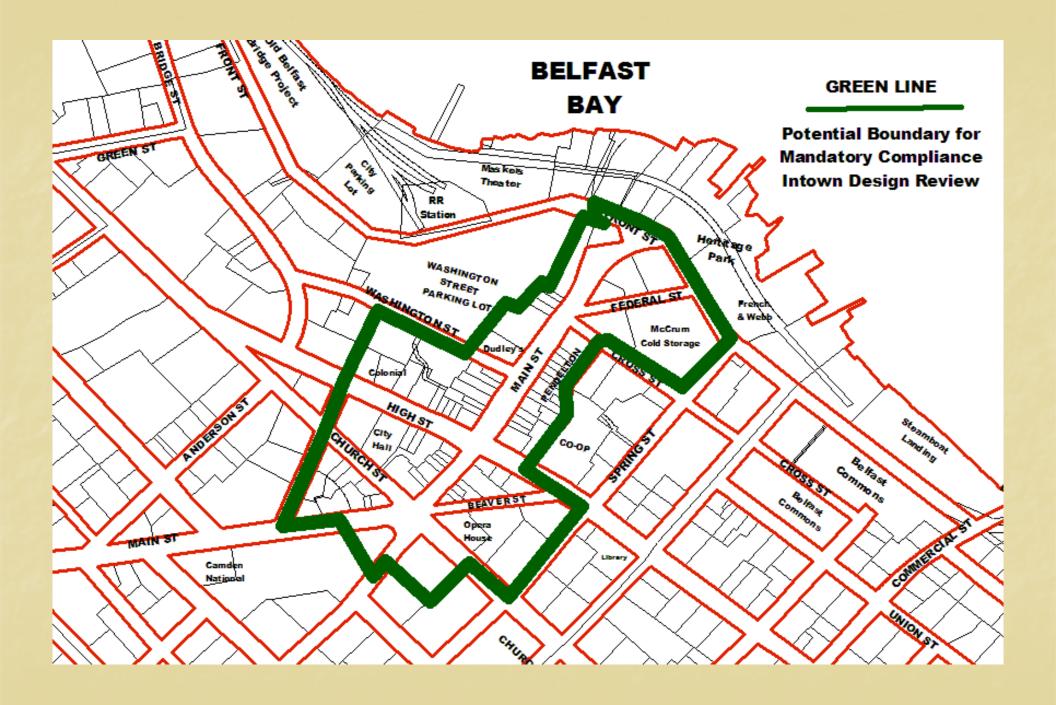




Alan S. Manoian, Dir. of Economic & Community Development Town of Bridgton, ME



Don't Try to Eat It All at Once



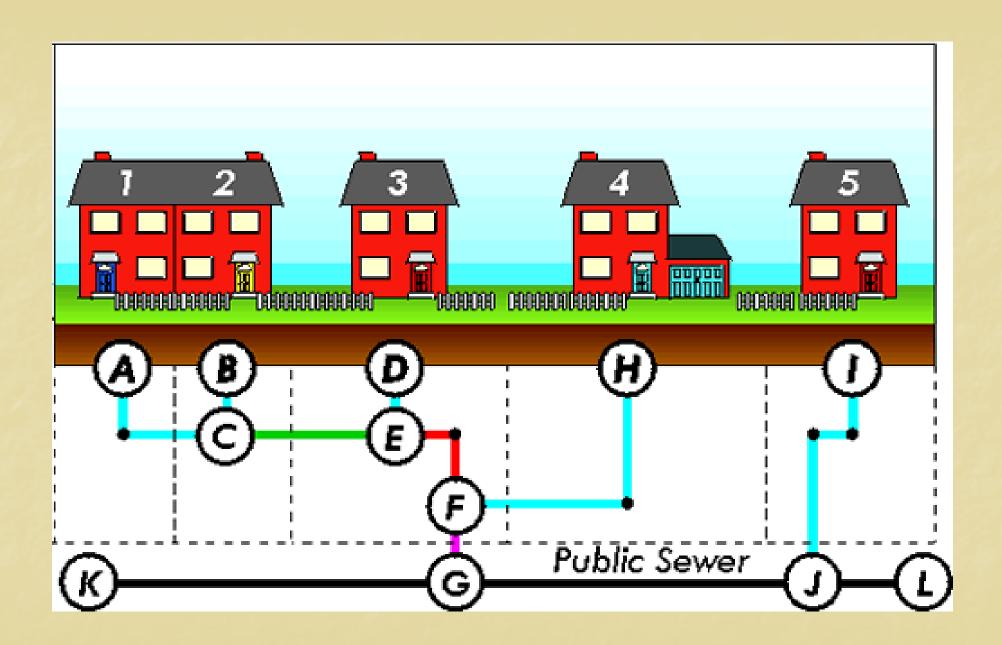


**Accommodation of Walkable Form** 



**Foundation of Public Infrastructure & Amenities** 





The Police Power: Protects Public Health, Safety & Welfare

Deploy Regulations to Invite, not Discourage Sustainable Development

Reducing the Potential for Challenges

**Sound Basis in Planning:** 

Addressed through Charrette Process; The Role of the Comprehensive Plan; Mandatory vs. Advisory; "In Accordance With" vs. "Consistent With";

Explain Links on the Record;

Draft a Supportive Purpose Statement.

**Notice Properly** 

Hold a Fundamentally Fair Hearing

**Support the Decision** 

**Link to Establishing Legislation:** 

Delegation of State Authority to Regulate Land Use;

Promotion of "Innovative" Regulations;

Home Rule;

Draft a Supportive Authority Statement.

#### **Keep In Mind Federal & State Statutes**

#### Live in the Post-Kelo World:

National Dialogue on Land Use Issues; Increased Public Scrutiny of Government Actions.

#### **Examine Non-Conformities:**

Amended Land Development Regulations Should Seek to Minimize Non-conformities; Not Just Uses (Watch in context of Architectural Regulations).

#### **Understand Uniformity:**

Regulations Should Equally Affect Like-Situated Properties;

Origins in SSZEA & Euclid; Create an Internally Consistent District.

#### **Avoid Vagueness:**

"Design Guidelines can prove to be a legal minefield. Guidelines are a combination of law and design administered by committee and applied to a property owner seeking development approval. The number of imaginable problems with this scenario is immeasurable."

Garvin & LeRoy, "Design Guidelines: The Law of Aesthetic Controls" Land use Law & Zoning Digest, April/2003

#### **Avoid Vagueness:**

Design Guidelines vs. Standards

Terms: Quality of Life; Community Character; Consistent with/Different From

Illustrations: Diagrams vs. Photographs

Avoid "Ultra Vires" Delegation

#### **Establish Clear Process:**

Applicants Should be Encouraged;
Path to Approval Should be Easily Understood;
Pre-Application Process;
Multi-Disciplinary Review Teams;
Not every Situation Can be Accounted For;
Create Administrative "Safety Valves" to Ensure a Measure of Flexibility.

Belfast, ME Article IX: Performance Standards;

Sec. 102-1187.

Nonresidential structure design requirements.

The structure design standards are intended to ensure that new nonresidential developments positively contribute to the character of the Route 3 area and the city. Route 3 is a gateway to the city and new development shall use building styles, building materials, and site layouts that help create a vibrant, well-functioning and attractive area in which to eat, shop, obtain services, and work.

These standards are not rigid guidelines, and applicants are encouraged to use creativity in proposing imaginative and attractive new development. Similarly, the Planning Board or CEO should use flexibility in its review of proposed development and the application of these standards to help achieve the city's goal.

#### (1) Structure orientation.

New structures must be well oriented to site characteristics and preferably should present their "best face" toward the main access road (Route 3, Crocker Road, Lincolnville Avenue or Starrett Drive) on which the structure fronts. Further, if the site uses an interior access drive for its main access, and the structure is oriented to this access drive, the applicant shall present "attractive faces" on both the main access road and the interior access drive. This approach routinely includes the construction of an entrance and accompanying sidewalk on the side of the best face, and on any side that faces a public street or service road. No blank facades, service doors or loading areas (potential exceptions for auto service and repair facilities) shall be located on the side facing the main access road or an interior access drive.

- (2) Facades and exterior walls. Facades and exterior walls shall comply with the following requirements:
- a. The facade and exterior walls shall complement the building style proposed by the applicant and shall present an attractive appearance. Further, the relationship of the width to the height of the principal elevations shall be visually compatible with structures, public ways, and open spaces to which it is visually related.
- b. Facades greater than 100 feet in length measured horizontally, should incorporate wall plane projections or recesses that have a depth of at least three percent of the length of the facade and extending at least 20 percent of the length of the facade. No uninterrupted length of any facade shall exceed 100 horizontal feet.
- c. Ground floor facades that face public streets or interior access drives should use building features such as arcades, display windows, entry areas, awnings and other such features along a significant portion of their horizontal length to present an attractive facade.

- d. Building facades should include a repeating pattern that includes no less than three of the following elements:
- 1. Color change;
- 2. Texture change;
- 3. Material module change;
- 4. An expression of architectural or structural bays through a change in plane, such as an offset, reveal or projecting rib that is no less than 12 inches in width. At least one of elements 1., 2., or 3., should repeat horizontally. All elements should repeat at intervals of no more than 30 feet, either horizontally or vertically.

#### **Section 7: Bridgton Review Standards**

"The Standards presented herein are intended to achieve the following objectives: Preserve the traditional New England character of the downtown; to present an attractive Gateway area; facilitate safe vehicular and pedestrian access; protect the value of abutting properties and character of natural surroundings; promote intelligent, attractive, and useful design; ensure economic investment and vitality; anticipate future growth."

#### Gray, ME:

# **Gray Business Transitional District Standards & Guidelines**

"The Town has enacted these Design Guidelines as a tool to supplement the performance standards contained in the Gray land use ordinances. Although there is greater flexibility in meeting the Design Guidelines than in other regulations, they are to be interpreted as being mandatory requirements for all projects within the district."

#### Brunswick, ME:

Village Review Board Design Guidelines:

Façade & Storefront Guidelines:

"The proportion, scale and organization of character-defining features <u>should</u> be maintained when renovating a storefront."

"The <u>expansive areas</u> of glass in display windows should be maintained."

"New storefronts should respond to the patterns and rhythm of neighboring buildings, <u>yet</u> they should reflect the time in which they were constructed."

#### Augusta, ME:

#### **Design Review**

"The purpose of this section is to provide design standards for reviewing commercial development within certain residential and mixed-use zoning districts within Augusta...These standards ensure that public safety, health, and general welfare are protected and the general interest of the public is served. The standards provide for originality, flexibility, and innovation in commercial development, including quality architectural design and outdoor signage that will enhance Augusta as a unique place to live and conduct business."

"If the proposed project <u>fails to meet one or more</u> of the applicable design standards, the application shall be denied."

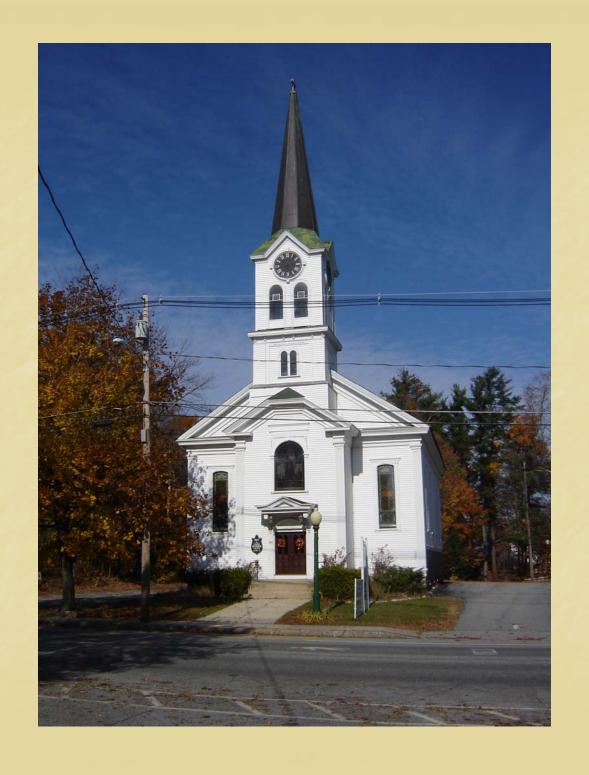
# Bridgton, ME:

"Relationship to Surroundings: Proposed structures or additions to existing structures shall be harmonious with the terrain and existing buildings in the vicinity and shall..."



