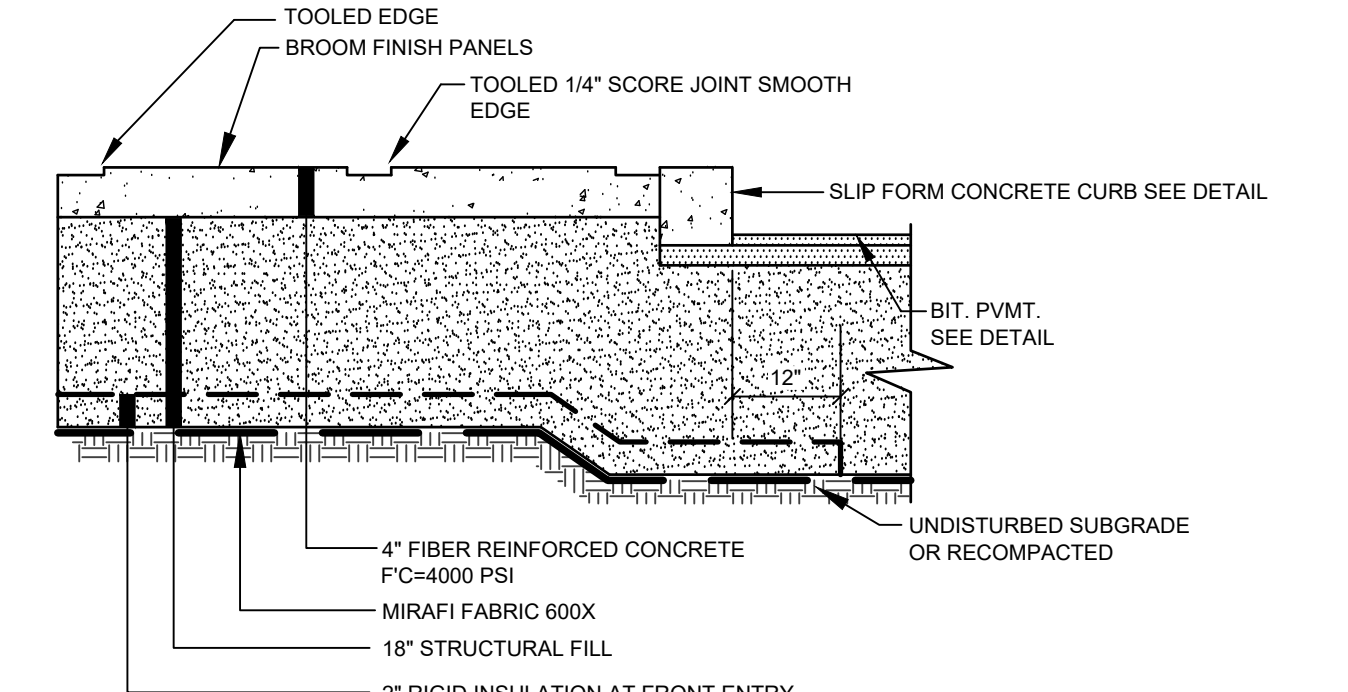


TYPICAL PAVEMENT JOINT
NOT TO SCALE

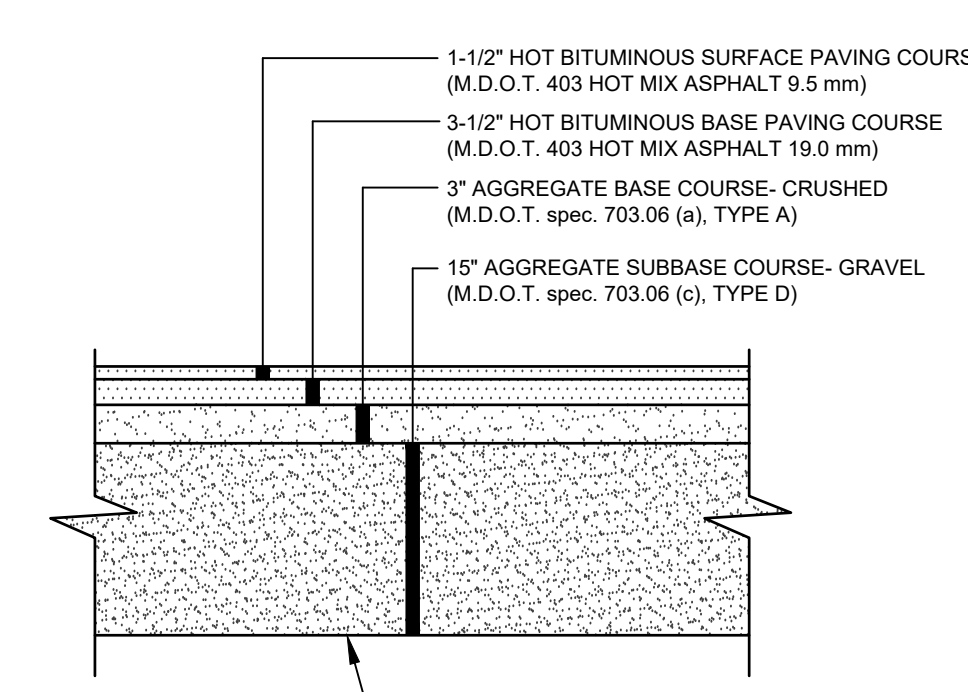


- NOTES:
1. COMPACT GRAVEL SUBBASE, BASE COURSE TO 92% OF MAXIMUM DENSITY USING HEAVY ROLLER COMPACTION.
 2. CONTRACTOR SHALL SET GRADE STAKES MARKING SUBBASE AND FINISH GRADE ELEVATIONS FOR CONSTRUCTION REFERENCE.
 3. CONTRACTOR MAY REPLACE BITUMINOUS PAVING SECTION WITH TWO (2) 1-1/2" LIFTS OF 12.5mm SUPERPAVE MIX. SUBMIT PAVEMENT MIX DESIGN PRIOR TO CONSTRUCTION.

BITUMINOUS PAVING
NOT TO SCALE

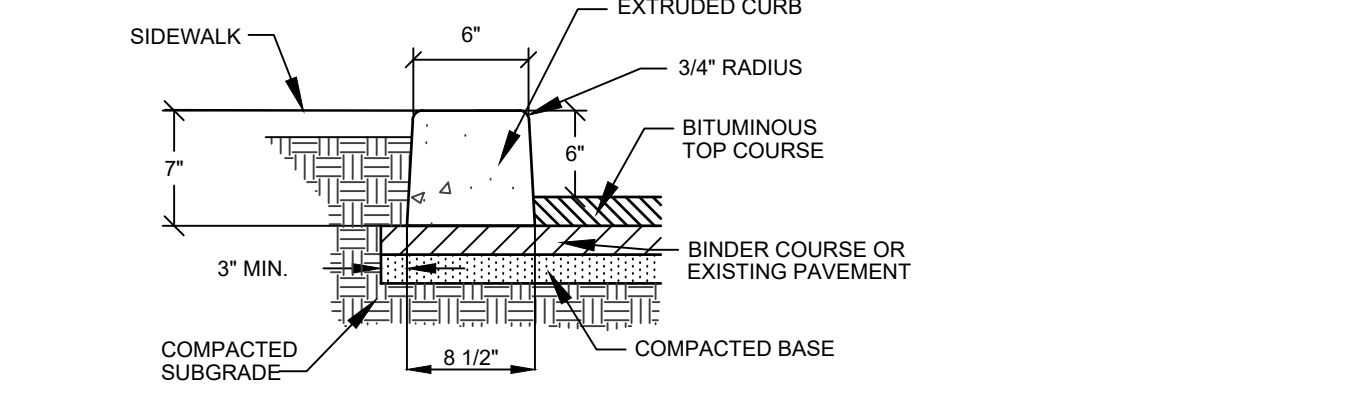


4" CONCRETE PAVING
NOT TO SCALE

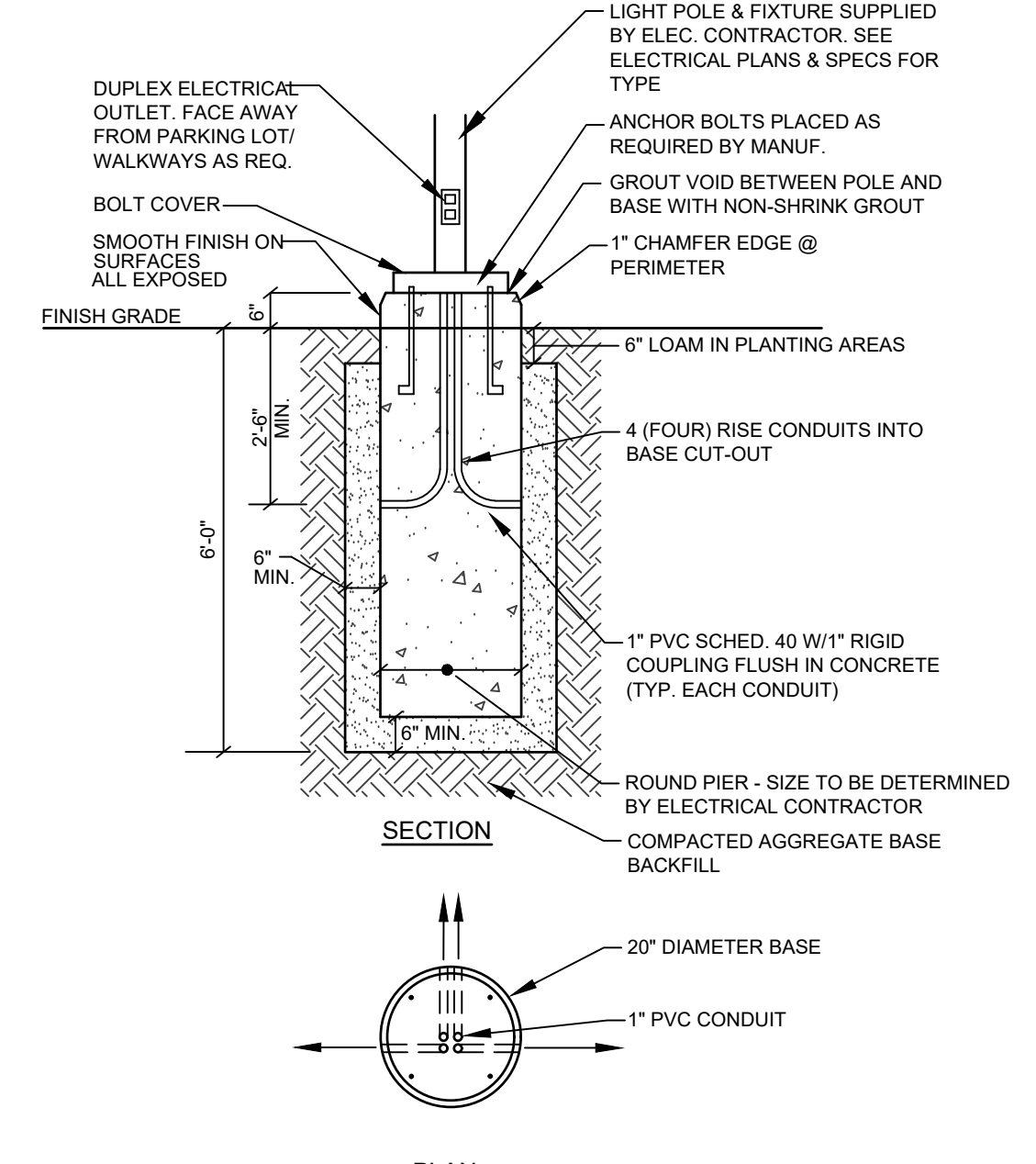


- NOTES:
1. COMPACT GRAVEL SUBBASE, BASE COURSE TO 92% OF MAXIMUM DENSITY USING HEAVY ROLLER COMPACTION.
 2. CONTRACTOR SHALL SET GRADE STAKES MARKING SUBBASE AND FINISH GRADE ELEVATIONS FOR CONSTRUCTION REFERENCE.
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HEAVY DUTY BITUMINOUS PAVING
NOT TO SCALE

