

Addendum #1

Directorate of Facilities Engineering

12 June 2015

This Addendum modifies, amends, and supplements designated parts of the Contract Documents, Specifications and Drawings for:

Calais Armory Renovation, 119 Calais Avenue, Calais, Maine, Project Number 23SR14-444-D, BGS Project Number 2147, Bid Number 15-035.

It shall be the responsibility of the Contractor to notify all Subcontractors and Suppliers for various portions of the work of any changes or modifications contained in this Addendum.

Specification Items:

1. Replace Section 00 11 13, Notice to Contractors, page 1 of 2 with enclosed revised Section 00 11 13, Notice to Contractors, page 1 of 2. Bid Opening Date has been changed from 18 June 2015 at 2:00 pm. to a new Bid Opening Date of 25 June 2015 at 2:00 pm. Corrections change on Page 1 of 2.
2. Replace Section 00 41 13, Contractor Bid Form, pages 1 of 3, 2 of 3 and 3 of 3 with enclosed revised Section 00 41 13, Contractor Bid Form, pages 1 of 3, 2 of 3 and 3 of 3. Addendum #1 is noted on page 3 of 4, corrections changed throughout document.
3. Replace Section 00 52 13, Construction Contract, page 2 of 3 with enclosed revised Section 00 52 13, Construction Contract page 2 of 3. Addendum #1 is noted on Page 2 of 3.
4. Specification Section 075323 Ethylene-Propylene-Diene-Monomer (Epdm) Roofing, will be updated to reflect the incorporation of a 90 mil EPDM Roofing in lieu of a 60 mil EPDM Roofing. The updated specification will be included with Addendum #2.
5. A Commissioning Specification will be added to the Contract Bid Documents. The Commissioning Specification will be included with Addendum #2.
6. Specification Section 23 09 00 Instrumentation And Control For HVAC, will be updated. The updated specification will be included with Addendum #2.

Clarification Items:

1. Question: I don't think the Owner would be happy with a STC of 38, so I used a 50 STC. If the intent was to use an accordion partition I can offer up to a 48 STC but the Modernfold I've shown here would save money.

Answer: The folding partition is to be a folding panel system as shown in the documents. The STC Rating for the Folding Partition shall be a minimum of 38 as written in the specifications. The walls to each side of the folding partition locations shall be noted as follows: "Coordinate wall locations with the requirements of the panel manufacturer."

2. Question: We don't believe the SE conductors (and SE conduit) are permitted to travel through the building (Mech 135, former tank room) as described by the above drawing references and notes, without first passing through a SE disconnect switch, located at the point where the SE conductors cross the boundary from the exterior of the building to the interior of the building (which could be on the inside wall facing the street of Mech135). How shall we bid the new electrical service entrance conduit, SE conductors, and new service entrance distribution equipment, and also follow the National Electrical Code in this regard?

Answer: Service entrance conduits shall be completely encased in minimum of 2" concrete as they are routed through Mechanical Room 135 and into the Basement. Conduits in question include:

- (1) 4" from utility pole (utility service entrance)
- (1) 4" spare from utility pole
- (1) 4" from generator (generator service entrance)
- (1) 4" spare from generator

Concrete "curb" shall be located along floor adjacent to the northeast wall of Mech Room 135. Conduits shall be spaced 2-high-by-2-wide so a square curb approximately 1'x1' is formed. See new Electrical Sketches.

3. Question: Drawing AD 103, keyed note #1 calls for the demolition of the outer roof (4:12 pitch with metal standing seam, roof framing, bridging, blocking and flashing). No details are provided as to whether the framing consists of wood or metal trusses. Truss size, spacing, and blocking details are also not provided. Please provide details of the framing system. ?

Answer: Drawing AD-103 is a demolition drawings and therefore details are not provided. In regards to the existing outer roof framing enclosed by the standing seam roof, this is an existing wood framed roof structure.

4. Question A: The roofing specification clearly lists black EPDM in 2.3.A.3. In 2.2. F there are solar reflectance (.70) and thermal emittance (.75) values listed for white EPDM. Is this a black or white project?

Question B: The project calls for a 15 year manufacturer's warranty. Manufacturer's warranties are limited to 55MPH unless the roofing system is specifically designed around requirements for extended wind speed warranties. Extended wind speed warranties are typically limited to 100 MPH and require enhanced cover boards, attachment rates, and specific rated edge metal systems. I have attached a letter explaining the difference between "design wind zone" and "extended wind warranties". There are no correlation.

Question C: The design uplift pressures listed in the specifications are very low (14 and 16 psf). However, an FM 1A-120 system is required which is pretty severe. Is this correct?