# Bridgton, ME

- a.) Be of compatible size and scale
- b.) Not exceed 35 feet in height... or above Main Street church steeple
- c.) Be of compatible architectural style, incorporating features such as...





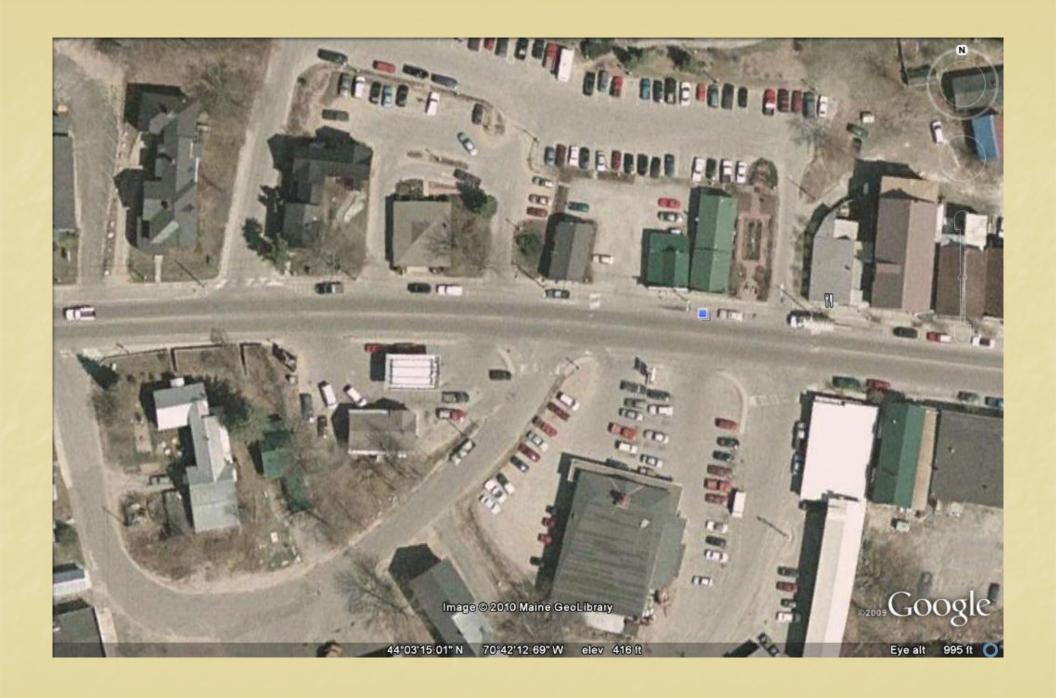


# Bridgton, ME

d.) Include as an integral element of design varying roof lines, awnings and canopies above windows or doors and other architectural elements to reduce bulk or scale of buildings. Designs shall seek to eliminate unadorned or blank walls through use of varying architectural elements, windows or other reflective surfaces.

Bridgton, ME

d.) "The Planning Board shall consider the use, location and surroundings of the structure when determining the appropriateness of the building's façade."



# **Structuring the Coding Process:**

<u>Effectiveness</u>: Does the Code produce the desired "character" and functional form of development? (Do the Standards Work?)

<u>Usability</u>: Does the Code clearly communicate community requirements and expectations? (Sensibly organized, understandable, easy to use?)

Efficiency: Does the Code (and its administrative procedures) make it easy for the applicant to do what the community wants?

# The Methods of Deployment Where Does the Code Live?

Mandatory Code

(freestanding form-based code).

Mandatory Code

(integrated into existing code).

Optional (Parallel) Code

Floating Zone Code

Belfast, ME

**Part II: Code of Ordinances** 

**Subpart A: General Ordinances** 

**Chapter 1: General Provisions** 

**Chapter 2: Administration** 

**Chapter 6: Amusement & Entertainment** 

**Chapter 38: Parks & Recreation** 

Chapter 50: Streets, Sidewalks, and other Public Places

**Chapter 58: Traffic & Vehicles** 

**Chapter 62: Utilities** 

#### Subpart B: Land Use Regulations

**Chapter 66: General Provisions** 

**Chapter 70: Administration** 

**Chapter 74: Buildings & Building Regulations** 

**Chapter 76: Comprehensive Plan** 

Chapter 80: In-Town Commercial Design Review

**Chapter 86: Signs** 

**Chapter 90: Site Plans** 

**Chapter 94: Subdivisions** 

**Chapter 98: Technical Standards** 

**Chapter 102: Zoning** 

#### **CONVENTIONAL USE-BASED ZONING**

USE

ADMIN.

**FORM** 

#### **TRADITIONAL FORM-BASED CODES**

**FORM** 

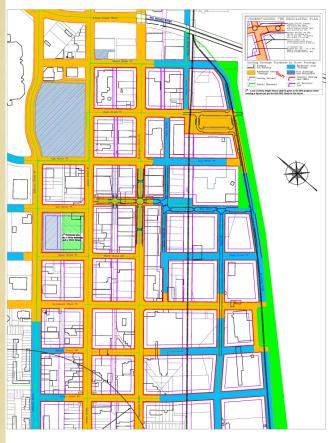
ADMIN.

**USE** 

# The Organizing Principles

- Street-Type Codes
- Frontage Type-Based Codes
- Building Type-Based Codes
- Transect-Based Codes
- Modified Transect-Based Codes

# HEART OF PEORIA





# Peoria, Illinois

Project: A Masterplan with Form-Based Codes for the 8,000-Acre Heart of Peoria center city area

Client: City of Peoria, Illinois Contact: Patricia Landes, Planning Director, 305.494.8600

Status: Charrette/Master Planning Summer 2006; Comprehensive Plan amended and Form-District Codes Spring 2007; full Land Development Code adopted June 2007







Farmers Branch Station Area Conceptual Master Plan(top). Land use plan, Farmers **Branch Station Area Conceptual Master** Plan (middle). Regulating Plan (bottom). The clear spirit, intent and integrity of the citizen-endorsed Master Plan for the Station Area is imbued in the Regulating Plan of the form-based code.

10 Form-Based Code — Station Area

# A. Purpose

The Station Area Form-Based Code is designed to foster a vibrant town center for Farmers Branch through a lively mix of uses-with shopfronts, sidewalk cafes, and other commercial uses at street level, overlooked by canopy shade trees, upper story residences and offices.

Redevelopment within the Station Area shall be regulated by the Station Area Form-Based Code in order to achieve the vision set forth in the Farmers Branch Station Area Conceptua Master Plan. The Station Area Conceptual Master Plan was produced through a series of public meetings and workshop that took place during 2001 and 2002. The Station Area Conceptual Master Plan was adopted by the City Council on July 22, 2002 with the approval of Resolution No. 2002-

The Station Area Form-Based Code provides the specific means to guide implementation of the citizen-endorsed vision for the development and redevelopment of all properties in the Station Area. However, the ultimate configuration of the Dallas Area Rapid Transit (DART) light rail station and associated improvements are shown only for illustrative purposes.

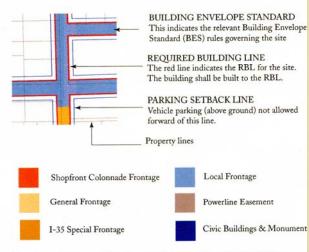
The Station Area Form-Based Code (also referred to herein as the "Form-Based Code" or the "Code") is a legal document that regulates land-development by setting careful and coherent controls on building form-while employing more flexible parameters relative to building use and density. Th greater emphasis on physical form is intended to produce safe, attractive and enjoyable public spaces (good streets, neighborhoods and parks) complemented with a healthy mix of uses. With proper urban form, a greater integration of building uses is natural and comfortable. The Form-Based Code uses simple and clear graphic prescriptions and parameters for height, siting, and building elements to address the basic necessities for forming good public space.

Wherever there appears to be a conflict between the Station Area Form-Based Code and other sections of the Farmers Branch Comprehensive Zoning Ordinance (as applied to a particular development in the Station Area), the requirements specifically set forth in the Form-Based Code shall prevail. For development standards not covered by the Form-Based Code, the other applicable sections in the Farmers Branch Comprehensive Zoning Ordinance shall be used as the requirement. Similarly, all development must comply with all relative Federal, State or local regulations and ordinances.

# A. Understanding the REGULATING PLAN

A regulating plan provides standards for the disposition of each property or lot and illustrates how each relates to the adjacent properties and STREET-SPACE. Building on the Farmers Branch public meetings and workshops that took place during 2001 and 2002 and the adoption of the Station Area Conceptual Master Plan by the City Council on July 22 (with the approval of Resolution No. 2002-076), a regulating Plan has been produced for the Farmers Branch Station Area.

Building Sites are Coded by their STREET FRONTAGE



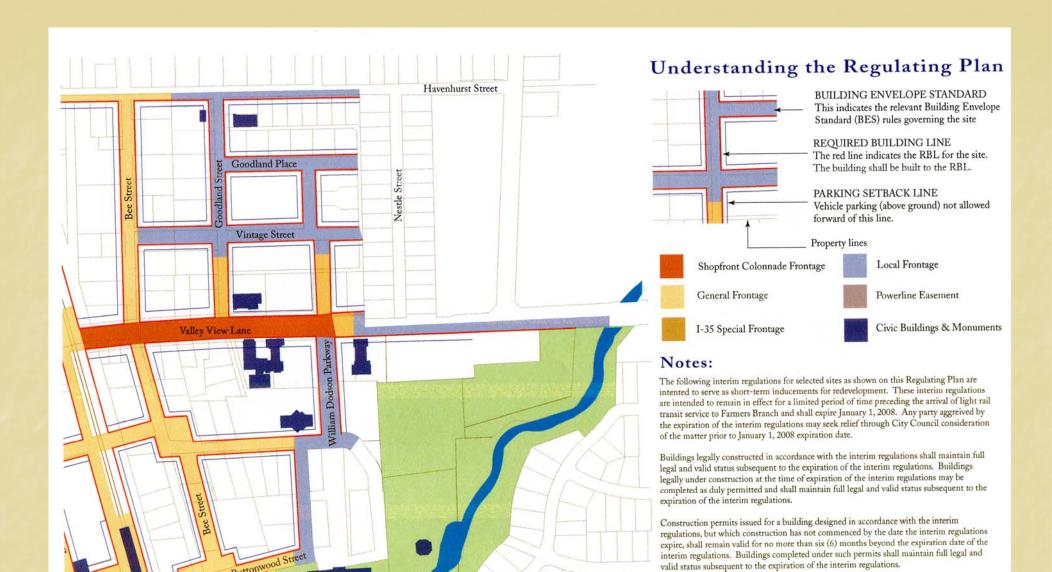
The key above explains the elements of the REGULATING PLAN and serves as a reference when examining the REGULATING PLAN.

The REGULATING PLAN is the controlling document and principal tool for implementing the Station Area Form-Based Code. It identifies the BUILDING ENVELOPE STANDARD (BES) for each building site and any specific characteristics assigned to it.

# **B.** Rules for New Development

# 1 Blocks/Alleys

- a. All lots shall share a frontage line with a STREET-SPACE.
- b. All lots and/or all contiguous lots shall be considered to be part of BLOCK for this purpose. No BLOCK face shall have a length greate than 400 feet without an ALLEY, common drive or access easement or PEDESTRIAN PATHWAY providing through-access to another street ALLEY or common access easement, STREET-SPACE, or conservation restricted land. Individual lots with less than 75 feet of frontage are



# B. How to Use this Code

In order to understand what the *Code* allows on property within the Station Area there are three basic steps.

- 1. Look at the regulating plan. Find the property. Note the REQUIRED BUILDING LINE (RBL) and the PARKING SETBACK LINE. Note the color of the fronting STREET-SPACE this determines the BUILDING ENVELOPE STANDARD for buildings fronting that street(s). See the key at the upper right of the regulating plan.
- 2. Look at the appropriate BUILDING ENVELOPE STANDARD page in the *Code*. This page outlines the basic parameters for building on the site in terms of height, siting, elements, and use.
- 3. Look at the ARCHITECTURAL STANDARDS. This section outlines the parameters for the external building materials and architectural configurations.