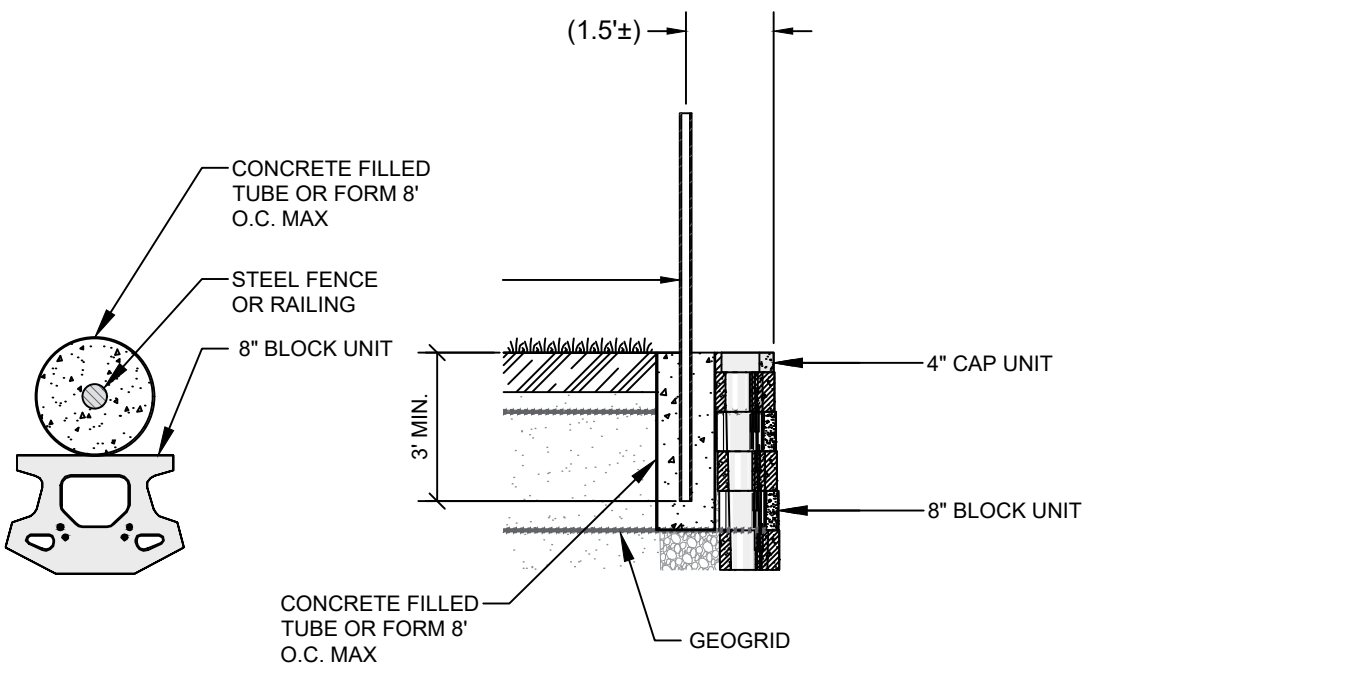


SLIPFORM CONCRETE CURB
NOT TO SCALE

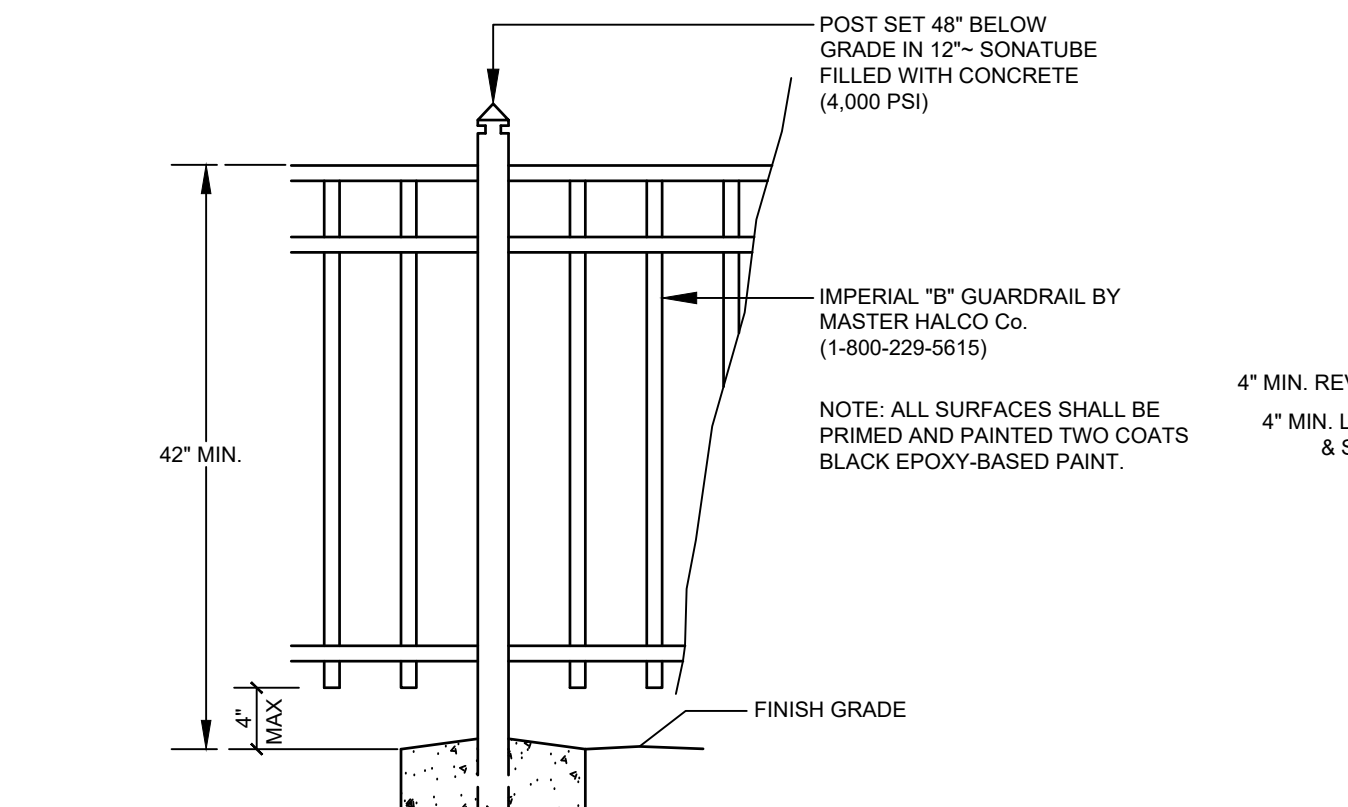


- NOTES:
1. CONCRETE Fc=5000 psi, @ 28 DAYS WITH STEEL REINFORCEMENT
 2. CONDUIT AND ANCHOR BOLTS PLACED AS REQUIRED PROVIDED BY ELECTRICAL CONTRACTOR
 3. PROVIDE 2 COATS BITUMINOUS DAMPROOFING FOR ALL CONCRETE BELOW GRADE
 4. INSTALL BASE 3'-0" ABOVE FINISH GRADE IN LOCATIONS WHERE POLES ARE IN PARKING LOT PAVEMENT
 5. LIGHT POLE BASE AS MANUFACTURED BY SUPERIOR CONCRETE OR APPROVED EQUAL

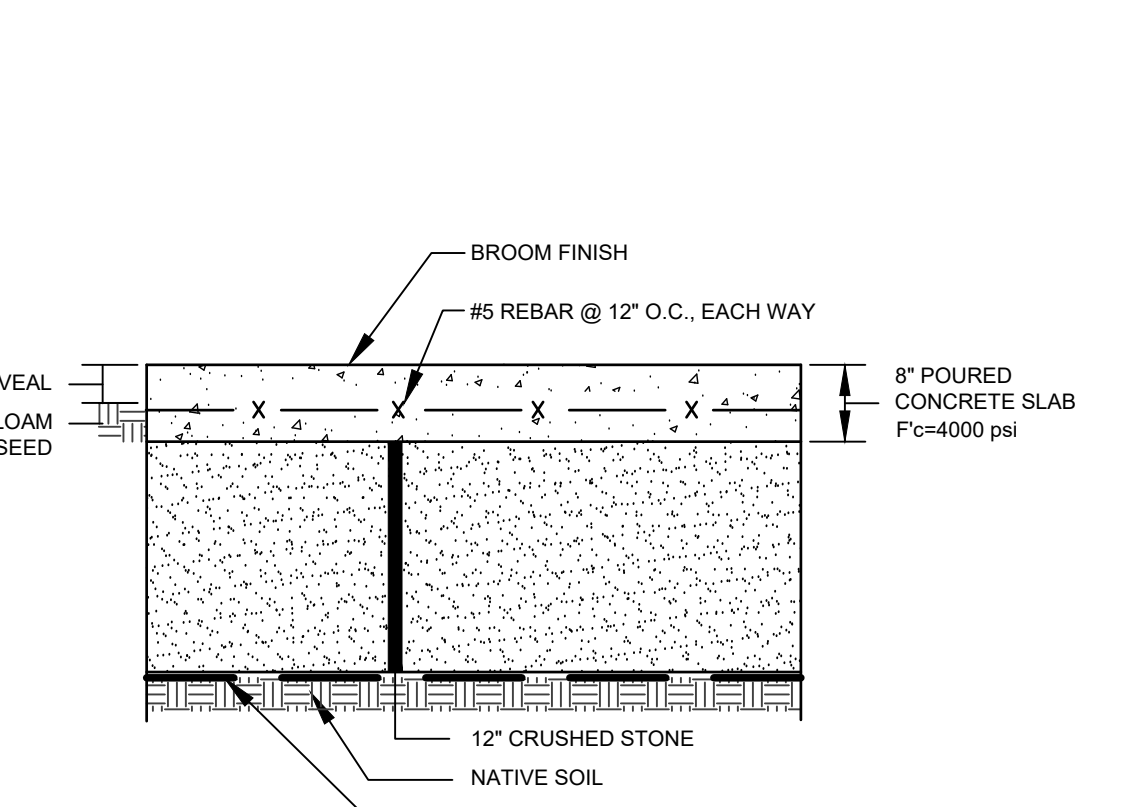
20" ROUND LIGHT POLE BASE
NOT TO SCALE



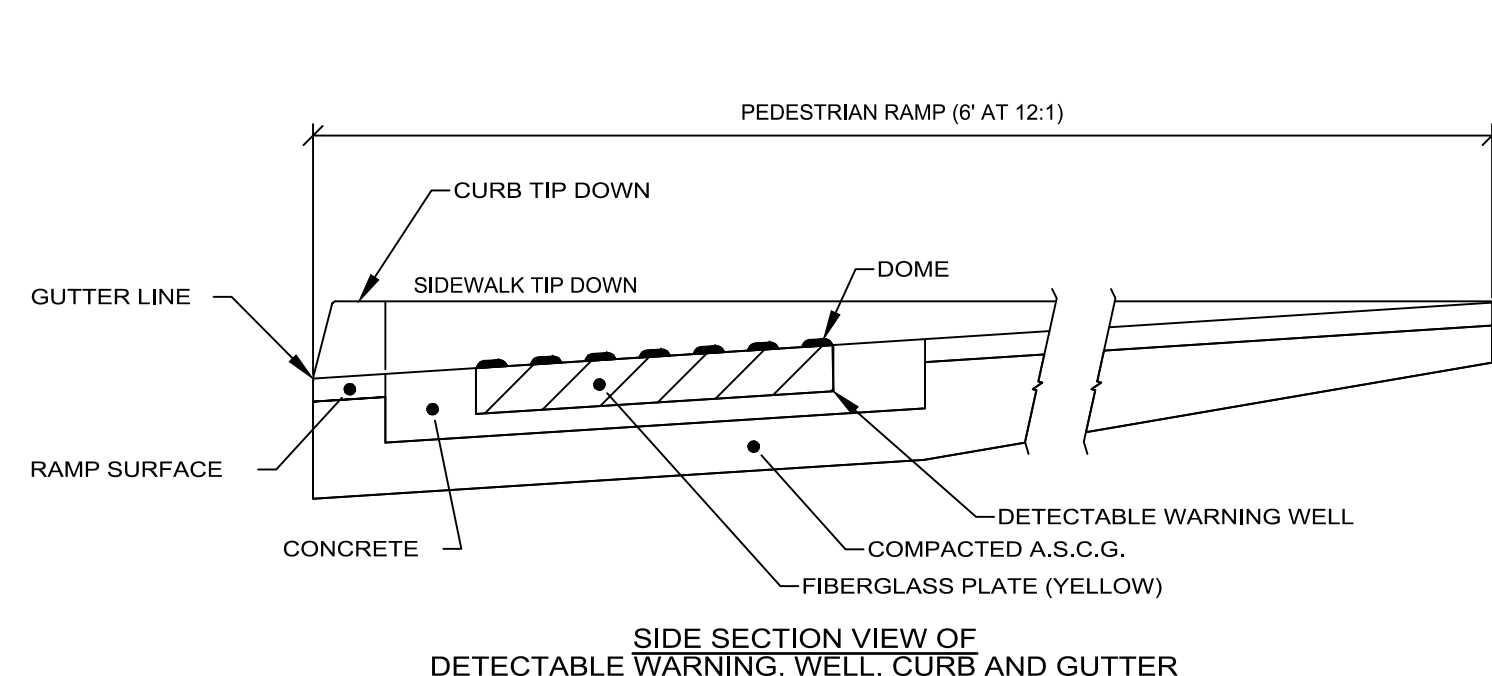
PEDESTRIAN GUIDERAIL (ALUMINUM TUBING)
NOT TO SCALE



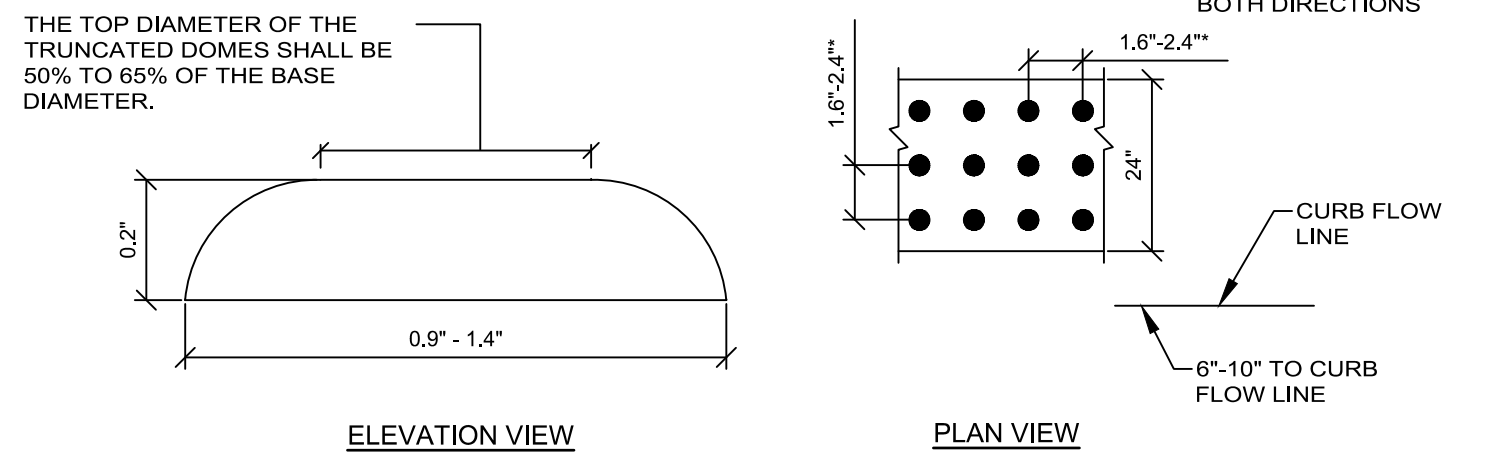
PEDESTRIAN GUIDERAIL (ALUMINUM TUBING)
NOT TO SCALE



UTILITY PAD
NOT TO SCALE



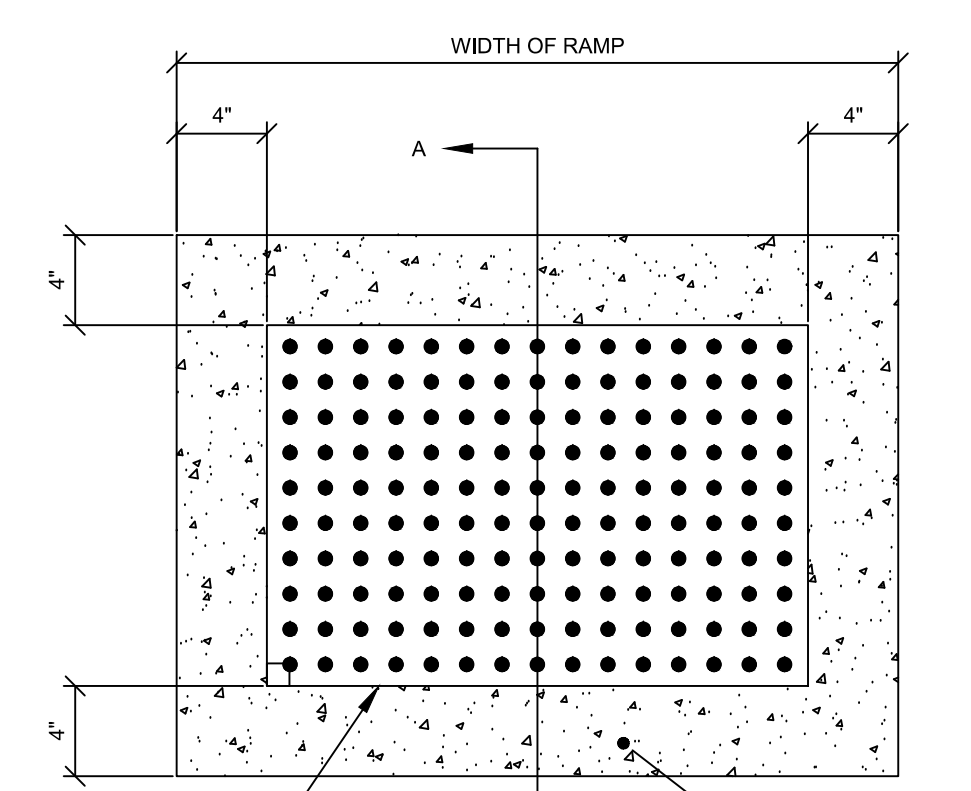
SIDE SECTION VIEW OF
DETECTABLE WARNING, WELL, CURB AND GUTTER



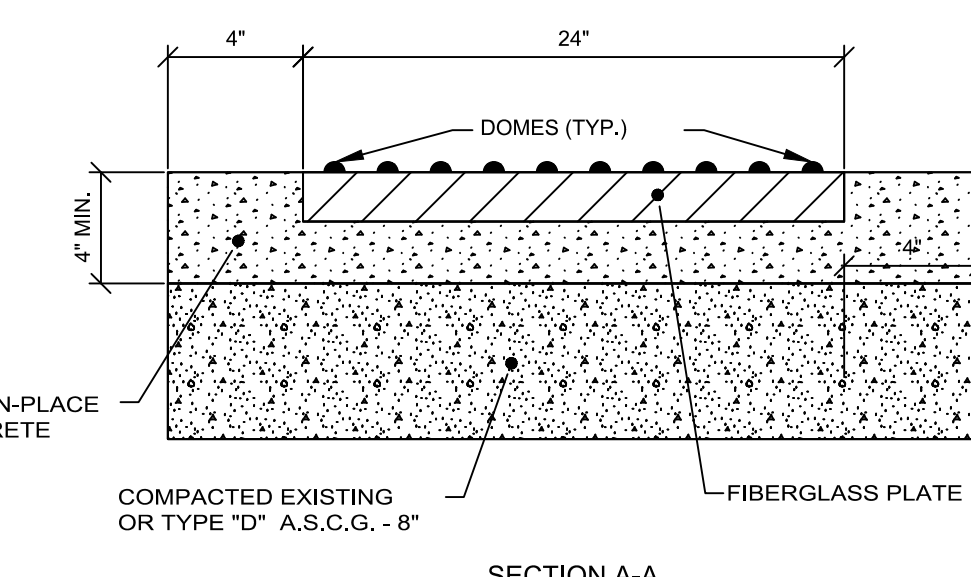
ELEVATION VIEW PLAN VIEW
DOME AND DETECTABLE WARNING DETAILS

- NOTE: ALL DETECTABLE WARNING AREAS SHALL START 6" - 10" FROM THE FLOW LINE OF THE CURB, BE 24" IN DEPTH, AND COVER THE COMPLETE WIDTH OF THE RAMP AREA ONLY.

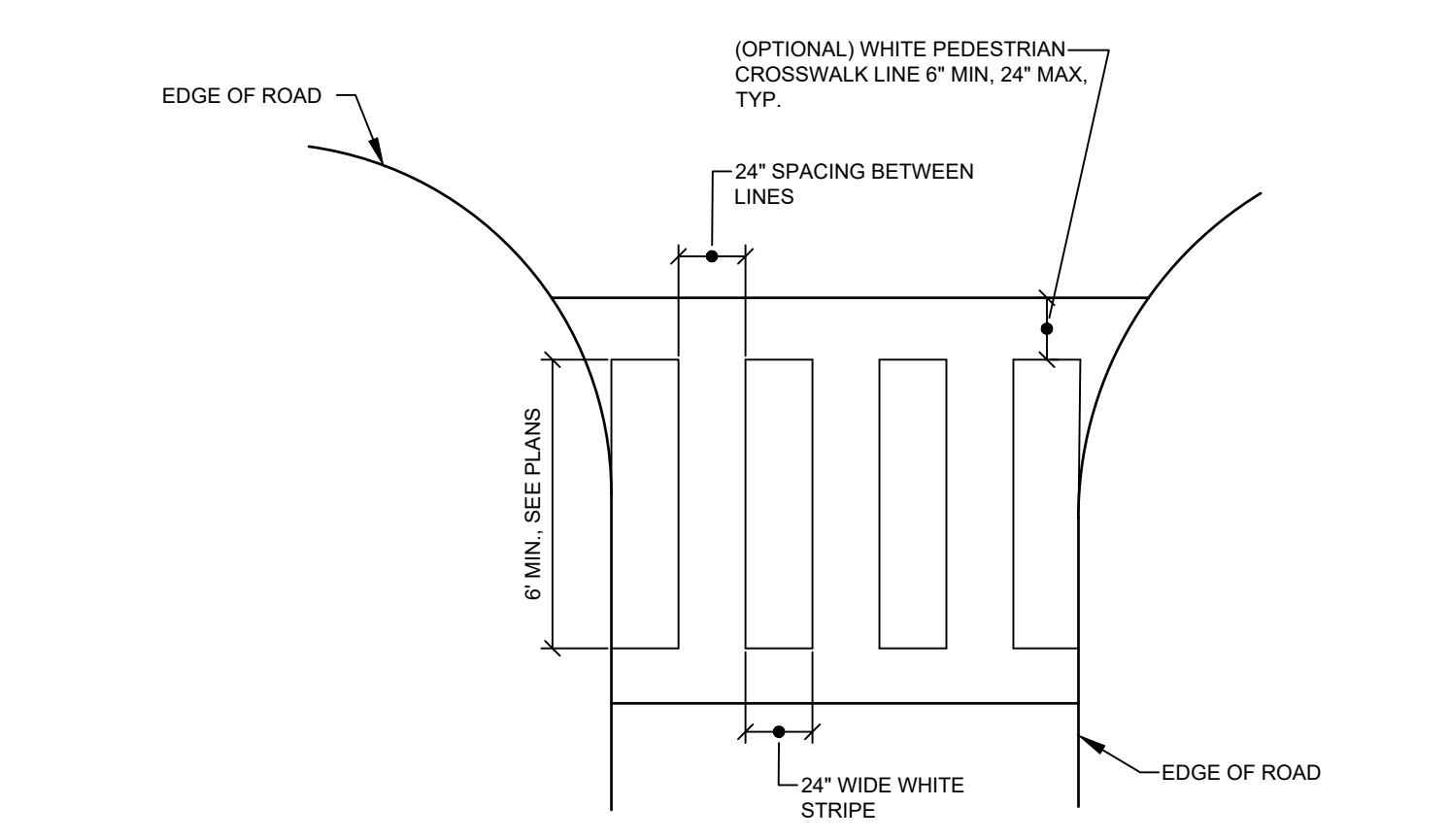
TRUNCATED DOME PAVING
NOT TO SCALE



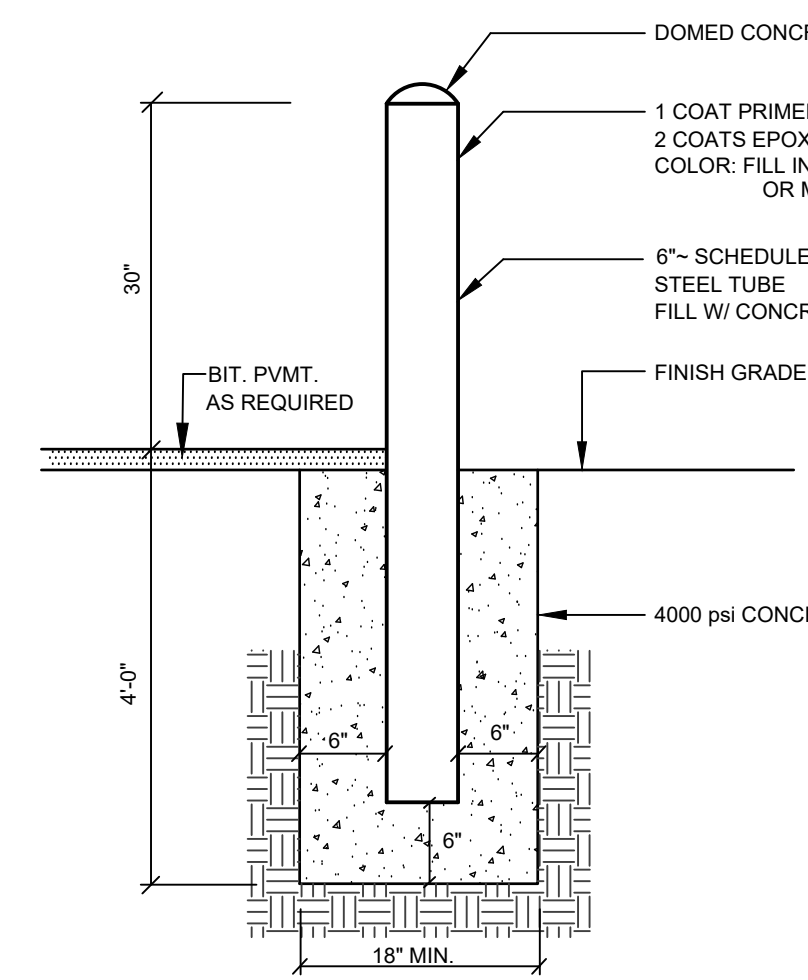
PLAN VIEW OF DETECTABLE WARNING AND WELL