This information explains where the building will sit on the street, the limits on its three dimensional form, the range of uses, and the palate of materials that will cover it. For exact dimensions specific to your property consult with City Staff.

For additional information regarding the STREET-SPACE, look to the STREET TYPES and the STREETSCAPE STANDARDS. These will show the prescriptions for the character of the STREET-SPACE including vehicular traffic lane widths, curb radii, sidewalk and tree planting area dimensions, and on-street parking configurations.



# Development Standards

**Building Height** 

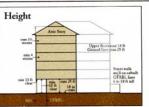
**Building Siting or Placement** 

**Building Envelope Standards** 

Location of Parking

Uses

# B. Building Envelope Standards: Shopfront Colonnade Sites



### **Building Height**

- 1. The height of the principal building is measured in
- 2. Each principal building shall be at least four (4) STORIES in height, but no greater than ten (10) STORIES in height, except as otherwise provided on the REGULATING PLAN.

### Parking Structure Height

Where a parking structure is within 40 feet of any principal building (built after 2005) that portion of the structure shall not exceed the buildings EAVE or PARAPET HEIGHT.

### Ground Story Height:

- The GROUND STORY finished floor elevation shall be equal to, or greater than, the adjacent exterior sidewalk elevation up to a maximum finished floor elevation of eighteen (18) inches.
- 2. The GROUND STORY shall have at least fifteen
  (15) feet of clear interior height (floor to ceiling)
  contiguous to the GFRBL frontage for at least onehalf (2) of its area.
- The maximum story height for the ground story is twenty-five (25) feet.

# Upper Story Height

- 1. The maximum floor-to-floor story height for STORIES other than the GROUND is fourteen (14) feet.
- 2. At least eighty percent (80%) of each upper story shall have an interior clear height (floor to ceiling) of

at least nine (9) feet.

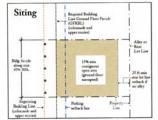
Mezzanines having a floor area greater than one-half (b) of the floor area of the stony in which the mezzanine is situated shall be counted as a full stony.

### Street Wall Height

- A STREET WALL not less than six (6) feet in height or greater than eighteen (18) feet in height shall be required along any GFRBL frontage that is not otherwise occupied by a building on the lot.
- STREET WALL height shall be measured from the adjacent public sidewalk or, when not adjacent to a sidewalk, from the ground elevation once construction is complete.

### Other

Where a SHOPERONT COLONNADE site is located within Where a SHOPPRONT COLONADE site is located within forty (40) feet of an existing single-family residential zoning district, the maximum EAVE or PARAPET HEIGHT for that portion of the SHOPPRONT COLONADE site shall be thirty-two (32) feet. This requirement shall supersede the minimum story requirement.



### Street Facade

- On each lot the building facade shall be built to the RBL for at least eighty-five percent (85%) of its RBL and/or GFRBL length.
- The building FACADE shall be built to the RBL and GFRBL within thirty (30) feet of a BLOCK CORNER.
- 3. These portions of the building FAÇADE (the required minimum build to) may include jogs of not more than eighteen (18) inches in depth except as otherwise provided to allow BAY WINDOWS (upper stories only).
- 4. GROUND STORY unit frontage widths shall be a

maximum of one hundred twenty (120) feet.

### Buildable Area

- Buildings may occupy any portion of the lot behind the RBL (and RGFBL) exclusive of any setbacks required by this Code
- 2. A contiguous open area equal to at least fifteen percent (15%) of the total buildarie area shall be preserved on every lot. Such contiguous open area may be located anywhere behind the parking stepack. Link, either at grade or at the second or third story.
- 3. No part of any building, except overhanging eaves, AWNINGS, or BALCONIES shall occupy the remaining lot area.

### Side Lot Setbacks

On a lot where a COMMON LOT LINE is shared with a single-family residential zoning district, the principal building shall be setback at least ten (10) feet from the

### Garage and Parking

- 1. GARAGE ENTRIES or driveways shall be located at least seventy-five (75) feet away from any BLOCK CORNER or another GARAGE ENTRY On the same BLOCK, unless otherwise designated on the REGULATING PLAN.
- GARAGE ENTRIES shall have a clear height of no greater than sixteen (16) feet nor a clear width exceeding twenty-four (24) feet.

- 3. Designated GARAGE ENTRIES and ALLEYS shall be the sole means of vehicular access to a lot
- GARAGE ENTRIES may be setback up to a maximum of twenty-four (24) inches behind the surrounding FACADE.
- Vehicle parking areas on private property shall be located behind the PARKING SETBACK LINE, except where parking is provided below grade.
- These requirements are not applicable to on-street parking.

### Alleys

There is no required setback from ALLEYS. On lots having no ALLEY access, there shall be a minimum setback of twenty-five (25) feet from the rear lot line.

Corner lots shall satisfy the code requirements for the full RBL length unless otherwise specified in this code.

# Unbuilt RBL and Common Lot Treatment

- A STREET WALL shall be required along any RBL frontage that is not otherwise occupied by a building on the lot. The STREET WALL shall be located not more than eight (8) inches behind the RBL.
- 2. PRIVACY FENCES may be constructed along that portion of a COMMON LOT LINE not otherwise occupied by a building on the lot.

# Elements Colorande Regal Facade openings Trallested 13 ft min clear seched 13 ft min spen 11 ft min spring point Intercoloranisties 15 ft o 13 ft clear - + D Dyper faced fearestrated max 70 min 30

- Blank lengths of wall exceeding fifteen (15) linear feet are prohibited on all RBL/GFRBLS.
- 2. FENESTRATION On the GROUND STORY FACADES FENEXTRATION On the GROUND STORY FACADES shall comprise at least sixty percent (60%), but not more than ninety percent (90%) of the FACADE area situated between two (2) and ten (10) feet above the adjacent public sidewalk on which the FACADE
- 3. FENESTRATION on the upper STORY FACADES shall comprise at least thirty percent (30%), but no more

than seventy percent (70%), of the FACADE area per STORY (measured as a percentage of the FACADE between floor levels).

4. No window may face or direct views toward a COMMON LOT LINE within thirty feet (30) unless: that view is contained within the lot (e.g. by a PRIVACY FENCE/CARDEN WALL) or, the window sill is at least 6' above the finished floor level. All common not lines within the Station Area are subject to the construction of building walls (with no setback) by the adjacent lot owner

# **Building Projections**

- AWNINGS, BALCONIES, and STOOPS shall not project closer than five (5) feet to a COMMON LOT LINE.
- No part of any building, except overhanging caves, BALCONIES, BAY WINDOWS, and AWNINGS, as specified by the Code, shall encroach beyond the BBL.
- 3. No part of any building, except shopfronts and signs, as otherwise permitted by the Code, shall encroach into the COLONNADE beyond the GFRBL

Functioning entry door(s) shall be provided along GROUND STORY FACADES at intervals not greater than sixty (60) linear feet.

# Colonnades

Where designated on the REGULATING PLAN, COLONNADES shall:

- Have a minimum interior floor to ceiling clear height of fifteen (15) feet (excepting blade signs and street lighting as specified in this Code).
- Have minimum thirteen (13) foot FACADE opening height to beam (or to the top of the arch and minimum eleven (11) feet to the springing point.)
- 3. Have an intercolumniation of fifteen (15) feet on
- Have a continuous public access easement of at least six (6) feet wide running adjacent to the columns/
- 5. Have columns/piers with no single horizontal dimension greater than twenty two (22) inches or less than ten (10) inches. This limitation shall apply between grade and eleven (11) feet in height.
- 6. Have 15 feet between the RBL and the GFRBL except as otherwise specified in the REGULATING PLAN

### Street Walls

A vehicle entry gate no wider than eighteen (18) feet or a pedestrian entry gate no wider than six (6) feet shall be permitted within any required STREET WALLS.

# Use

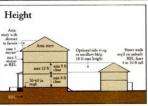
# Ground Story

The GROUND STORY shall house RETAIL uses. See Height specifications above for the specific

# **Upper Stories**

The upper STORIES shall house residential or Inc upper STORIES SHAIL HOUSE CESTIGHTAIN OF COMMERCE uses excluding RETALL SPECIALTY and RETAIL TRADE uses (except those that have direct RBL frontage and are second STORY extensions of the GROUND STORY use).

# D. Building Envelope Standards: Local Sites



### **Building Height**

- 1. The height of the principal building is measured in
- Each principal building shall be at least three (3) STORIES in height, but no greater than four (4) STORIES in height, except as otherwise provided on the REGULATING FLAN.

### Parking Structure Height

Where a parking structure is within 40 feet of any

principal building (built after 2005) that portion of the structure shall not exceed the building's EAVE OF PRAPPET HEIGHT. Ground Story Height

1. The finished floor elevation shall be no less than

- The finished floor elevation shall be no less than thirty (30) inches and no more than sixty (60) inches above the exterior sidewalk elevation in front of the building.
- The first story shall have a maximum story
  HEIGHT of sixteen (16) feet. At least eighty percent
  (80%) of the first story shall have an interior floor
  to ceiling height of at least nine (9) feet.

### Upper Stories Height

- The maximum floor-to-floor story height for upper stories is twelve (12) feet.
- At least eighty percent (80%) of each upper story shall have an interior floor to ceiling height of at least nine (9) feet.

### Mezzanine

Mezzanines having a floor area greater than onehalf (½) of the floor area of the story in which the mezzanine is situated shall be counted as a full story.

# Street Wall and Fence Height

- 1. A STREET WALL not less than four (4) feet in height or greater than ten (10) feet in height shall be required along any RR. frontage that is not otherwise occupied by the principal building. A PRIVACY FENCE not less than six (6) feet in height or greater than nine (9) feet in height shall be required along any COMMON LOT LINE that is not otherwise occupied by a building.
- The height of the STREET WALL shall be measured from the adjacent public sidewalk or, when not adjacent to a sidewalk, from the ground elevation once construction is complete.

### Other

Where a LOCAL site is located within forty (40) feet of an existing single-family residential zoning district, the maximum eave or parapert neiteut for that portion of the LOCAL site shall be thirty-two (32) feet. This requirement shall supersede the minimum story requirement.

# Siting Required Building Line (URL) 15% none | Building | 25 ft min | rec let line | 15% none | 1

### Street Facade

- On each lot the building FACADE shall be built to the RBL for at least seventy-five percent (75%) of the RBL length.
- The building FAÇADE shall be built to all the RBL within thirty (30) feet of a BLOCK CORNER.
- These portions of the building FACADE (the required minimum build to) may include jogs of not more than twenty four (24) inches in depth except as otherwise provided to allow BAY WINDOWS, and BALCONIES.

### Buildable Area

1. Buildings may occupy the portion of the lot

- specified by this BES.
- 2. A contiguous open area equal to at least fifteen percent (15%) of the total BUILDABLE AREA shall be preserved on every lot. Such contiguous open AREA may be located anywhere behind the PARKING SETBACK, either at grade or at the second or third STORY.
- No part of any building, except overhanging eaves, awnings, or balconies shall occupy the remaining lot area.

### Unbuilt RBL and Common Lot Line Treatment

- A STREET WALL shall be required along any BBL frontage that is not otherwise occupied by a building. The STREET WALL shall be located not more than eight (8) inches behind the BBL.
- PRIVACY FENCES shall be constructed along that portion of a COMMON LOT LINE not otherwise occupied by a building.

### Side Lot Setbacks

On a lot where a COMMON LOT LINE is shared with a single-family residential zoning district, the principal building shall be setback at least ten (10) feet from the shared lot line.

# Garage and Parking

 GARAGE ENTRIES or driveways shall be located at least seventy-five (75) feet away from any BLOCK, CONNER OR another GARAGE ENTRY on the same BLOCK, unless otherwise designated on the REGULATING PLAN.