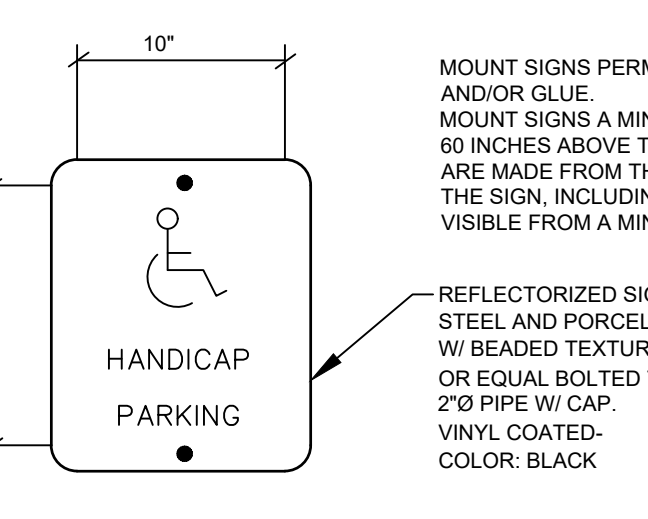
SECTION A-A



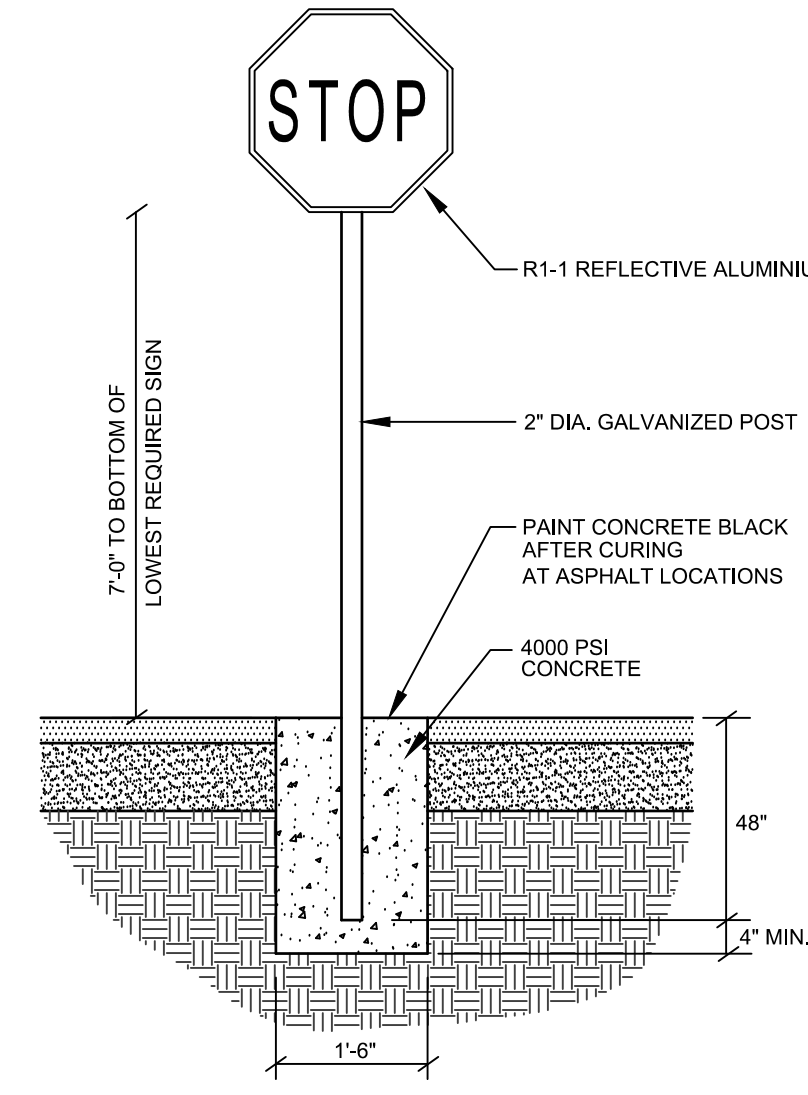
CROSSWALK MARKINGS
NOT TO SCALE



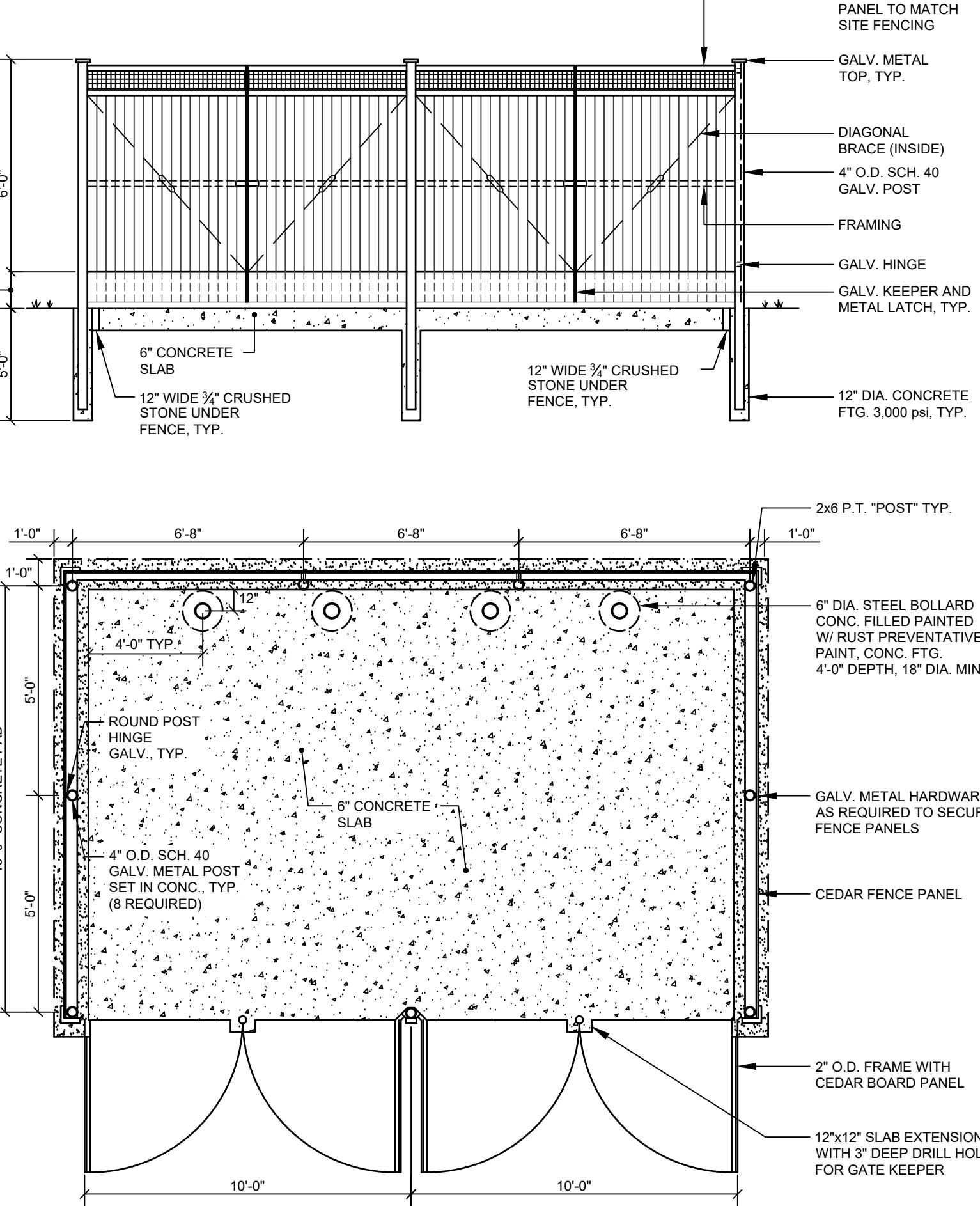
METAL BOLLARD
NOT TO SCALE



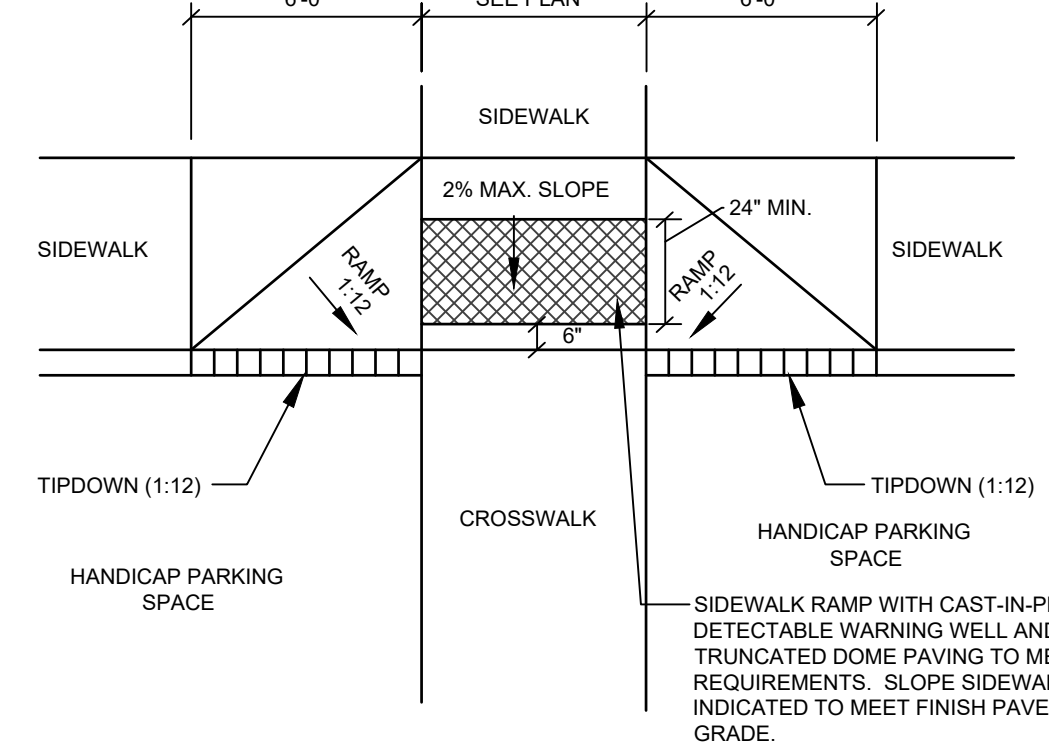
HANDICAP SIGN
NOT TO SCALE



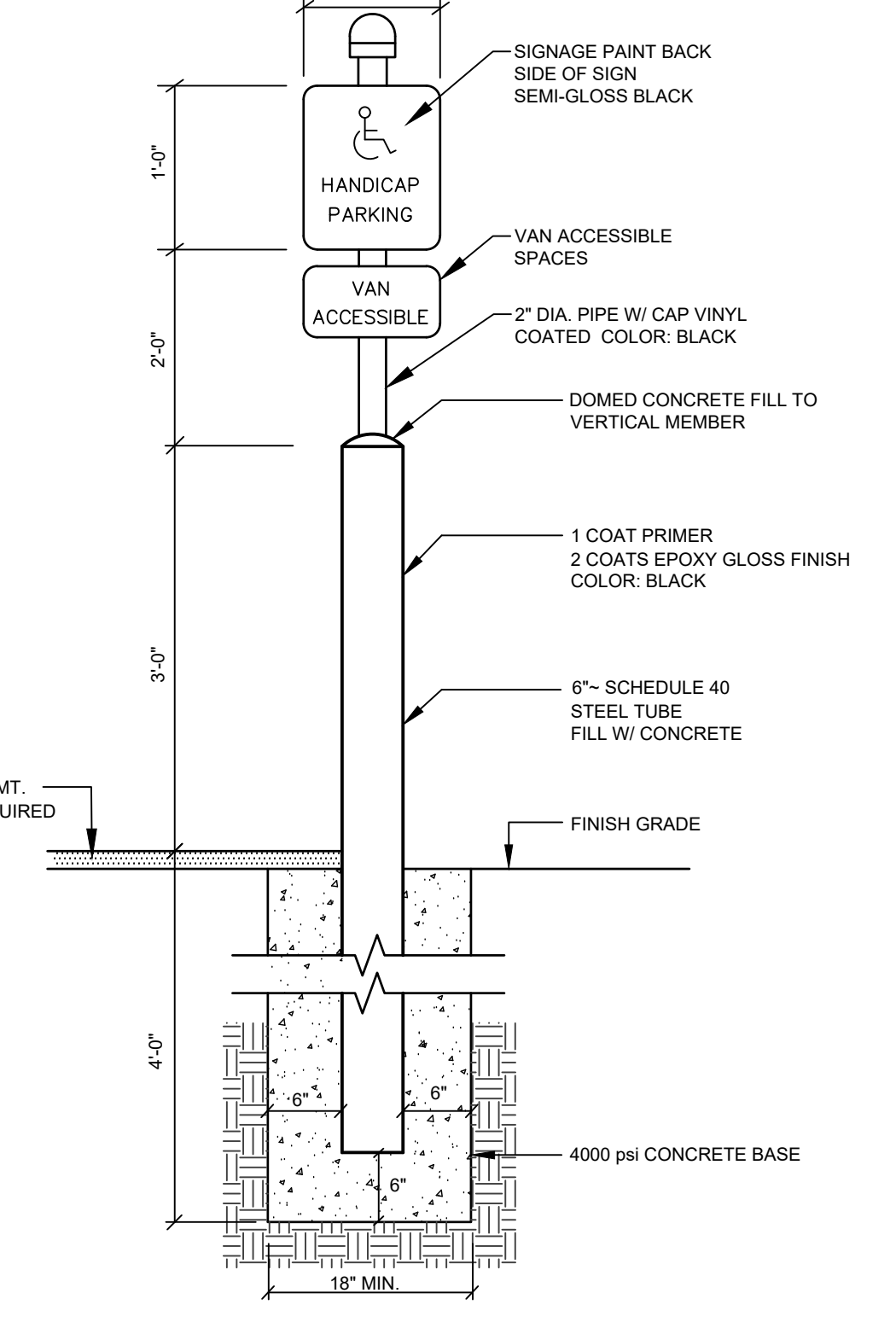
STOP SIGN
NOT TO SCALE



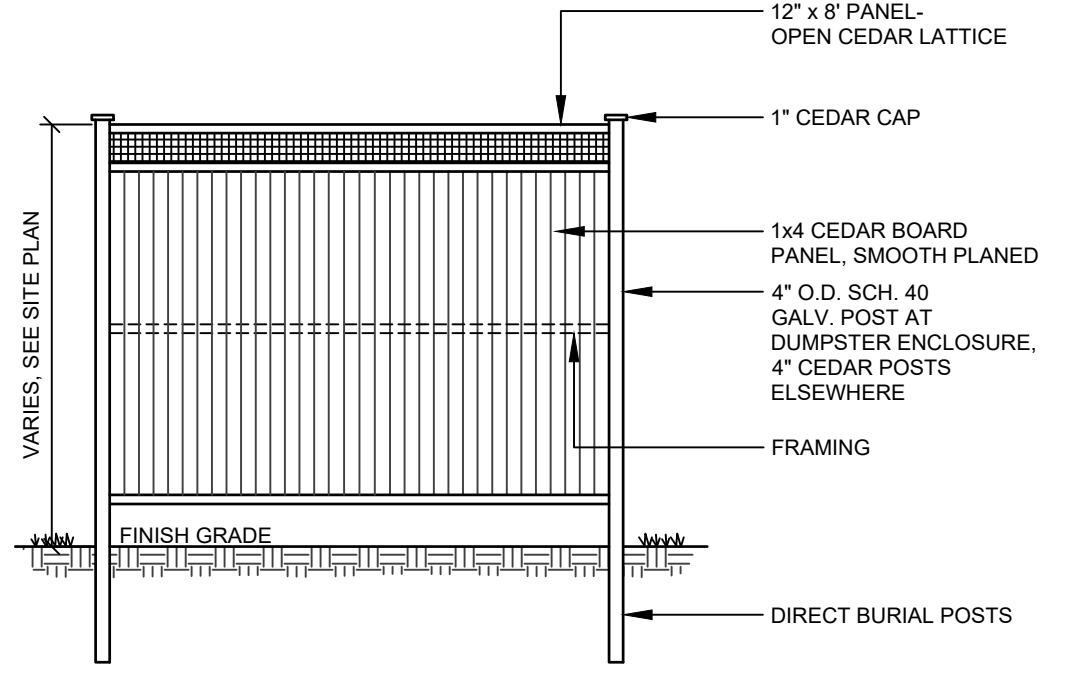
DUMPSTER PAD ENCLOSURE
NOT TO SCALE



HANDICAP RAMP
NOT TO SCALE

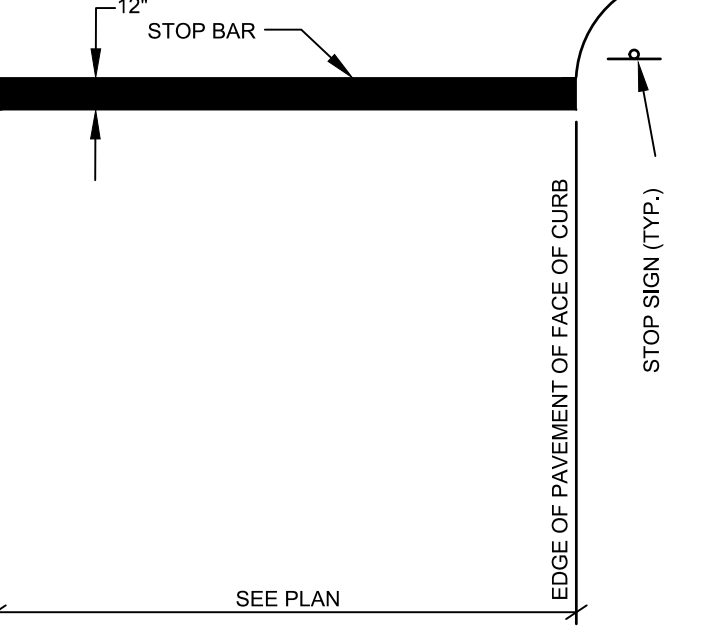


SIGNS IN METAL BOLLARD
NOT TO SCALE

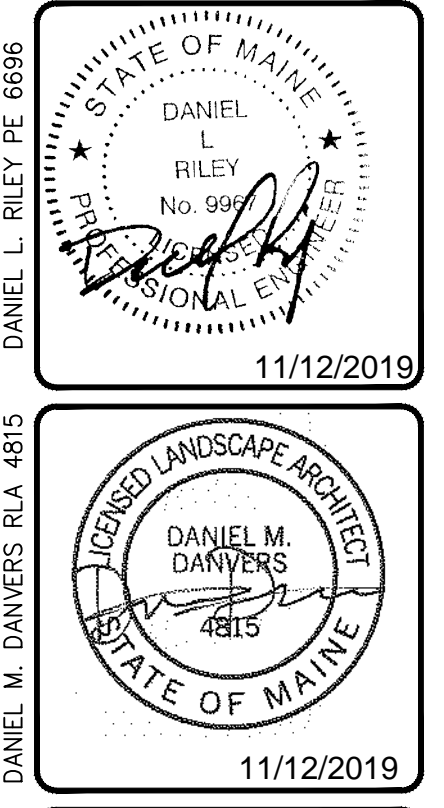


- NOTES:
1. FACE GOOD SIDE TOWARD BUILDING
 2. ALL WOOD SHALL BE NO. 1 GRADE CEDAR