- GARAGE ENTRIES shall have a clear height no greater thansixteen (16) feet nor a clear width exceeding twenty-four (24) feet.
- Designated GARAGE ENTRIES and ALLEYS shall be the sole means of vehicular access to a lot.
- GARAGE ENTRIES may be setback a maximum of twenty-four (24) inches behind the surrounding FACADE.
- Vehicle parking areas on private property shall be located behind the PARKING SETBACK LINE, except where parking is provided below grade.
- These requirements are not applicable to on-street parking.

### Alleys

There is no required setback from ALLEYS. On lots having no alley access, there shall be a minimum setback of twenty-five (25) feet from the rear lot line.

### Corner Lot

Corner lots shall satisfy the code requirements for the full Rat. length – unless otherwise specified in this code.

# Frontage Widths

No more than 1/3 of the lots in any phase shall be less than 18 feet wide. A maximum of 150 feet of Real frontage shall be continuous as a single (attached) building. There shall be a 10-foot gap (with a gated street wall) between adjacent local frontage buildings.

# Elements Stop pure. Part | P

### Stoops and Porches

Each lot/unit shall include a STOOP or a FRONT PORCH.

- A stoop shall be built forward of the RRL and be not more than five (5) feet deep and six (6) feet wide (plus steps).
- 2. A FRONT FORCH shall project forward of the RBL and be between eight (8) and ten (10) feet deep, with a width not less than fifty percent (50%) of the RBL. The building PAGADE shall be placed a two (2) feet

behind the RBL

# Fenestration

- Blank lengths of wall exceeding twenty (20) linear feet are prohibited on all RBLS.
- PENESTRATION on all RRL FACADES shall comprise at least thirty percent (30%), but no more than seventy percent (70%), of the FACADE area per sroay (measured as a percentage of the FACADE between floor levels).
- 3. No window may face or direct views toward a COMMON LOT LINE within twenty feet (20) unless: that view is contained within the lot (e.g. by a PRINCY PENE/GARDEN MALL) or the still is at least 6' above the finished floor level. All COMMON LOT LINES within the Station Area are subject to the construction of building walls (with no setback) by the adjacent lot owner.

# **Building Projections**

- No part of any building, except overhanging caves, awnings, balconies, bay windows, front porches, and stoops, as specified by the Code, shall encroach beyond the RBL.
- BAY WINDOWS shall project not more than thirtysix (36)inches beyond the RBL; shall maintain an interior clear width of at least four (4) feet; and be

- constructed such that the walls and windows are between ninety (90) degrees (i.e., perpendicular) and zero (0) degrees (i.e., parallel) to the primary wall from which they project.
- AWNINGS that project beyond the RBL shall maintain a clear height of at least ten (10) feet.

# Doors/Entries

Functioning entry door(s) shall be provided along GROUND STORY FACADES at intervals not greater than seventy-five (75) linear feet.

# Fences/Garden Walls

A fence of garden wall, 20 to 40 inches in height, is permitted along the front and the common lot lines of the doorward. A princy frence, six (6) to nine (9) feet in height, shall be placed along any unbuilt rear lot lines and common Lot Lines.

# Use Residence Hear Oxymina Residence Acquisite R

# Ground Story

The GROUND STORY shall house residential and home occupation uses, as defined by the city.

### Upper Stories

The upper STORIES shall house residential and home occupation uses, as defined by the city.

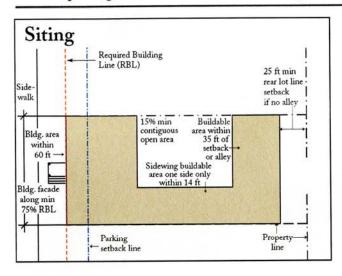
- One English basement unit or one ACCESSORY UNIT is permitted per lot. Conversion of primary structure single-family units for multiple-family use
- 2. Parking and ACCESSORY UNIT (maximum 650 square

feet) uses are permitted in the BUILDABLE AREA at

STORIES III neight, except as otherwise provided on the REGULATING PLAN.

# Parking Structure Height

Where a parking structure is within 40 feet of any



# Street Facade

- 1. On each lot the building FAÇADE shall be built to the RBL for at least seventy-five percent (75%) of the RBL length.
- 2. The building façade shall be built to all the RBL within thirty (30) feet of a block corner.
- 3. These portions of the building FAÇADE (the required minimum build to) may include jogs of not more than twenty four (24) inches in depth except as otherwise provided to allow BAY WINDOWS, and BALCONIES.

# Buildable Area

1. Buildings may occupy the portion of the lot

### IVICALAIIIIICS

Mezzanines having a floor area greater than one-half (½) of the floor area of the STORY in which the mezzanine is situated shall be counted as a full STORY.

specified by this BES.

- 2. A contiguous open area equal to at least fifteen percent (15%) of the total buildable area shall be preserved on every lot. Such contiguous open area may be located anywhere behind the parking setback, either at grade or at the second or third story.
- 3. No part of any building, except overhanging eaves, AWNINGS, OF BALCONIES shall occupy the remaining lot area.

# Unbuilt RBL and Common Lot Line Treatment

- 1. A STREET WALL shall be required along any RBL frontage that is not otherwise occupied by a building. The STREET WALL shall be located not more than eight (8) inches behind the RBL.
- 2. PRIVACY FENCES shall be constructed along that portion of a COMMON LOT LINE not otherwise occupied by a building.

# Side Lot Setbacks

On a lot where a COMMON LOT LINE is shared with a single-family residential zoning district, the principal building shall be setback at least ten (10) feet from the shared lot line.

# Garage and Parking

1. GARAGE ENTRIES or driveways shall be located at least seventy-five (75) feet away from any BLOCK CORNER or another GARAGE ENTRY on the same BLOCK, unless otherwise designated on the REGULATING PLAN.

- 2. GARAGE ENTRIES shall have a clear height no greater thansixteen (16) feet nor a clear width exceeding twenty-four (24) feet.
- Designated GARAGE ENTRIES and ALLEYS shall be the sole means of vehicular access to a lot.
- 4. GARAGE ENTRIES may be setback a maximum of twenty-four (24) inches behind the surrounding FACADE.
- 5. Vehicle parking areas on private property shall be located behind the PARKING SETBACK LINE, except where parking is provided below grade.
- 6. These requirements are not applicable to on-street parking.

# Alleys

There is no required setback from ALLEYS. On lots having no alley access, there shall be a minimum setback of twenty-five (25) feet from the rear lot line.

# Corner Lots

Corner lots shall satisfy the code requirements for the full RBL length – unless otherwise specified in this code.

# Frontage Widths

No more than 1/3 of the lots in any phase shall be less than 18 feet wide. A maximum of 150 feet of RBL frontage shall be continuous as a single (attached) building. There shall be a 10-foot gap (with a gated STREET WALL) between adjacent LOCAL FRONTAGE buildings.



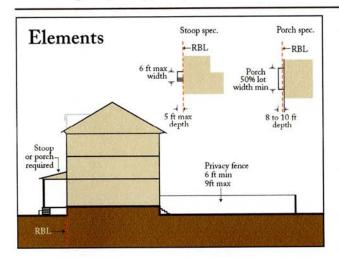
behind the RBL.

# Fenestration

- 1. Blank lengths of wall exceeding twenty (20) linear feet are prohibited on all RBLs.
- constructed such that the walls and windows are between ninety (90) degrees (i.e., perpendicular) and zero (0) degrees (i.e., parallel) to the primary wall from which they project.
- 3 AWNINGS that project beyond the BRI shall maintain

# Buildable Area

1. Buildings may occupy the portion of the lot



# Stoops and Porches

Each lot/unit shall include a STOOP or a FRONT PORCH.

- A STOOP shall be built forward of the RBL and be not more than five (5) feet deep and six (6) feet wide (plus steps).
- 2. A FRONT PORCH shall project forward of the RBL and be between eight (8) and ten (10) feet deep, with a width not less than fifty percent (50%) of the RBL. The building FAÇADE shall be placed a two (2) feet

BLOCK CORNER Or another GARAGE ENTRY on the same BLOCK, unless otherwise designated on the REGULATING PLAN.

STREET WALL) between adjacent LOCAL FRONTAGE buildings.

behind the RBL.

# Fenestration

- Blank lengths of wall exceeding twenty (20) linear feet are prohibited on all RBLS.
- 2. FENESTRATION on all RBL FACADES shall comprise at least thirty percent (30%), but no more than seventy percent (70%), of the FACADE area per STORY (measured as a percentage of the FACADE between floor levels).
- 3. No window may face or direct views toward a COMMON LOT LINE within twenty feet (20) unless: that view is contained within the lot (e.g. by a PRIVACY FENCE/GARDEN WALL) or the sill is at least 6' above the finished floor level. All COMMON LOT LINES within the Station Area are subject to the construction of building walls (with no setback) by the adjacent lot owner.

# **Building Projections**

- 1. No part of any building, except overhanging eaves, AWNINGS, BALCONIES, BAY WINDOWS, FRONT PORCHES, and STOOPS, as specified by the *Code*, shall encroach beyond the RBL.
- 2. BAY WINDOWS shall project not more than thirtysix (36)inches beyond the RBL; shall maintain an interior clear width of at least four (4) feet; and be

constructed such that the walls and windows are between ninety (90) degrees (i.e., perpendicular) and zero (0) degrees (i.e., parallel) to the primary wall from which they project.

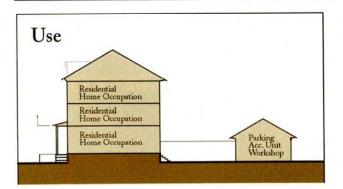
3. AWNINGS that project beyond the RBL shall maintain a clear height of at least ten (10) feet.

# Doors/Entries

Functioning entry door(s) shall be provided along GROUND STORY FACADES at intervals not greater than seventy-five (75) linear feet.

# Fences/Garden Walls

A fence of Garden wall, 20 to 40 inches in height, is permitted along the front and the common lot lines of the dooryard. A privacy fence, six (6) to nine (9) feet in height, shall be placed along any unbuilt rear lot lines and common lot lines.



# **Ground Story**

The GROUND STORY shall house residential and home occupation uses, as defined by the city.

# **Upper Stories**

The upper STORIES shall house residential and home occupation uses, as defined by the city.

 One English basement unit or one ACCESSORY UNIT is permitted per lot. Conversion of primary structure single-family units for multiple-family use is prohibited. feet) uses are permitted in the BUILDABLE AREA at the rear of the lot.





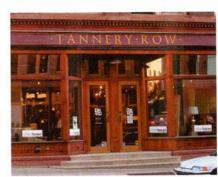
# B. Building Walls (Exterior)

# **Intent and Guiding Illustrations for Buiding Walls**

Building walls should reflect and complement the traditional materials and techniques of the Texas region. They should express the construction techniques and structural constraints of traditional, long-lasting, building materials. Simple configurations and solid craftsmanship are favored over complexity and ostentation in building form and the articulation of details. All building materials to be used shall express their specific properties. For example, heavier more permanent materials (masonry) support lighter materials (wood). The illustrations and statements on this page are advisory only. Refer to the Code standards below for the specific prescriptions of this section.