 3. SUBMIT PHOTOS AND SHOP DRAWING ON FENCE CEDAR LAYOUT
 4. ALONG PROPERTY LINE FACE GOOD SIDE TOWARD NEIGHBOR

WOOD SCREEN FENCE
NOT TO SCALE



STOP BAR
NOT TO SCALE



NOT FOR CONSTRUCTION

DATE	11-12-19	STATUS	SUBMIT TO CITY OF PORTLAND
REV	BY	DATE	STATUS
A	DMD	11-12-19	SUBMIT TO CITY OF PORTLAND

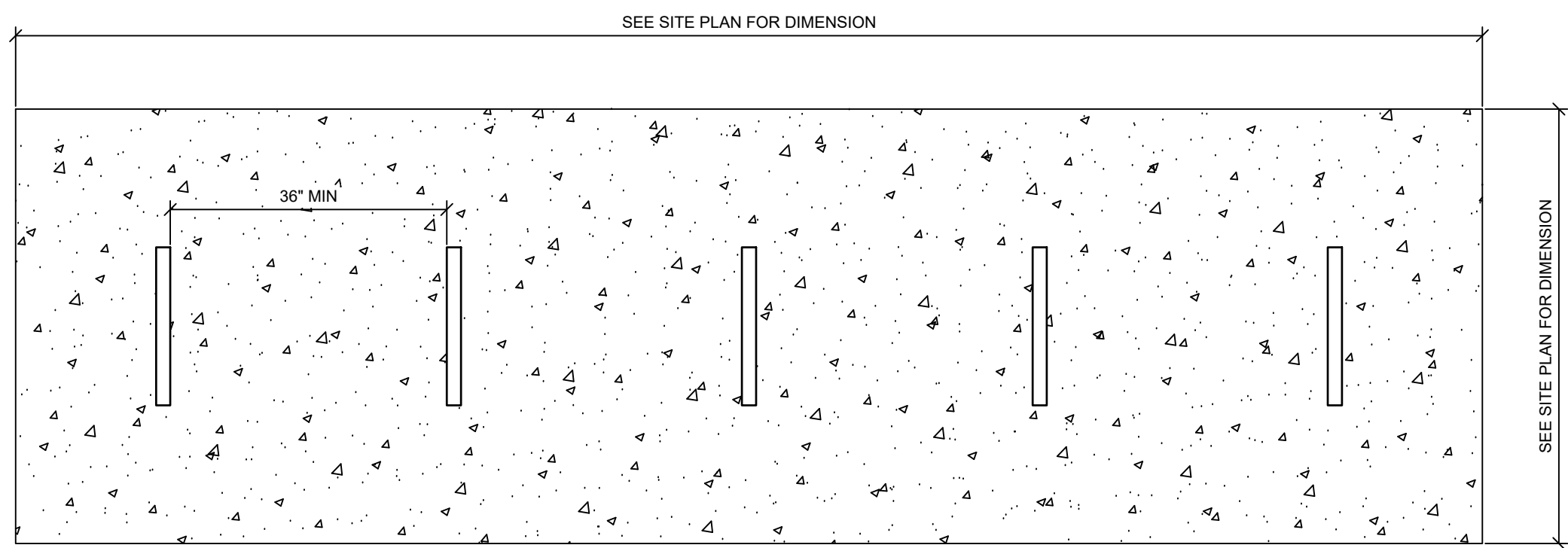
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DETAILS 2
OF:
FALLBROOK COMMONS
DRAWN BY: RAY STREET
CHECKED BY: DLR
DATE: 11/12/19
SCALE: NTS
PROJECT: 18347

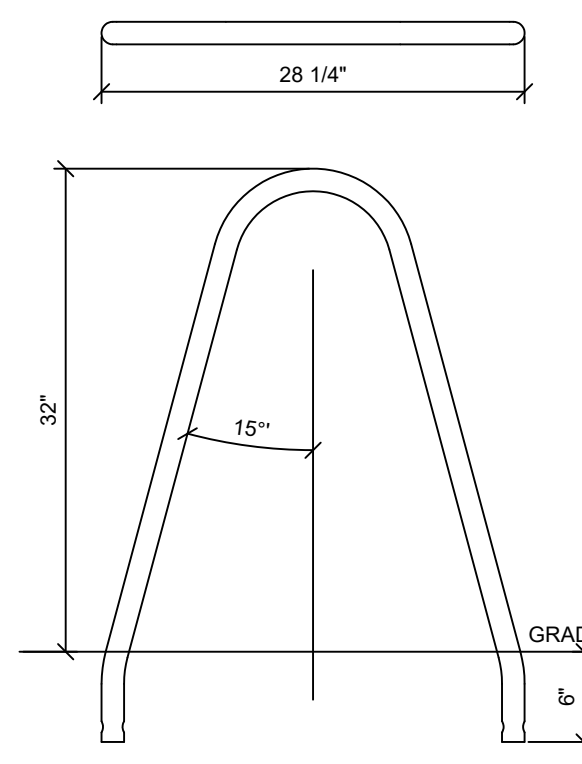
FOR:
FALLBROOK COMMONS DEVELOPMENT LLC.
217 COMMERCIAL STREET, SUITE 201
PORTLAND, MAINE 04102
TEL: 207-206-2100

DESIGNED	DMD
DRAWN	SRG
CHECKED	DLR
DATE	11/12/19
SCALE	NTS
PROJECT	18347



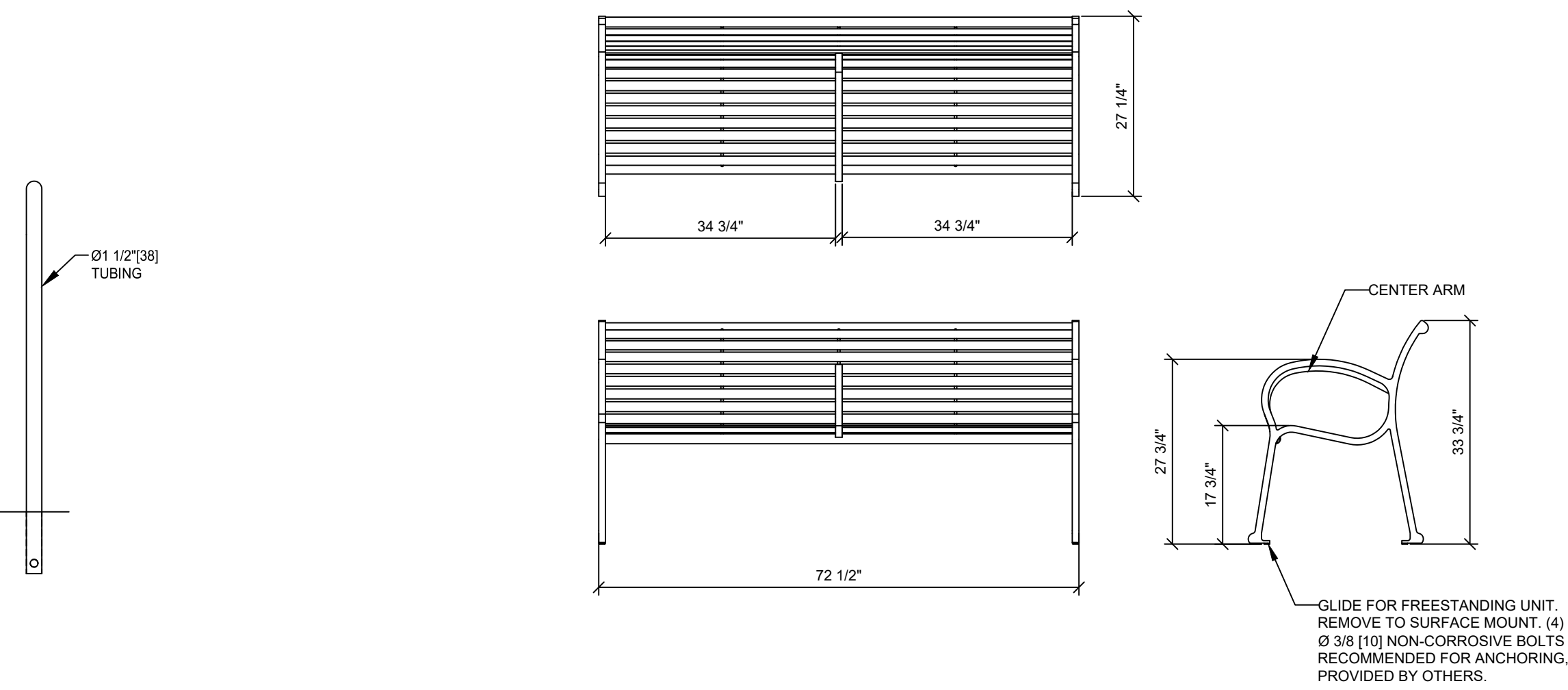
- NOTES:**
1. PLACE BIKE RACKS IN A SERIES NO LESS THAN 36" APART TO ALLOW EASY ACCESS.
 2. ALLOW A MINIMUM OF 36" BETWEEN THE END OF A BIKE RACK AND A WALL OR OBSTACLE.

BIKE RACK PLACEMENT
NOT TO SCALE

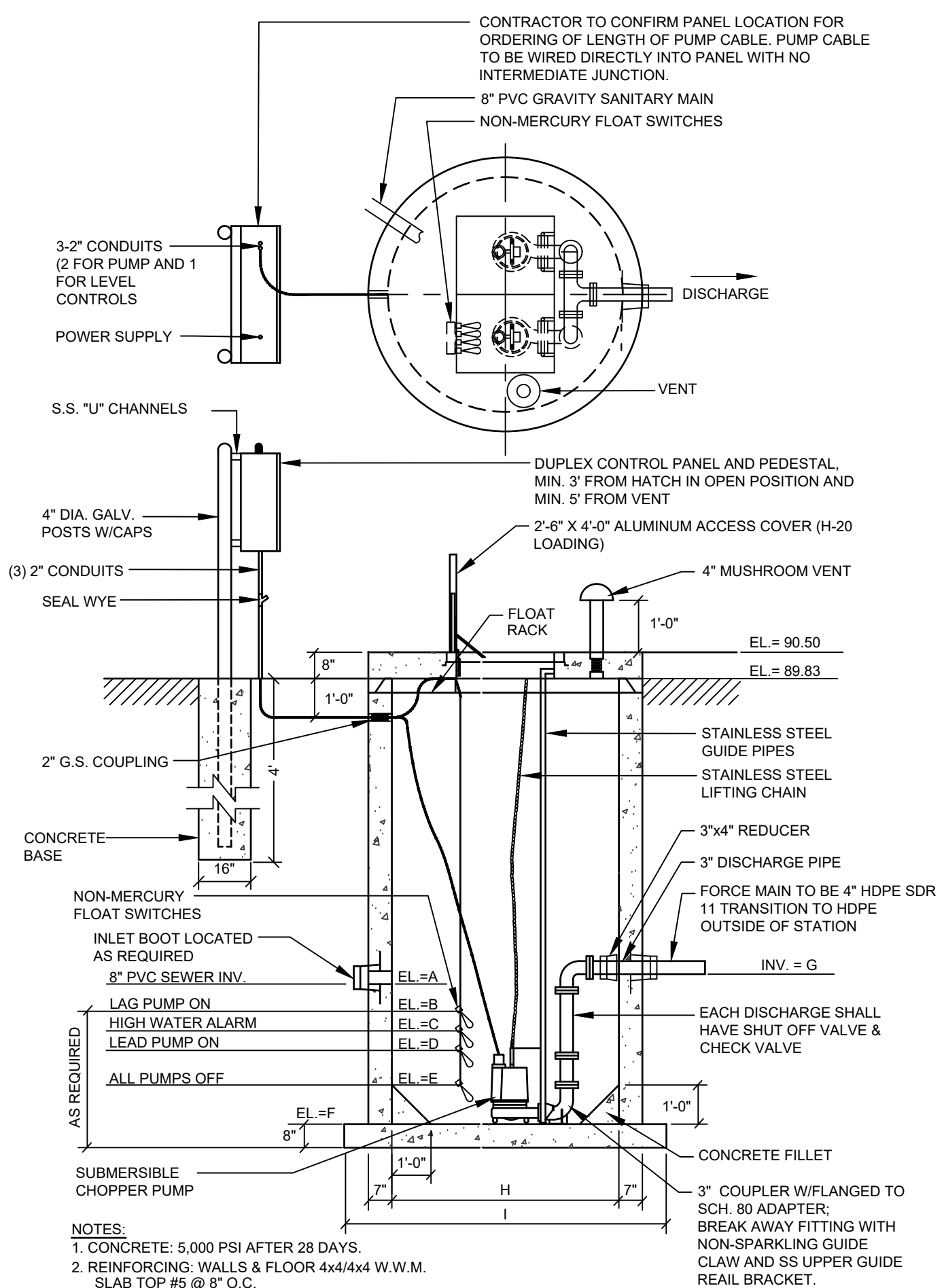


NOTE: BIKE RACK UNIT TO BE PLACED ON BIKE RACK PAD - SEE SITE PLANS

LANDSCAPE FORMS - BOLA BIKE RACK
NOT TO SCALE



LANDSCAPE FORMS SCARBORO BENCH W/ CENTER HANDRAIL
NOT TO SCALE

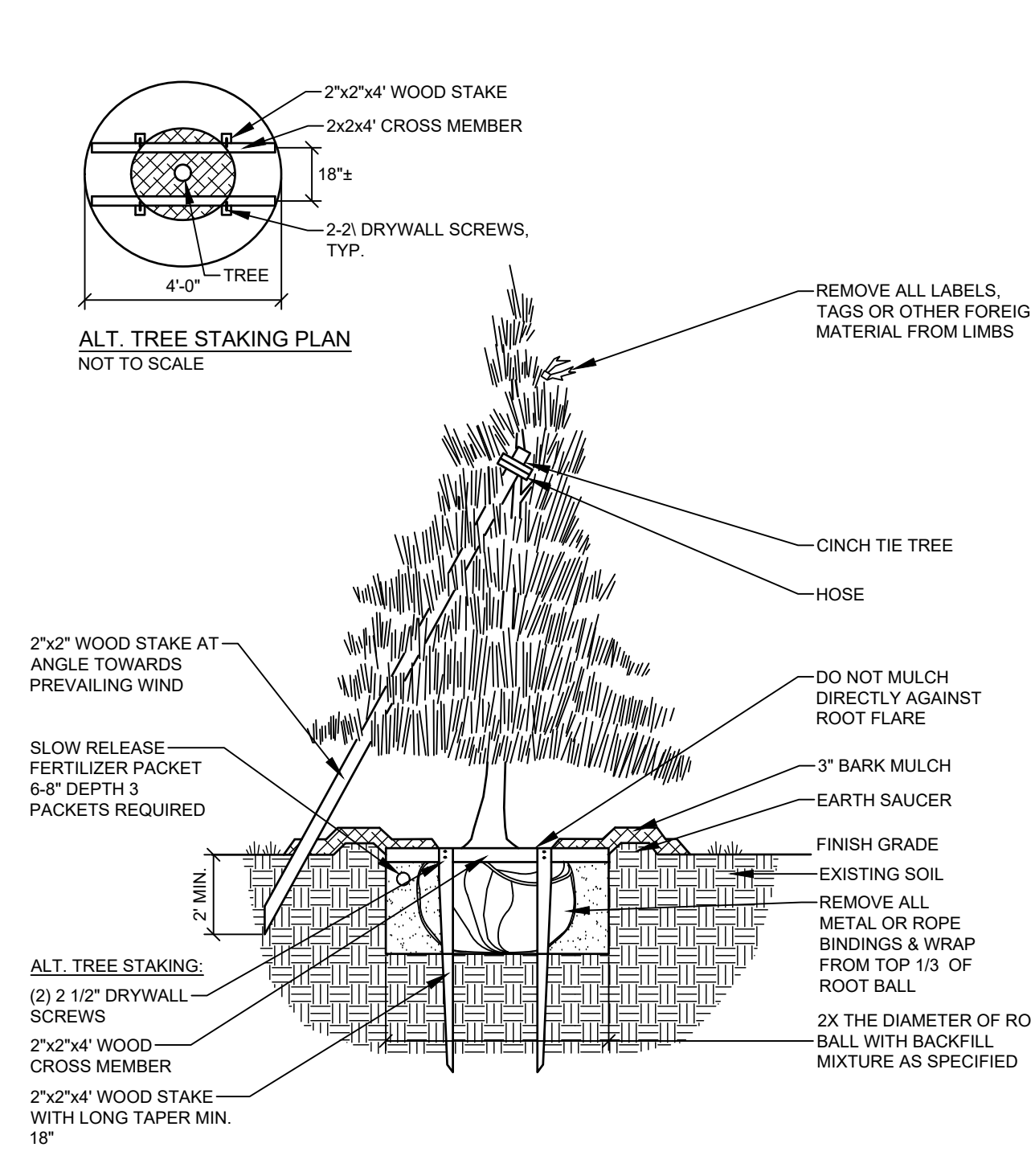


NOTES

1. LIFT STATION SHALL BE DUPLEX LIFT STATION PANEL AND CONTROLS FOR THE OPERATIONS OF 5.0 HP BARNES SITE CHOPPER PUMP OPERATING AT APPROXIMATELY 152 GPM AND 31.3 FT. TD. THE PUMPS ARE MODEL 3003M30A0A, 3-PHASE, 60 HZ, 230 VOLT, 1750 RPM AND 30.5 FLA WITH 185mm IMPELLER.
2. PUMPS SHALL HAVE BREAK AWAY FITTINGS. BREAK AWAY FITTINGS FOR PUMPS SHALL BE NON-SPARKING. PUMPS, HARD WIRE, WIRING, AND CONTROL PANEL TO BE EXPLOSION PROOF.
3. ALL UNDERGROUND ELECTRIC POWER LINES SHALL BE INSTALLED IN PVC CONDUIT. ABOVE GROUND SERVICES SHALL BE INSTALLED IN SCHEDULE 40 GALVANIZED CONDUIT. SIZES AS REQUIRED BY ELECTRIC COMPANY. ALL ELECTRICAL WIRING SHALL MEET ALL LOCAL ELECTRICAL CODE REQUIREMENTS.
4. THE PANEL SHALL BE EQUIPPED WITH AN INNER DOOR THAT HAS ELAPSED TIMED METERS, WARNING LIGHTS FOR TEMPERATURE SENSORS, CONTROL SWITCHES FOR THE INDIVIDUAL PUMPS (AUTO, OFF AND RUN) AND A CONTROL SWITCH FOR THE ALARM WITH TEST AND SILENCE. SEAL AND MOISTURE RELAY SHALL BE SUPPLIED FOR EACH PUMP CONNECTED TO LIGHTS ON INNER DOOR.
5. THE MAIN BREAKERS (CONTROL AND PUMPS) AND FUSES FOR BOTH THE ALARM AND CONTROLS SHALL BE ACCESSIBLE WITHOUT OPENING THE INNER DOOR.
6. THE PANEL SHALL HAVE BOTH AN AMBER VISIBLE ALARM LIGHT AND AN AUDIBLE PIEZO 80DB ALARM. THE ENCLOSURE SHALL BE A STAINLESS STEEL NEMA 4X RATED, UL988A COMPLIANT LISTED ENCLOSURE RATED FOR THE PUMPS WITH A WIRING SCHEMATIC PROVIDED ON THE INNER FACE OF THE PANEL DOOR. THE DOOR SHALL HAVE A WEATHER SEAL AND LOCKABLE LATCHES.
7. THE PANEL SHALL HAVE THE REQUIRED CIRCUITRY: CONTROLLERS, CIRCUIT BREAKERS, DELAYS, MOTOR STARTERS, RELAYS, TERMINAL BLOCK AND GROUNDING REQUIRED TO OPERATE THE PUMPS IN AN ALTERNATING SEQUENCE.
8. THE PANEL SHALL BE MANUFACTURED BY PRIMEX CONTROLS OR APPROVED EQUIVALENT.
9. THE PUMPS, CONTROLS, FLOATS AND FLOAT RACK SHALL BE SUPPLIED BY ONE DISTRIBUTOR OR MANUFACTURER. DISTRIBUTOR OR MANUFACTURER SUPPLYING EQUIPMENT SHALL CONFIRM ALL EQUIPMENT MEETS THE INTENT OF THIS SPECIFICATION, AND THAT ALL EQUIPMENT SUPPLIED IS COMPATIBLE FOR THIS SPECIFIC APPLICATION. ALL EQUIPMENT SUPPLIED REQUIRING FACTORY START-UP TO OBTAIN WARRANTY SHALL BE INCLUDED AND PERFORMED BY FACTORY AUTHORIZED PERSONNEL. ANY DEFICIENCIES SHALL BE ADDRESSED PRIOR TO FINAL ACCEPTANCE.
10. PUMP POWER/CONTROL CABLES AND FLOAT CABLES SHALL BE ROUTED IN WET WELL IN SEPARATE CONDUITS WITH THE PROPER EXPANSION JOINTS AND SEAL-OFFS. WHEN REQUIRED FOR REMOTELY MOUNTED CONTROL PANELS EXCEEDING SUPPLIED EQUIPMENT CABLE LENGTHS, APPROPRIATELY RATED JUNCTION BOXES SHALL BE INSTALLED OUTSIDE OF THE PUMP STATION CHAMBER AT A LOCATION ACCEPTABLE TO ENGINEER TO MEET ALL STATE AND LOCAL CODES. WIRE SIZING AND CONDUITS FEEDING AND LEAVING THE CONTROL PANEL SHALL BE PROPERLY SIZED, SHALL SUPPORT THE LOAD OF TWO PUMPS OPERATING AND MEET ALL APPLICABLE LOCAL & STATE ELECTRICAL CODES.
11. PUMPS SHALL BE PROVIDED WITH MOISTURE SENSORS MATCHED TO THE PUMPS.
12. FLOAT CONTROLS SHALL BE NON-MERCURY MECHANICAL FLOATS.
13. CONCRETE: 5,000 PSI AFTER 28 DAYS. REINFORCING STEEL MIN. YIELD STRESS OF 40,000 PSI.
14. REINFORCING: WALLS & FLOOR 4X4X4 W.W.M. SLAB TOP #5 @ 8\"/>