# E. Windows and Doors

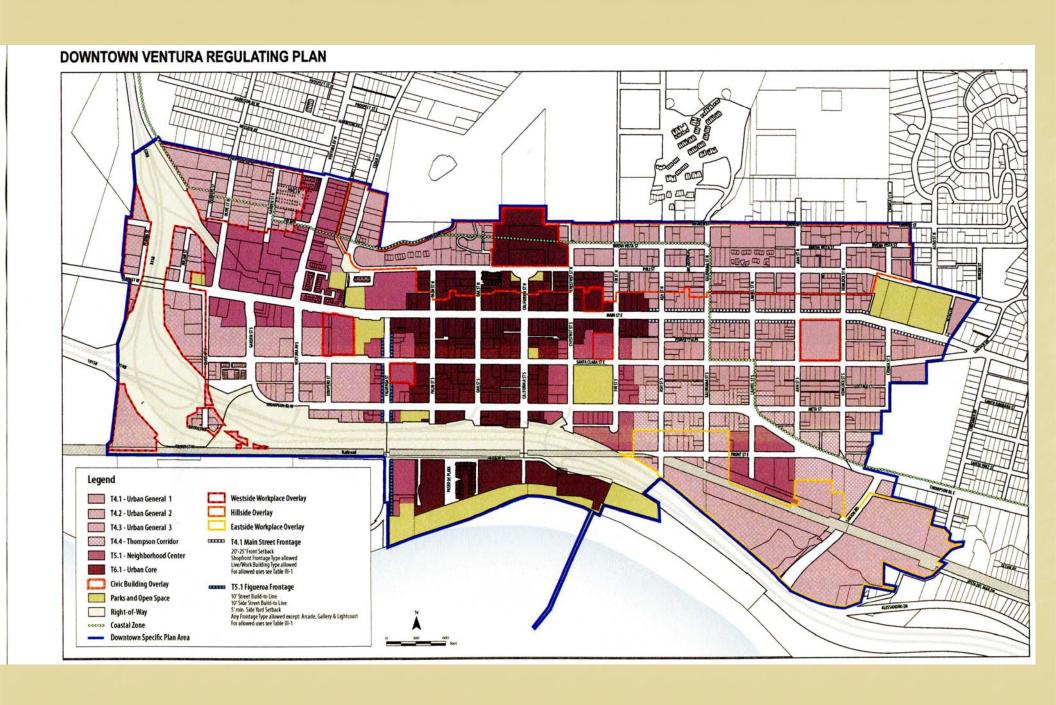
# **Intent and Guiding Illustrations for Windows and Doors**

The placement, type, and size of windows and doors help to establish the scale and vitality of the STREET-SPACE. For commercial buildings, they allow interplay between the shop interiors and the STREET-SPACE. For residential streets, they foster the "eyes on the street" surveillance which provides for the security and safety for the area. Windows should be divided by multiple panes of glass. This helps the window "hold" the surface of the façade, rather than appearing like a "hole" in the wall (an effect produced by a large single sheet of glass). The illustrations and statements on this page are advisory only. Refer to the Code standards below for the specific prescriptions of this section.











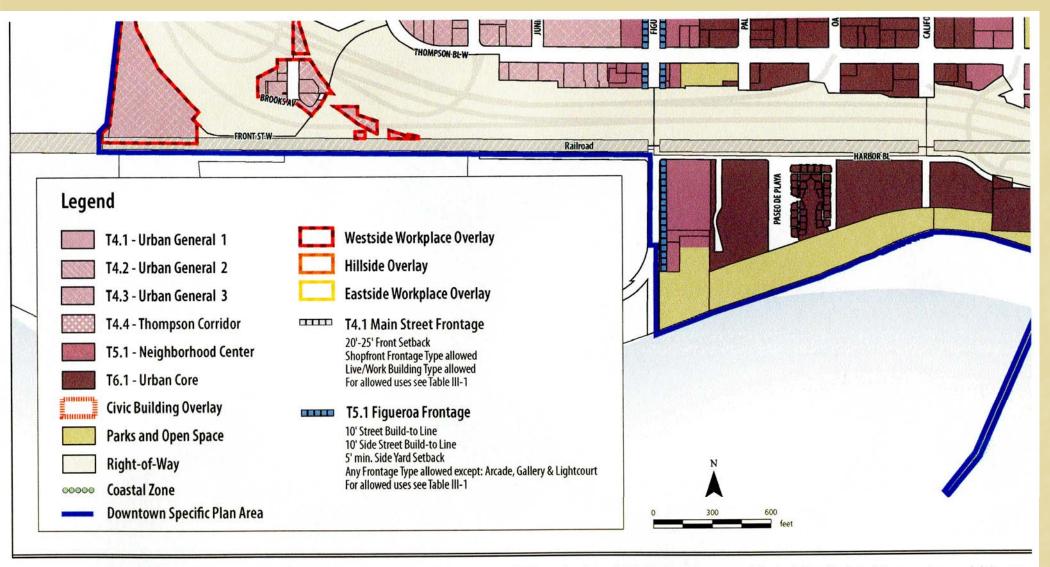




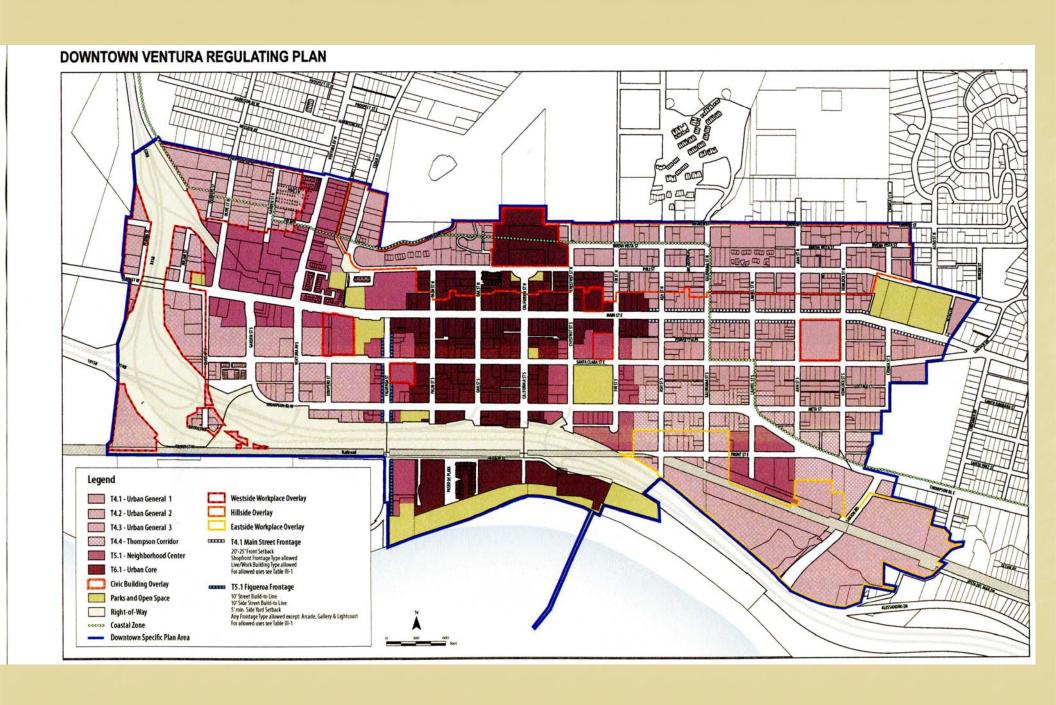








This Figure may be amended from time to time through a zoning map amendment and as parcel information is updated. Up-to-date source data, including the latest Assessor's parcel data, may



# **ARTICLE III. BUILDING TYPES**

# 3.10.030 FRONT YARD HOUSE



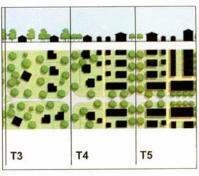
Front Yard House Example Diagram

### A. DESCRIPTION

A detached building designed as a single dwelling unit that may be located upon a qualifying lot in the T4.1 Urban General 1 and T4.1 Main Frontage zones. A Front Yard House may be used for non-residential purposes where allowed by Table E. Allowed Land Uses of the applicable zone (see Article II). A Front Yard House is accessed from the sidewalk adjacent to the street build-to line. The following text provides performance standards for Front Yard Houses.

# B. ACCESS

- The main entrance shall be located within the façade and accessed directly from the street through an allowed frontage type. [W]
- Where an alley is present, parking and services shall be accessed through the alley. [E]
- Where an alley is not present, parking and services shall be accessed by way of a driveway 7 to 10 feet wide, and with 2-foot min. planters on each side. [W]
- On a corner lot without access to an alley, parking and services shall be accessed by a driveway of 18 feet maximum width, and with 2-foot min. planters on each side. [W]



Allowed in Transects: T4.1 & T4.1 Main Frontage

### C. PARKING AND SERVICES

- Required parking for one car shall be within a garage. The remainder of required parking may be provided in a garage, carport or uncovered. IWI
- An alley accessed garage or carport may accommodate up to three cars. [W]
- Parking facing a side street build-to line shall be accommodated in a two-car (max.) garage with one-car garage doors. [W]
- Where an alley is present, services, above ground equipment and trash container areas should be located on the alley. [DR]
- Where an alley is not present, above ground equipment and trash container areas shall be located at least 10 feet behind the façade of the house and be screened from view from the street with landscaping or a fence. [W]



Illustrative Photo

# D. OPEN SPACE

- Front yards are defined by the street build-to line or front yard setback and frontage type requirements of the applicable zone. [DR]
- One usable, outdoor space shall be provided behind the Front Yard House at no less than 15% of the area of each lot and of a regular geometry (e.g., rectangular) with a minimum dimension of 20 feet. [W]

# E. LANDSCAPE

- Front yard trees are encouraged to be of porch scale (no more that 1.5 times the height of the porch at maturity) except at the margins of the lot, where they may be of house scale (no more that 1.5 times the height of the house at maturity). [DR]
- Side yard trees may be placed to protect the privacy of neighbors. [DR]



Illustrative Photo

# F. FRONTAGE

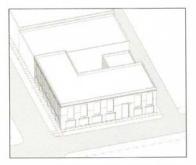
 Other than Frontage Type performance measures, there are no additional frontage requirements for this building type.

# G. BUILDING SIZE AND MASSING

- Building elevations abutting side yards should be designed to provide at least one horizontal plane break of at least three feet, and one vertical break. [DR]
- Houses on corner lots should be designed with two facades of equal architectural expression. [DR]
- Buildings should be composed of one and/or two story volumes, each designed to house scale. [DR]
- Attic space may be occupied and not count as a story when applying the height limits of the applicable zone. [DR]

# ARTICLE III. BUILDING TYPES

# 3.10.130 COMMERCIAL BLOCK



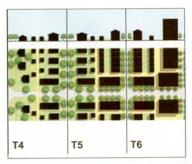
Commercial Block Example Diagram

### A. DESCRIPTION

A building designed for occupancy by retail, service, and/or office uses on the ground floor, with upper floors also configured for those uses or for dwelling units. A Commercial Block may be located upon a qualifying lot in the T4.4 Thompson Corridor, T5.1 Neighborhood Center and T6.1 Urban Core zones.

### B. ACCESS

- The main entrance to each ground floor area shall be directly from and face the street. [E]
- Entrance to the residential and/or non-residential portions of the building above the ground floor shall be through a street level lobby or through a podium lobby accessible from the street. [E]
- Elevator access shall be provided between the subterranean garage and each level of the building where dwelling and/or commerce access occurs. [W]
- Interior circulation to each dwelling shall be through a corridor which may be single or double-loaded. [E]
- Where an alley is present, parking shall be accessed through the alley. [E]
- Where an alley is not present, parking shall be accessed by a driveway of 14' min. width. [E]
- On a corner lot without access to an alley, parking shall be accessed by a driveway of 14' min, width. [E]
- Dwellings can be accessed via a single-loaded, exterior corridor, provided the corridor is designed per the following requirements:
  - The open corridor length does not exceed 40 feet. [W]
  - The open corridor is designed in the form of a Monterey balcony, loggia, terrace, or a wall with window openings. [DR]



Allowed in Transects: T4 through T6

### C. PARKING & SERVICES

- Required parking may be at-grade or as subterranean. If provided at-grade, parking spaces may be within a garage, carport, or uncovered. IWI
- Dwellings may have indirect access to their parking stalls. [DR]
- Where an alley is present, services, above ground equipment and trash container areas shall be located on the alley. [W]
- 4. Where an alley is not present, above ground equipment and trash container areas should be located at least 10 feet behind the façade of the building and be screened from view from the street with landscaping or a fence. [DR]
- Parking entrances to subterranean garages and/or driveways should be located as close as possible to the side or rear of each lot. [DR]

# D. OPEN SPACE

- Front yards are defined by the street build-to line or front yard setback and frontage type requirements of the applicable zone. [DR]
- The primary shared open space is the rear yard, which shall be designed as a courtyard. Courtyards may be located on the ground or on a podium. Side yards may also be provided for outdoor patios connected to ground floor commercial uses. [E]
- Minimum courtyard dimensions shall be 40 feet when the long axis of the courtyard is oriented East/West, and 30 feet when the courtyard is oriented North/South. [W]
- 4. The minimum courtyard area shall be twenty percent (20%) of the lot area. [W]
- Courtyards shall not be of a proportion of less than 1:1 between their width and height. [W]

City of San Buenaventura DOWNTOWN SPECIFIC PLAN III-54



Illustrative Photo

- In 40-foot wide courtyards, the frontages and architectural projections allowed within the applicable zone are permitted on two sides of the courtyard; they are permitted on one side of a 30-foot wide courtyard. [W]
- Private patios may be provided in side and rear yards. [DR]

# E. LANDSCAPE

- No private landscaping is required in front of the building. [DR]
- Trees may be placed in side yards to create a particular sense of place. [DR]
- Courtyards located over garages should be designed to avoid the sensation of forced podium hardscape through the use of ample landscaping. [DR]

# F. FRONTAGE

 No arcade or gallery may encroach into the required minimum width of a courtyard. [W]



Illustrative Photo

### G. BUILDING SIZE & MASSING

- Buildings may contain any of three dwelling types: flats, townhouses, and lofts. [W]
- Dwellings may be as repetitive or unique, as determined by individual designs. [DR]
- Buildings may be composed of one dominant volume, and may be flanked by secondary ones. [DR]
- 4. The intent of these regulations is to provide for buildings with varying heights. Suggested height ratios are as follows:
  - a. 1.0 story: 100% 1 story [W]
  - b. 2.0 stories: 85% 2 stories, 15% 3 stories
  - a.0 stories: 85% 3 stories, 15% 4 stories
     [W]
  - d. 4.0 stories: 75% 4 stories, 25% 5 stories
     [W]

These height ratios are maximums that may exceed that allowed by the applicable zone (e.g., Commercial Block 4.0 may exceed the 4.0 75% 4-story, 25% 5-story limitation of the T6.1 Urban Core zone).

The visibility of elevators and of exterior corridors at the third, fourth and/or fifth stories should be minimized by incorporation into the mass of the building. [DR]

# **ARTICLE IV. FRONTAGE TYPES**

All drawings © 2006 Moule & Polyzoides Architects and Urbanists

### C. Shopfront

Shopfronts are facades placed at or close to the right-of-way line, with the entrance at side walk grade. This type is conventional for retail frontage and is commonly equipped with cantilevered shed roof(s) or awning(s). Recessed Shopfronts are also acceptable.

- Configuration. A great variety of shopfront designs are possible, but the following guidelines apply:
  - a. 10 feet to 16 feet tall, as measured from the adjacent sidewalk.
  - b. The Shopfront opening(s) along the primary frontage may be at least 10 feet tall and comprise 65% of the 1st floor wall area facing the street and not have opaque or reflective glazing.
  - c. The Shopfront may be recessed from the frontage line by up to 5 feet. The storefront assembly (the doors, display windows, bulkheads and associated framing) should not be deeply set back (maximum of 2 feet) in the Shopfront openings, so that passing pedestrians have a clear view of the shop interior. However, the storefront may be set back up to 12 feet, but not less than 8', for up to 25' of the building Frontage in order to create a covered Alcove in which outdoor dining or merchandising can occur within the volume of the building.
  - d. A bulkhead is a transition between the opening(s) and the adjacent grade. The bulkhead may be between 10 inches and 28 inches tall (aluminum shopfront or spandrel panel may not substitute for a bulkhead)
  - The adjacent sidewalk may not be raised more than 6" without installation of the necessary stair or ramp access.

### 2. Elements

- f. Awnings, signs, etc, may be located 8 feet min. above the adjacent sidewalk.
- g. Awnings may only cover openings so as to not cover the entire facade.

Illustrative Photo: Shopfront

### D. Forecourt

On a Shopfront, Galley, or Arcade frontage, a Forecourt may be created by recessing the Facade for a portion of the building Frontage. A Forecourt is not covered, and must be at least 10' by 10'. A Forecourt may be suitable for gardens, outdoor dining, or in some cases vehicular drop-offs. A fence or wall at the Frontage Line, with a pedestrian opening in all cases, may be provided to define the space of the court. This Frontage type should be used sparingly and in conjunction with Stoops or Shopfronts.

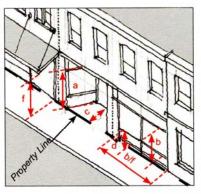
- Configuration. A great variety of forecourt designs are possible, but the following guidelines apply:
  - a. 10 feet deep (clear) min, 30 feet deep (clear) max. Forecourts between 10' and 15' in depth shall be substantially paved, and enhanced with landscaping. Forecourts between 15' and 30' in depth shall be designed with a balance of paving and landscaping.
  - b. 10' wide min; up to 50% of lot width
  - c. Shopfronts may be between 10 feet and 16 feet tall, as measured from the adjacent sidewalk
    - The corresponding shopfront(s) opening(s) along the primary frontage may be at least 65% of the 1st floor wall area and not have opaque or reflective glazing.
    - . Shopfronts may be recessed from the frontage line by up to 5 feet.
  - d. Bulkhead: 10 inches min, 28 inches max (aluminum shopfront or spandrel panel may not be substituted for a bulkhead).

### 2. Elements

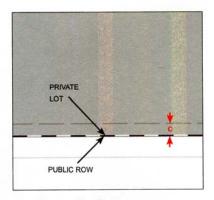
- A 1-story fence or wall at the property line may be used to define the private space of the yard.
- f. Minimum clearances: vertical: 8' from sidewalk; horizontal: width of sidewalk.



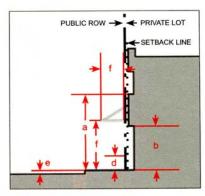
Illustrative Photo: Forecourt



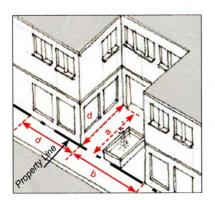
Axonometric Diagram: Shopfront



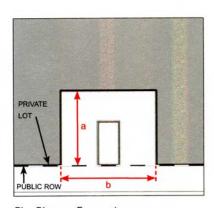
Plan Diagram: Shopfront



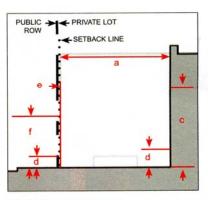
Section Diagram: Shopfront



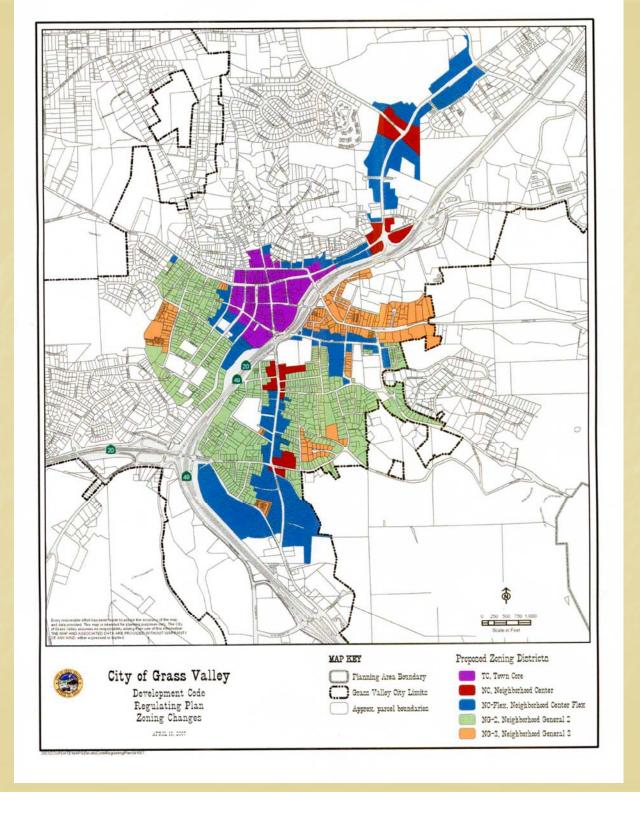
Axonometric Diagram: Forecourt

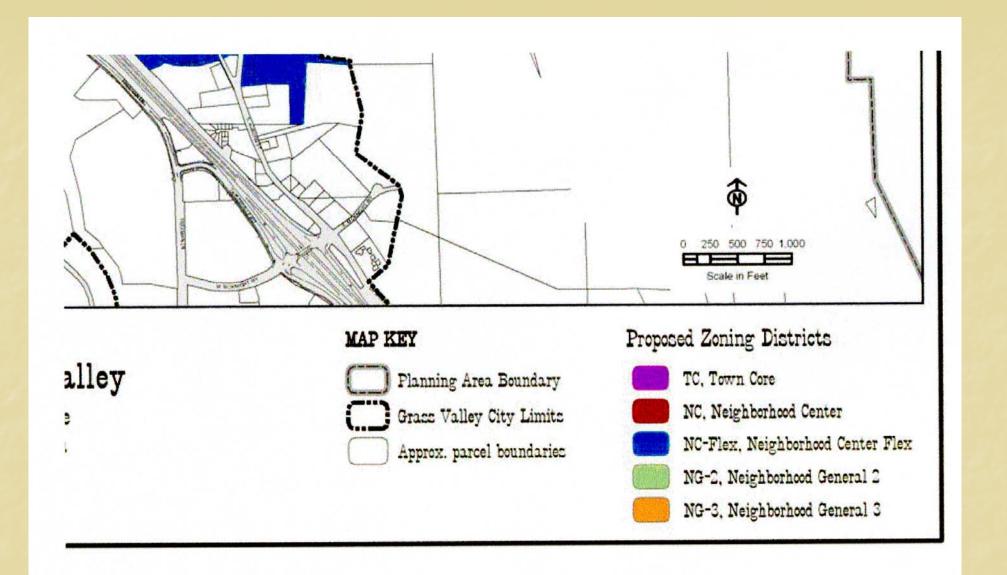


Plan Diagram: Forecourt

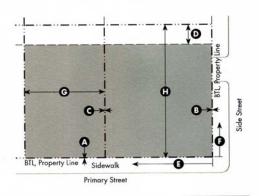


Section Diagram: Forecourt





# 17.21.040 - Town Core (TC) Standards



# Key

---- Property Line
--- Build-to Line (BTL)

Adjacent to any other use

--- Setback Line
Building Area

Building Placement		
Build-to Line (Distance from Property Line)		
Front	0'	Φ
Side Street, corner lot	0'	0
Setback		
21.2	01	•

Side	0'	G
Rear		
Adjacent to residential	15'	0

Building Form		
Primary Street built to BTL	80% min.*	9
Side Street, Corner Lot built to E	30% min.*	Ø
Lot Width	100' max.	О
Lot Depth	200' max.	Ф

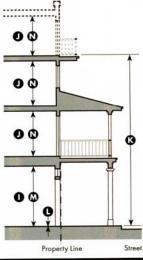
10'

# Notes

All floors must have a primary ground-floor entrance that faces the primary or side street.

Rear-facing buildings, loading docks, overhead doors, and other service entries are prohibited on street-facing facades.

Any building over 75' must be broken down to read as a series of buildings no wider than 75' each.



Use		
Ground Floor	Service, Retail, or	0
	Recreation, Education &	
	Public Assembly*	
Upper Floor(s)	Residential or Service*	0

<sup>\*</sup>See Table 2.1 for specific uses.

	40
22'	0
3 stories,* 45′ **	0
2 1/2 stories, 30' **	
12" max. above sidewalk	0
12' min. clear	0
ht 8' min. clear	0
	3 stories,* 45′ ** 2 1/2 stories, 30′ ** 12″ max. above sidewalk 12′ min. clear

<sup>\*</sup>Up to 5 stories with approved use permit

# Notes

0

Mansard roof forms are not allowed.

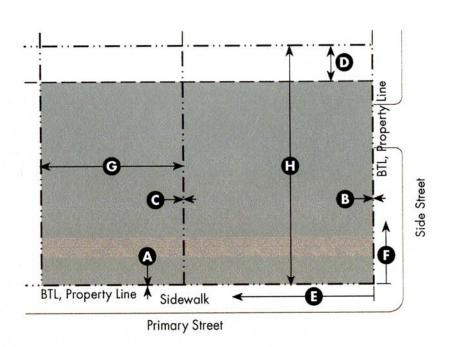
Buildings greater than 16 units must provide adequate common space for residents in the form of community rooms, roof terraces, or courtyards.