PUMP STATION	PUMP STATION SCHEDULE								
	A	B	C	D	E	F	G	H	I
1	82.0	81.5	81.0	80.5	78.5	77.0	85.0	6.0	9.17

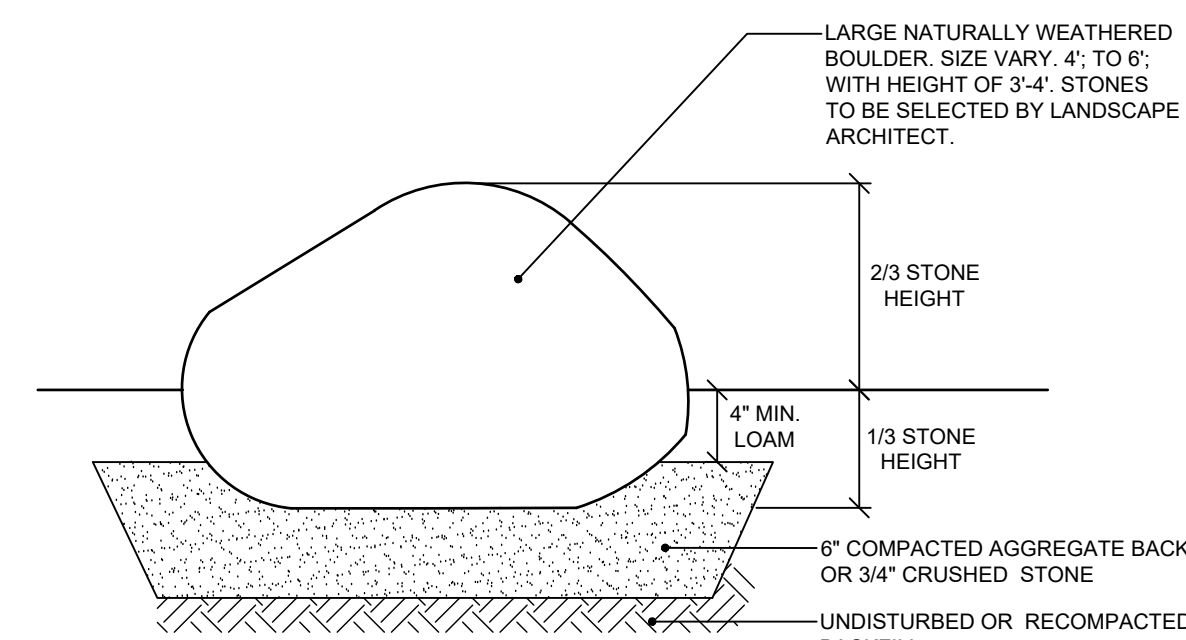
PUMP STATION
NOT TO SCALE



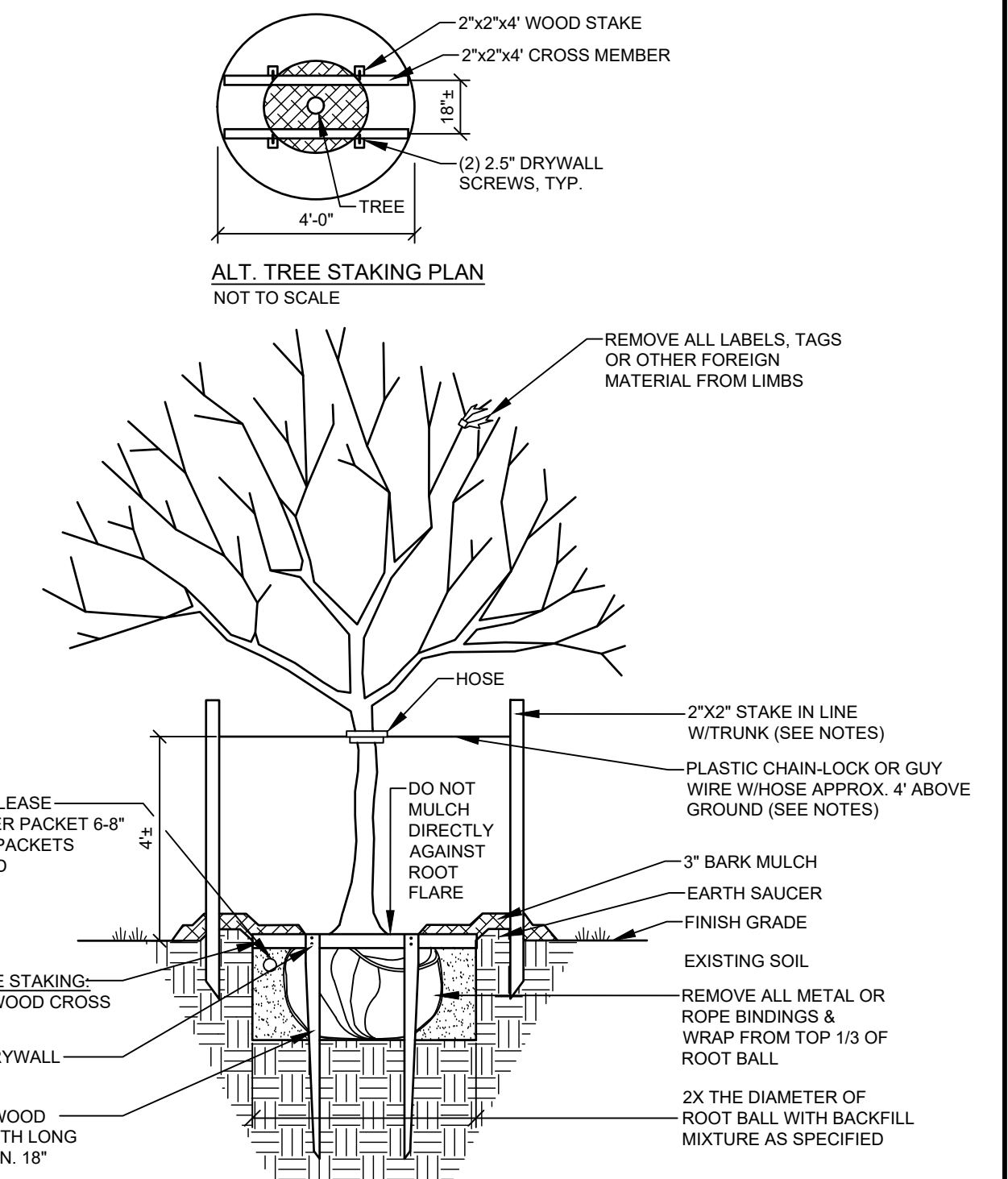
NOTES:

1. INSTALL STAKES AND GUYS TO TREES IF THE FOLLOWING APPLY:
2. THE TREE IS OF SUBSTANTIAL SIZE.
3. THE PLANTING LOCATION IS EXTREMELY WINDY, AS ON OPEN UNDEVELOPED SITES.
4. IF STAKES AND GUYS ARE REQUIRED, REMOVE AFTER ONE YEAR TIME.

EVERGREEN TREES
NOT TO SCALE



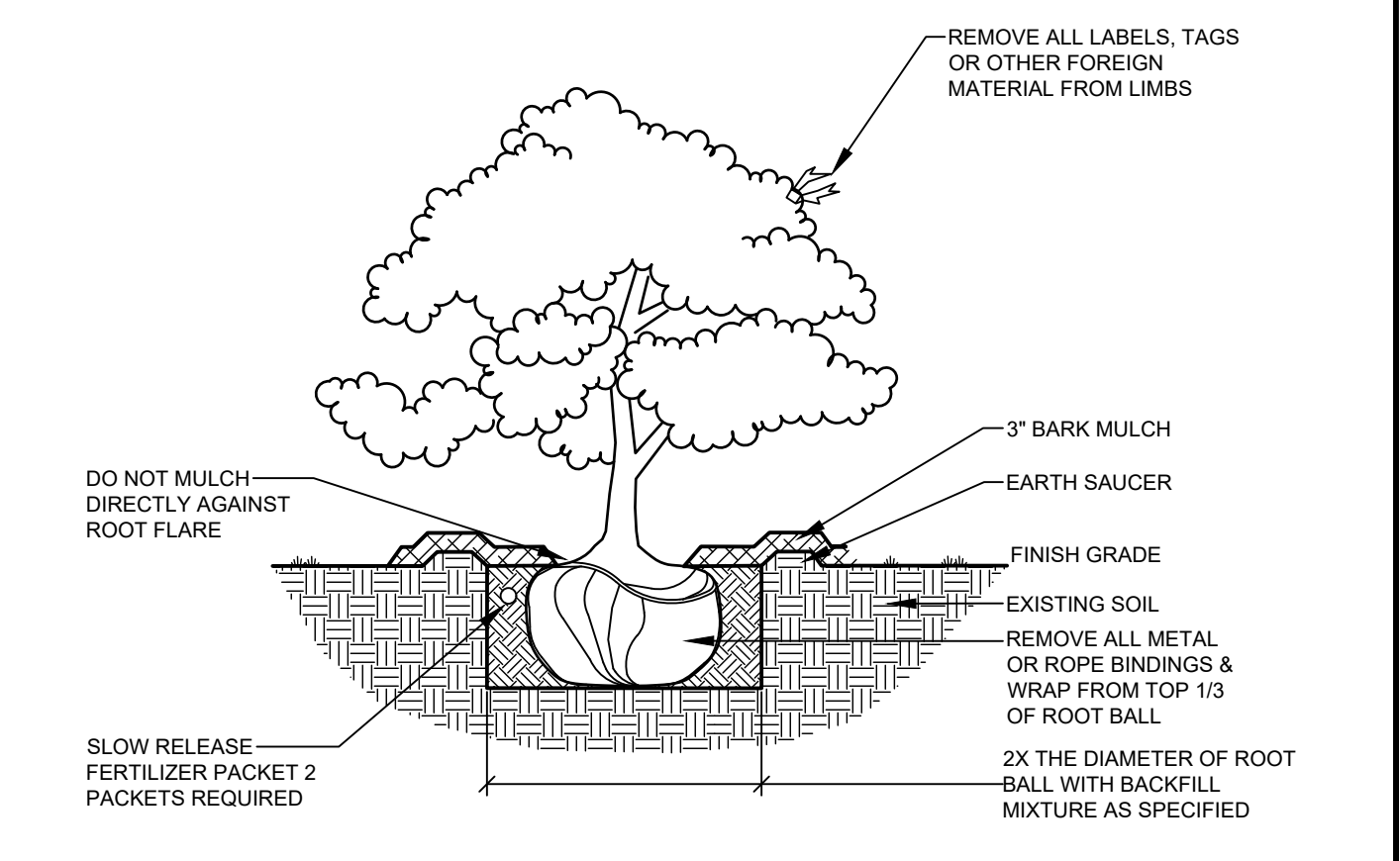
BOULDER INSTALLATION
NOT TO SCALE



NOTES:

1. INSTALL STAKES AND GUYS TO TREES IF THE FOLLOWING APPLY:
2. THE TREE IS OF SUBSTANTIAL SIZE.
3. THE PLANTING LOCATION IS EXTREMELY WINDY, AS ON OPEN UNDEVELOPED SITES.
4. IF STAKES AND GUYS ARE REQUIRED, REMOVE AFTER ONE YEAR TIME.