Any section along the BTL not defined by a building must be defined by a 2'6'' to 4'6'' high fence or stucco or masonry wall.

<sup>\*</sup> Street facades must be built to BTL within 30' of every corner.

<sup>\*\*</sup> All heights measured to eaves or base of parapet

17.21.040 - Town Core (TC) Standards

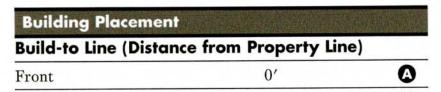


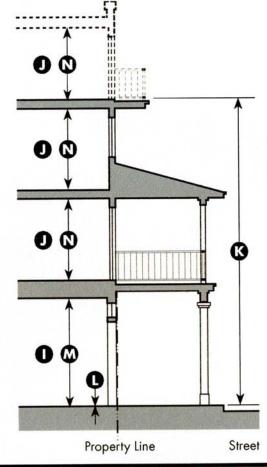
Key
---- Property Line

--- Setback Line

--- Build-to Line (BTL)

Building Area





Use

Ground Floor

Service, Retail, or

n &

Recreation, Education &

# **Primary Street**

# Key

---- Property Line

--- Setback Line

--- Build-to Line (BTL)

Building Area

Building Placement		
Build-to Line (Distance from P	roperty Line)	
Front	0'	<b>(</b>
Side Street, corner lot	0'	3
Setback		
Side	0'	О
Rear		
Adjacent to residential	15'	0
Adjacent to any other use	10'	0
Building Form		
Primary Street built to BTL	80% min.*	9
Side Street, Corner Lot built to BTL	30% min.*	Ø
Lot Width	100' max.	О
Lot Depth	200' max.	0
* Street facades must be built to RTL:	within 30' of eve	ry corne

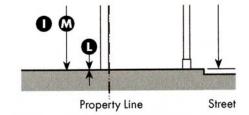
* Street facades must be built to BTL within 3	)' of every corner.
--	---------------------

# Notes

All floors must have a primary ground-floor entrance that faces the primary or side street.

Rear-facing buildings, loading docks, overhead doors, and other service entries are prohibited on street-facing facades.

Any building over 75' must be broken down to read as a series of buildings no wider than 75' each.



Service, Retail, or
Recreation, Education &
Public Assembly*
Residential or Service*

<sup>\*</sup>See Table 2.1 for specific uses.

Height	學學 双语形态的	
Building Minimum	22'	0
Building Maximum	3 stories,* 45′ **	0
Ancillary Building Max.	2 1/2 stories, 30' **	
Ground Floor Finish Level	12" max. above sidewalk	0
First Floor Ceiling Height	12' min. clear	0
Upper Floor(s) Ceiling Heig	ht8' min. clear	0

<sup>\*</sup>Up to 5 stories with approved use permit

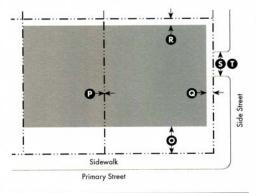
# Notes

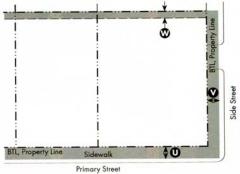
Mansard roof forms are not allowed.

Buildings greater than 16 units must provide adequate common space for residents in the form of community rooms, roof terraces, or courtyards.

Any section along the BTL not defined by a building must be defined by a 2'6" to 4'6" high fence or stucco or masonry wall.

<sup>\*\*</sup> All heights measured to eaves or base of parapet





# Key

----- Property Line

Parking Area

shared parking.

Parking		
Location (Distance from Property Line)		
Front Setback	20'	0
Side Setback	0'	0
Side Street Setback	5'	0
Rear Setback	5'	0
Required Spaces		

modemen shares	
Ground Floor	
Uses <3,000 sf	No off-street parking required
Uses >3,000 sf	1 space/400 sf
Upper Floors	
Residentialuses	1 space/unit: .5 space/studio

Other uses	1 space/450 sf	
Notes		
Parking Drive Width	15' max. *	0
* Or as required by Fire D	epartment	
On corner lots, primary p	arking drive shall not be	0
located on primary street		
Shared drives are encoura	aged between adjacent lots t	0
minimize curb cuts along	the street.	

 $\frac{\mbox{Bicycle parking must be provided and in a secure environment.}}{\mbox{See Chapter 17.36 for further parking specifications.}}$ 

Parking may be provided off-site within 1,300' or as

Key

---- Property Line --- Setback Line

-- Build-to Line (BTL)

Encroachment Area

Encroachments		
Location		
Front	12' max.	O
Side Street	8' max.	Ø
Rear	4' max.	Ø
Notes		

Canopies, Awnings, and Balconies may encroach over the BTL on the street sides and into the setback on the rear, as shown in the shaded areas. Only Balconies are allowed at the rear encroachment.

Upper-story galleries facing the street must not be used to meet primary circulation requirements.

Frontage Types	
Canopies	
Clearance	1' min. back from curb line
Height	9' min. clear, 2 stories max.
Awnings	
Depth	10' max.
Forecourts	
Depth	20' min., not to exceed width
Width	20' min., 50% of lot width max

# Key

··-·· Property Line

Parking Area

Front Setback	20′
Side Setback	0′ 😧
Side Street Setback	5′
Rear Setback	5′ R
Required Spaces	
Ground Floor	
Uses < 3,000 sf	No off-street parking required
Uses > 3,000 sf	1 space/400 sf
Upper Floors	
Residential uses	1 space/unit; .5 space/studio
Other uses	$1  \mathrm{space} / 450  \mathrm{sf}$
Notes	
Parking Drive Width	15′ max. *
* Or as required by Fire I	Department
On corner lots, primary p	parking drive shall not be
located on primary street	
Shared drives are encour	aged between adjacent lots to
minimize curb cuts along	
	off-site within 1,300' or as
shared parking.	overlaggeren menge omga musette 7 for it happing beta pa € 10 fapoliticus - samelit metap 201
	rovided and in a secure environmen

# Key

---- Property Line --- Setback Line

--- Build-to Line (BTL)

Encroachment Area

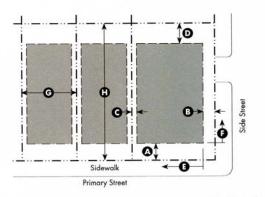
Encroachments		
Location		
Front	12′ max.	O
Side Street	8′ max.	Ø
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Notes		

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Awnings	
Depth	10' max.
Forecourts	
Depth	20' min., not to exceed width
Width	20' min., 50% of lot width max.

# 17.21.060 - Neighborhood Center-Flex (NC-Flex) Standards



# Key

---- Property Line

--- Setback Line

-- Build-to Line (BTL)

Building Area

Building Placement		
Build-to Line (Distance fro	om Property Line)	
Front	12'*	0
Side Street, corner lot	8'	3

\* For redeveloping properties where adjacent buildings are set back less than 12' from the public right-of-way, the Front Build-to Line may be set to align with the front face of immediately adjacent properties.

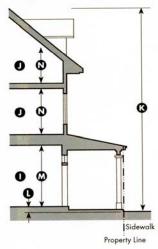
3' min., 10' max.	Θ
10'	0
5′	0
60% min.*	0
30% min.*	0
75' max.	Θ
150' max.	0
	10′ 5′ 60% min.* 30% min.* 75′ max.

# \* Street facades must be built to BTL within $30^{\prime}$ of every corner. **Notes**

# All floors must have a primary ground-floor entrance which

All floors must have a primary ground-floor entrance which faces the street.

Service entries are prohibited on street facades.

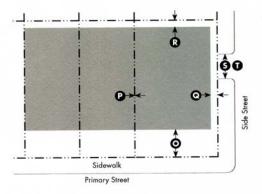


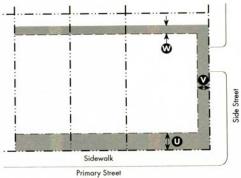
Use		
Ground Floor	Residential, Service, Re	tail,
	Recreation, Education &	Z
	Public Assembly*	0
Upper Floor(s)	Residential or Service*	0

<sup>\*</sup>See Table 2.3 for specific uses.

stucco or masonry wall.

Height		
Building Minimum	16'	0
Building Maximum	2-1/2 stories, 30' *	0
Ancillary Building Max.	2 stories, 25' *	
Finish Ground Floor Level	12" max. above sidewalk	0
First Floor Ceiling Height	10' min. clear	0
Upper Floor(s) Ceiling Height	8' min. clear	0
* All heights measured to eaves	s or base of parapet	
Notes		
Mansard roof forms are not allo	owed.	
Street edge must be defined by	a 2'6" to 4' high fence or	





# Key

---- Property Line

Parking Area

Parking Parking			
Location (Distance from Property Line)			
Front Setback	20'	0	
Side Setback	0'	0	
Side Street Setback	5′	0	
Rear Setback	5'	0	

# Required Spaces Ground Floor Residential Use 1 space/unit, .5 spaces/studio Uses < 3,000 sf No off-street parking required

Uses > 3,000 sf 1 space/500 sf
Upper Floor(s)

Residential uses 1 space/unit; .5 space/studio
Other uses 1 space/300 sf

# Notes Parking Drive Width 15' max. \* Or as required by Fire Department

On corner lots, parking drive shall not be located on primary street.

Parking may be provided off-site within 1,300' or as shared parking.

Bicycle parking must be provided and in a secure environment.

See Chapter 17.36 for further parking specifications.

# Key

---- Property Line --- Setback Line

--- Build-to Line (BTL)

Encroachment Area

Encroachments Location		
8' max.	Ø	
5' max.	8	
	8′ max.	

# Notes

0

Porches, Commercial Storefronts, Balconies, and Bay Windows may encroach over the BTL on the street sides and into the setback on the rear, as shown in the shaded areas. Only Balconies are allowed at the rear encroachment.

Frontage Types	
Awnings	
Depth	10' max.
Stoops	
Depth	4' min., 6' max.
Forecourts	
Depth	20' min., not to exceed width
Width	20' min., 50% of lot width max.
Porches	
Depth	8' min.
Height	2 stories max.

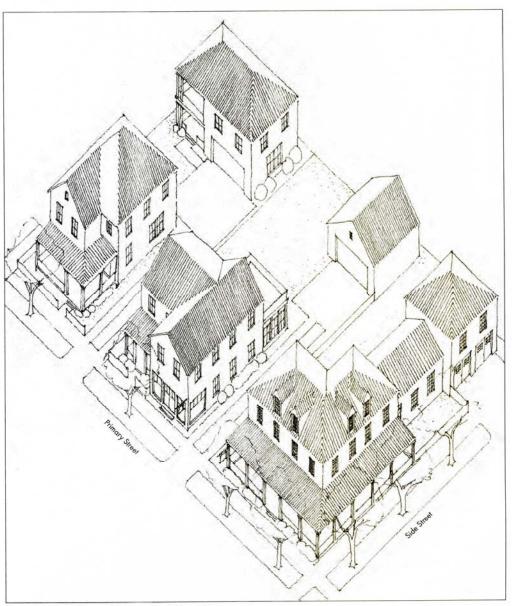
Table 2.3: Neighborhood Center-Flex (NC-Flex) Zone Allowed Land Uses and Permit Requirements

Land Use Type <sup>1</sup>	Permit Required	Specific Use Regulations	
Recreation, Education & Public Assembly			
Health/fitness facility	MUP		
Library, museum	P		
Meeting facility, public or private	UP		
Park, playground	P		
School, public or private	UP		
Studio: Art, dance, martial arts,	P		
music, etc.			
Residential			
Dwelling: Multi-family - Duplex,	P	17.44.160	
triplex, fourplex			
Dwelling: Multi-family - Rowhouse	P	17.44.140	
Dwelling: Single family	P	17.44.210	
Home occupation	P	17.44.100	
Live/work unit	P	17.44.130	
Mixed use project residential	P	17.44.140	
component			
Residential accessory use or structure	P	17.44.020	
Residential care, 6 or fewer clients,	P		
in a home			
Residential care, 7 or more clients	UP		
Second unit or carriage house	P	17.44.190	

Key	<b>《加州·西西</b> 斯·西西斯·西西斯·西斯·西斯·西斯·西斯·西斯·西斯·西斯·西斯·西斯·西斯·
P	Permitted Use
MUP	Minor Use Permit Required
UP	Use Permit Required
NA	Use Not Allowed
End N	lotes

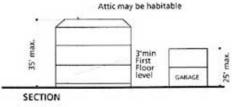
<sup>&</sup>lt;sup>1</sup> A definition of each listed use type is in Article 10 (Glossary).

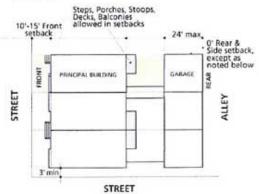
Land Use Type <sup>1</sup>	Permit Required	Specific Use Regulations
Retail		
Bar, tavern, night club	UP	
General retail, except with any of the	P	
following features:		
Alcoholic beverage sales	MUP	
Floor area over 10,000 sf	UP	
On-site production of items sold	MUP	
Operating between 9pm and 7am	UP	
Neighborhood market	MUP	
Restaurant, café, coffee shop	MUP	
Services: Business, Financial, Pro	ofession	nal
ATM	P	
Business support service	P	
Medical services: Clinic, urgent care	P	
Medical services: Doctor office	P	
Medical services: Extended care	UP	
Office: Business, service	P	
Office: Professional, administrative	P	
Services: General		
Day care center: Child or adult	MUP	17.44.060
		17.44.110
Day care center: Large family	P	17.44.060
Day care: Small family	P	
Lodging: Bed & breakfast inn (B&B)	MUP	
Lodging: Hotel	MUP	
Personal Services	P	
Public Safety facility	UP	
Transportation, Communication	s, Infra	structure
Parking facility, public or commercial	UP	
Wireless telecommunications facility	UP	17.46



 $Examples\ of buildings\ in\ a\ Neighborhood\ Center-Flex\ area.$ 

# TOWNHOUSE - 2 (TH2)









(\* Photos are illustrative only)

LOT OCCUPATION	Lot Area (by Unit)	1,500 sq.ft. minimum - 2,500 sq.ft. maximum
	Lot Coverage	70% maximum
BUILDING SETBACKS	Front	10 feet minimum -15 feet maximum
	Side	No required setback except 3 feet minimum setback for lots with side lot line on residential street
	Rear	0 feet minimum -5 feet maximum
FRONTAGE		18 feet minimum
BUILDING HEIGHT	Principal Building	35 feet maximum height
	Out Building	25 feet maximum height
PARKING	Spaces	maximum 2/unit - minimum 1/unit
	Area	20 feet x 24 feet maximum
	Access	Rear access from alley
USES		Residential. First Floor of Principal Building could include Retail or Live-work. Second Floor of Out Building could include Live-work. See Main Street Overlay District for special First Floor requirement.
DISTRICTS	70 4	Village Center District, Mixed-Use Village District, Residential District

# **Structuring the Process-Pre-Drafting:**

Selecting the District or Corridor

Defining the Planning & Coding Approach

Assembling the Team

**Designing the Public Process** 

# **Drafting the Code:**

**Existing Conditions Inventory & Analysis** 

Public Visioning/Charrette(s)

**Illustrative Plan** 

**Regulating Plan** 

**Development Standards & Administration** 

Post Coding Tasks:
Completing the Document
Formal Review & Adoption

Rolling It Out

Day-to-Day Administration
Review & Refinement

# Code Elements (Standard): Illustrative Plan Regulating Plan Streetscape Standards Development Form Standards Administration Definitions

Additional Elements:
Architectural Standards
Signage Standards

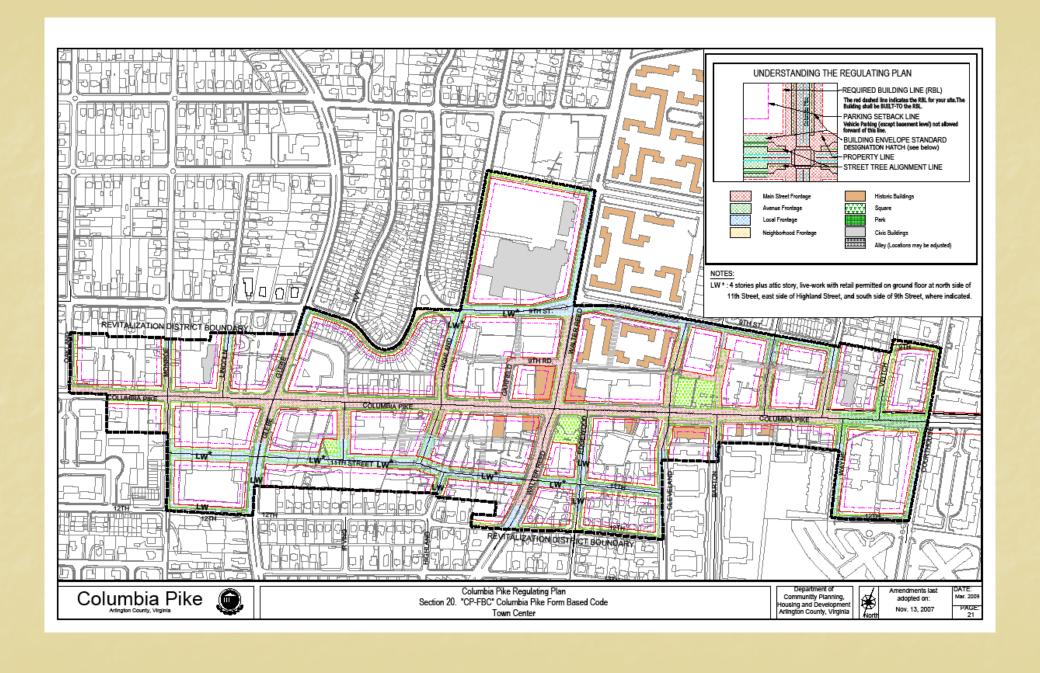


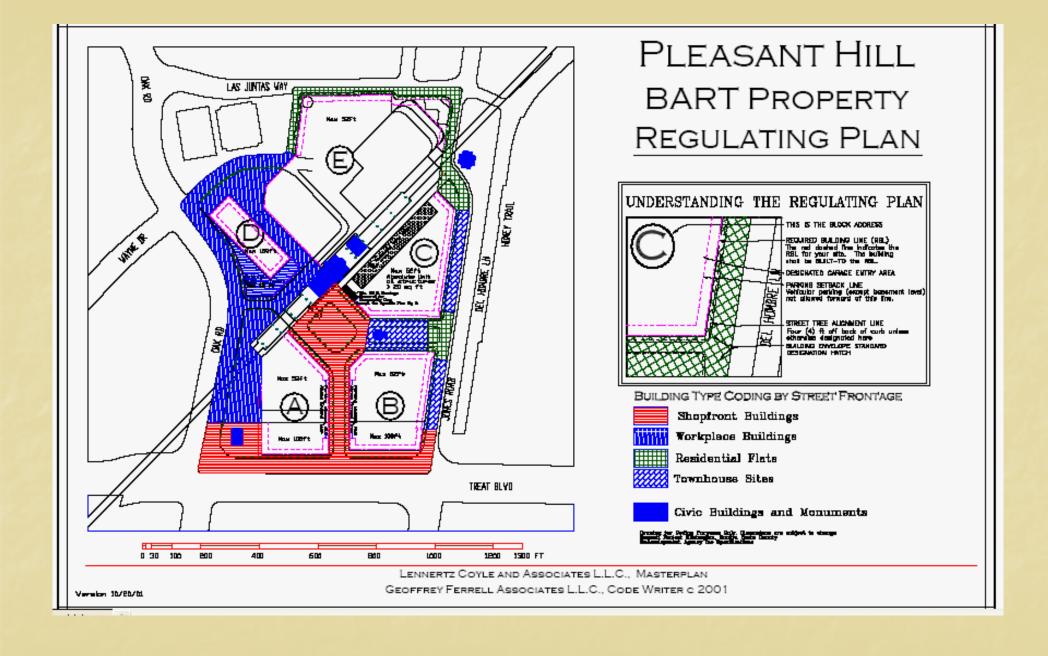






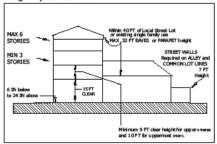






# B. BUILDING ENVELOPE STANDARDS: MAIN STREET SITES

# Height Specifications



# **Building Height**

- 1. Principal building height is measured in Storges. These parameters preserve appropriate STREET-space and allow for greater variety in building height.
- 2. Each building shall be between 3 and 6 STORIES in height, except where otherwise noted here or in the REGULATING PLAN.

# Parking Structure Height

No parking structure within the BLOCK shall exceed the EAVE height of any building (built after 2002) within 40 feet of the parking structure.

- 1. The Ground Story floor elevation shall be between 6 inches below and 24 inches above the sidewalk elevation at the front of the building. The maximum floor-to-floor Story Heagert limit for the Ground PLOOR is
- 2. The Ground Floor shall have at least a 15 foot clear (floor to ceiling) height for at least 1/3 of its area contiguous to RBL frontage.

- Upper Storges Height

  1. The maximum floor-to-floor Story Height limit for Storges other than the Ground Story is 14 feet.
- 2. At least 80 percent of the upper STORIES shall each have at least a 9 foot dear (floor to ceiling) height and a minimum 10 foot clear height for the uppermost STORY.

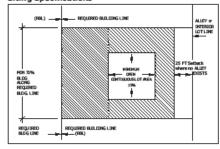
Mezzanines greater than 2/3 of the floor area footprint shall be counted as full STORIES.

# STREET WALL Height

- 1. Any unbuilt ALLEY and/or COMMON LOT LINE frontage shall have a STREET WALL built along it, 7 feet in height.
- 2. STREET WALL heights are measured relative to the adjacent sidewalk or to the ground elevation when not fronting on a sidewalk.

Where a Main Street site is within 40 feet of a Local site, Neighborhood site or a single-family home, the maximum height for that portion is 32 feet to the EAVES or PARAPET.

# Siting Specifications



## STREET Facade

- The STREET facade shall be built to not less than 75 percent of the overall RBL. However, the Ground Floor portions of the STREET facade within 7 feet of a BLOCK CORNER are exempt from this requirement in order to allow special corner treatments in these areas.
- 2. The STREET facade shall be composed as a simple plane (limited jogs less than 24 inches are considered a simple plane within this requirement) interrupted only by porches, STOOPS, BAY WINDOWS, shop fronts and BALCONIES.

# BUILDABLE AREA

Buildings shall occupy only the area of the Lot specified in the siting specifications of the Bullionia Ewelore Standards as Bullidable Area. No part of any building excepting overhanging Exves and BES permitted Balcontes, Bay Windows, Stoops, and shop fronts shall encroach into the STRET beyond the RBL. No part of any building (excepting overhanging EAVES, BALCONIES, STOOPS, and small and unroofed garden structures) shall occupy the remaining Lot area. The minimum OPEN CONTIGUOUS LOT AREA shall comprise at least 15% of the total BUILDABLE AREA of the site.

# Side Lot Line

There are no required side Lot line setbacks unless shared with an existing single family house where an 8-foot setback is required.

# Garage and Parking Entrances

- Garage/parking entrances shall be no closer than 50 feet from any BUILDING CORNER (except where otherwise designated on the REGULATING
- 2. Designated GARAGE ENTRIES and ALLIES shall be the sole means of automobile access to a site.
- 3. Garage doors shall not face (be at an angle of less than 90 degrees from the RBL or right of way) the RBL. Vehicle parking areas (except where a STREET WALL exists or parking is endosed within an ancillary building) on private property shall not be located within 25 feet of the RBL. These requirements are not applicable to on-STREET parallel park-

On sites with no ALLEY access, there shall be a 25-foot setback from the rear Lot line.

# Corner Lors

Corner LOTS shall be treated as having STREET FRONTAGE on both the front and side STREETS (or RBLs).

# Unbuilt RBL and COMMON LOT LINE Treatment

Any unbuilt RBL shall have a STREET WALL along it, between 6 feet and 10 feet in height. STREET WALLS may also be constructed along any unbuilt COMMON LOT LINE.







The Economics of Place