DECIDUOUS TREES
NOT TO SCALE



DECIDUOUS & EVERGREEN SHRUB
NOT TO SCALE

DANIEL L. RILEY PE 6986
11/12/2019
DESIGNED LANDSCAPE ARCHITECT
DANIEL M. DANFORS RLA 4815
11/12/2019

NOT FOR CONSTRUCTION

DATE:	11-12-19
BY:	DMD
FOR:	CITY OF PORTLAND
PROJECT:	STATISTICAL

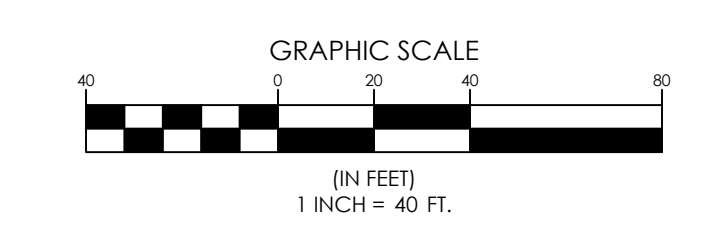
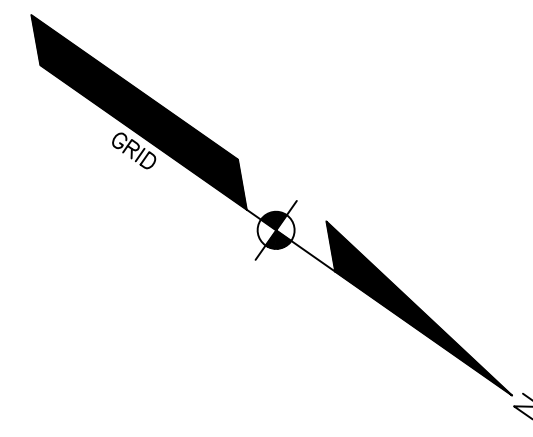
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SEBAGO
TECHNICAL
75 JOHNSON ST. PORTLAND, ME 04106
WWW.SEAGOTECHNICALS.COM
TEL: 207-209-2100

DETAILS 3
OF:
FALLBROOK COMMONS
RAY STREET
PORTLAND, MAINE
FOR:
FALLBROOK COMMONS DEVELOPMENT LLC.
217 COMMERCIAL STREET, SUITE 201
PORTLAND, MAINE 04102

DESIGNED	DMD
DRAWN	SRG
CHECKED	DLR
DATE	11/12/19
SCALE	NTS
PROJECT	18347

SHEET 17 OF 19



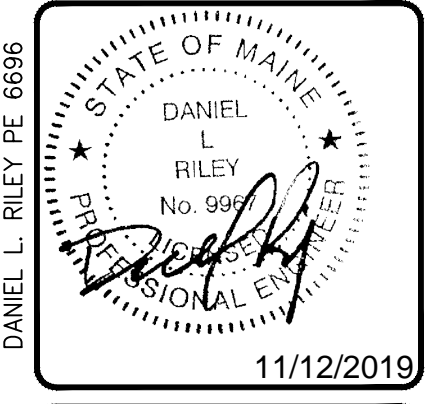
- LEGEND**
- WATERSHED BOUNDARY
 - TIME OF CONCENTRATION
 - REACH
 - WATERSHED LABEL
 - REACH
 - DETENTION POND
 - STUDY POINT
 - SOILS BOUNDARY
 - SOIL TYPES

SOIL TYPES

SOIL SERIES	SYMBOL	HYDROLOGIC GROUP
BELGRADE	BbB	D
BUXTON	HbB	D
HOLLIS	HbC	D
HOLLIS	HbB	D
SCANTIC	Sb	D

NOTES

- SOIL INFORMATION FOR THE SITE WAS OBTAINED VIA THE USDA UNITED STATES DEPARTMENT OF AGRICULTURE AND NATURAL RESOURCES CONSERVATION SERVICES WEB SOIL SURVEY.



NOT FOR CONSTRUCTION

DATE	11/12/19	SUBMIT TO CITY OF PORTLAND
REV. BY:	DATE:	STATUS:
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNIQUES, INC. ANY ALTERATIONS, ADDITIONS OR DELETIONS SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNIQUES, INC.		

SEBAGO
ENGINEERS ARCHITECTS
75 JOHNSON AVENUE, SUITE 204
SOUTH PORTLAND, ME 04106
TEL: 207-266-2100

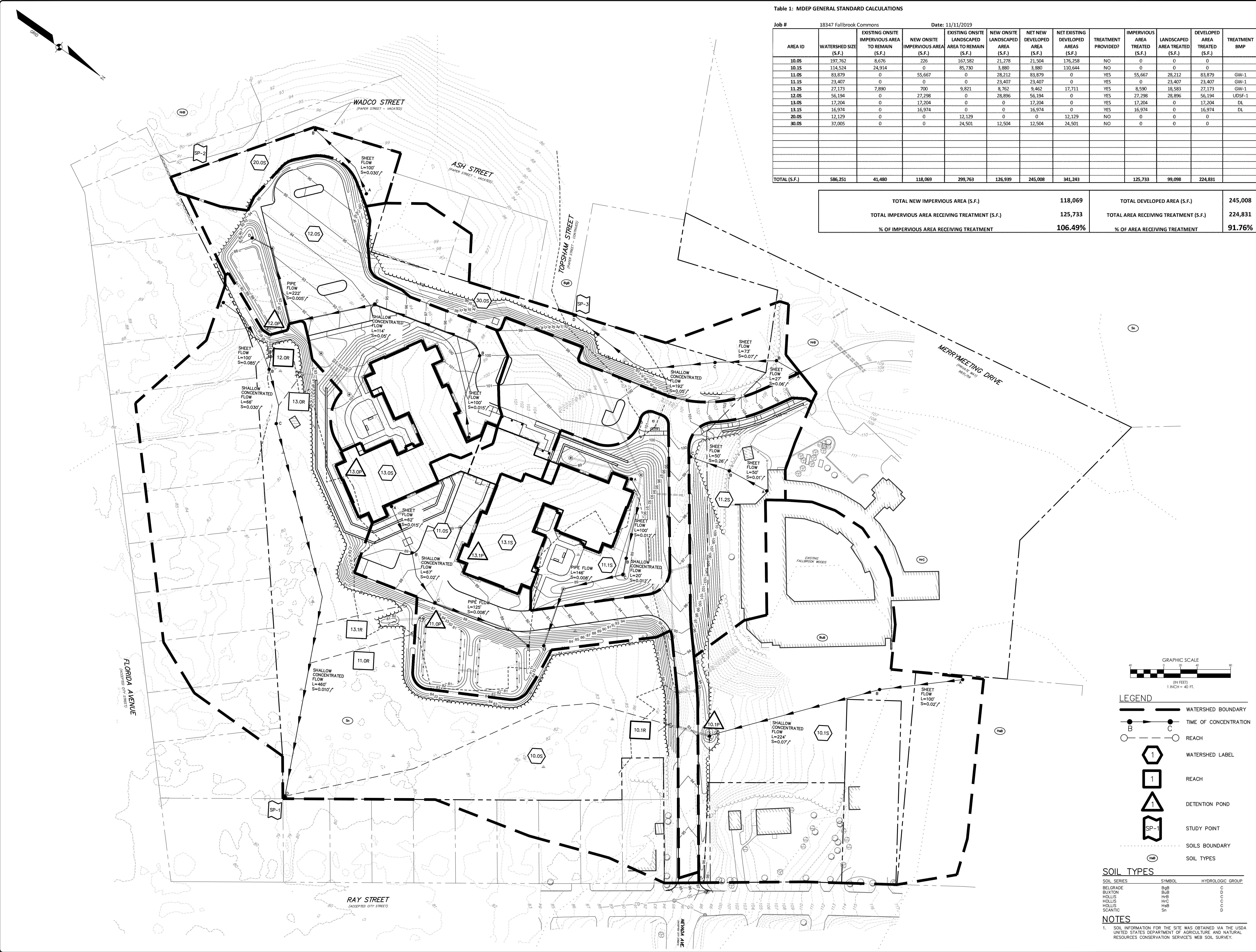
PRE-DEVELOPMENT STORMWATER PLAN
OF:
FALLBROOK COMMONS
PORTLAND, MAINE
FOR:
FALLBROOK COMMONS DEVELOPMENT LLC.
200 COMMERCIAL STREET, SUITE 201
PORTLAND, MAINE 04112

DESIGNED	DMD
DRAWN	SRG
CHECKED	DLR
DATE	11/12/19
SCALE	1" = 40'
PROJECT	18347

Table 1: MDEP GENERAL STANDARD CALCULATIONS

Job #	18347 Fallbrook Commons							Date: 11/11/2019				
AREA ID	WATERSHED SIZE (S.F.)	EXISTING ONSITE IMPERVIOUS AREA TO REMAIN (S.F.)	NEW ONSITE IMPERVIOUS AREA (S.F.)	EXISTING ONSITE LANDSCAPED AREA TO REMAIN (S.F.)	NEW ONSITE LANDSCAPED AREA (S.F.)	NET NEW DEVELOPED AREA (S.F.)	NET EXISTING DEVELOPED AREAS (S.F.)	TREATMENT PROVIDED?	IMPERVIOUS AREA TREATED (S.F.)	LANDSCAPED AREA TREATED (S.F.)	DEVELOPED AREA TREATED (S.F.)	TREATMENT BMP
10.05	197,762	8,676	226	167,582	21,278	21,504	176,258	NO	0	0	0	
10.15	114,524	24,914	0	85,730	3,880	3,880	110,644	NO	0	0	0	
11.05	83,879	0	55,667	0	28,212	83,879	0	YES	55,667	28,212	83,879	GW-1
11.15	23,407	0	0	0	23,407	23,407	0	YES	0	23,407	23,407	GW-1
11.25	27,173	7,890	700	9,821	3,762	9,462	17,711	YES	8,590	18,583	27,173	GW-1
12.05	56,194	0	27,298	0	28,896	56,194	0	YES	27,298	28,896	56,194	LIDSF-1
13.05	17,204	0	17,204	0	0	17,204	0	YES	17,204	0	17,204	DL
13.15	16,974	0	16,974	0	0	16,974	0	YES	16,974	0	16,974	DL
20.05	12,129	0	0	12,129	0	0	12,129	NO	0	0	0	
30.05	37,005	0	0	24,501	12,504	12,504	24,501	NO	0	0	0	
TOTAL (S.F.)	586,251	41,480	118,069	299,763	126,939	245,008	341,243		125,733	99,098	224,831	

TOTAL NEW IMPERVIOUS AREA (S.F.)	118,069	TOTAL DEVELOPED AREA (S.F.)	245,008
TOTAL IMPERVIOUS AREA RECEIVING TREATMENT (S.F.)	125,733	TOTAL AREA RECEIVING TREATMENT (S.F.)	224,831
% OF IMPERVIOUS AREA RECEIVING TREATMENT	106.49%	% OF AREA RECEIVING TREATMENT	91.76%



DANIEL L. RILEY P.E. 6968
11/12/2019

NOT FOR CONSTRUCTION

REVISIONS

NO.	DATE	DESCRIPTION
1	11/12/19	FOR CITY OF PORTLAND

SEBAGO
ENGINEERS ARCHITECTS

75 JOHNSON AVENUE
SOUTH PORTLAND, ME 04106
TEL: 207-266-2100

POST-DEVELOPMENT STORMWATER PLAN
OF:
FALLBROOK COMMONS
PORTLAND, MAINE

FOR:
FALLBROOK COMMONS DEVELOPMENT LLC.
202 COMMERCIAL STREET, SUITE 201
PORTLAND, MAINE 04112

DESIGNED	DMD
DRAWN	SRG
CHECKED	DLR
DATE	11/12/19
SCALE	1" = 40'
PROJECT	18347

SHEET 19 OF 19

GRAPHIC SCALE
1 INCH = 40 FT.

LEGEND

- WATERSHED BOUNDARY
- TIME OF CONCENTRATION
- REACH
- ① WATERSHED LABEL
- REACH
- △ DETENTION POND
- SP-1 STUDY POINT
- SOILS BOUNDARY
- Ⓜ SOIL TYPES

SOIL TYPES

SOIL SERIES	SYMBOL	HYDROLOGIC GROUP
BELGRADE	BuB	D
BLUXTON	BuB	D
HOLLIS	HuB	D
HOLLIS	HuB	D
SCANTIC	Su	D

NOTES

- SOIL INFORMATION FOR THE SITE WAS OBTAINED VIA THE USDA UNITED STATES DEPARTMENT OF AGRICULTURE AND NATURAL RESOURCES CONSERVATION SERVICES WEB SOIL SURVEY.

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