Answer A: This project is to have a black EPDM Roof system.

Answer B: The design wind speed is 100mph which is for the structural design.

Answer C: The roofing should be designed for 16.5psf in the roof field and 19.5 psf at the roof edges. Use Class 1A-90.

5. Question: Please consider Nu-Age plastic film/sheeting as an "equal of better" to what is currently specified for the project Nu-Age Films are the future of plastic film sheeting/materials.

Answer: What is the adhesive to be used for this product and does it meet the FM Global approved vapor retarder installation? – Waiting for more information for supplier?

6. Question: Table 1B in spec section 028210, Asbestos Abatement identifies 5 linear feet of asbestos containing ductwork insulation and 5,360 square feet of asbestos containing corrugated roof panels on the Military Vehicle Storage Building (MVSBS) to be removed. There are no drawings or details that show any replacement of the roof for this building. Is the MVSBS roof replacement to be included in the scope of this project? If so, please provide the specs, drawings and associated roof details for this work.

Answer: Any reference to the Military Vehicle Storage Bay is to not be included in this project.

7. Question: Subject: BACnet interface for Fujitsu Heat Pump. Additional comment regarding RFI provided on 6/10/15. We raised the issue that the BacNet interface for the Fujitsu systems is actually a piece of software that is required to run on a PC. We knew this would probably be an issue for the Army because PC's that are in any way tied to their network are usually required to be secured and encrypted. Additionally it will be another PC which will require continuing maintenance from the army's IT department. We would be happy to be of assistance in determining a solution to the problem if required.

Answer: Specification Section 230900 will be updated to reflect corrections. The updated specification will be included with Addendum #2.

8. Question A: Is it safe to assume that all existing vct is to be removed? I do not see a detail specifying that the kitchen and existing corridor is to have existing flooring removed.

Question B: Are we to include any paper towel dispensers? Drawings A-401 details 2 and 6 do not agree with detail 11 on the same drawing.

Question C: Drawings S-502 detail 3 states 10" metal studs but A-500 detail X6 shows 6" and 2" steel studs. Please advise.

Question D: Who is the current fuel supplier for the Armory?

Question E: The specification for the operable partition states 48" wide panels. These however will not fit into the 1'-2" are that is shown in drawing A-101A. Please advise.

Question F: In regards to porcelain tile, the specification states 2x2 mosaic. Can we have more clarification as to manufacturers and styles?

Answer A: The existing floor finishes and adhesives are to be removed in preparation for the new floor finishes to be installed.

Answer B: Provide paper towel dispensers.

Answer C: Provide the 10" stud per the S-502 and fur the interior wall face per A-500. Use batt insulation appropriate for the wall cavity to meet an R-21 wall assembly.

Answer D: The Supplier is currently Dead River Company.

Answer E: A note will be added to the drawing stating that the placement of the sidewalls will need to be coordinated with the door manufacturer.

Answer F: The specification is written to allow the use of many different manufacturers. The style is as stated in the specifications. New Change - The MEARNG will only allow 12" x 12" ceramic floor tiles and all walls shall receive 6" x 6" ceramic wall tiles. The updated specification will be included with Addendum #2.

9. Question A: Is there a specification for the painting in the spec book? I have not found one. Will there be one available?

Question B: Can we have more clarification on the 5/8" cement board for the exterior sheathing where walls are infilled around windows?

Question C: Background: We don't Drawings believe the SE conductors (and SE conduit) are permitted to travel through the building (Mech 135, former tank room) as described by the above drawing references and notes, without first passing through a SE disconnect switch, located at the point where the SE conductors cross the boundary from the exterior of the building to the interior of the building (which would be on the inside of the wall facing the street, of Mech 135). Question: How shall we bid the new electrical service entrance conduit, SE conductors, and new service entrance distribution equipment, and also follow the National Electrical code in this regard? Possible Solutions: (1) Completely encase the SE conduits in a minimum of 2 inches of concrete, all the way to the proposed location of the SE rated ATS in the basement, or; (2) Change location of ATS (& MDP also) to the inside of the wall adjacent to the street, of Mech 135.

Question D: Drawing Q-4, Food Service Equipment Plumbing Connection Plan, shows (6) floor sinks that are not accounted for on plumbing plan P-402, please clarify.

Question E: The Plumbing Service Schedule on drawing Q-104 shows the drain from the floor trough (P-39) as 3", the plumbing schedule on drawing P-601 shows it as 2", please clarify.

Question F: Please see attached picture for relocation of proposed waterline. We would like to move waterline as drawing shows to protect the buildings as well as safety of workers.

Question G: Can we have more clarification acoustical ceiling tile and grid manufacturers as well as style.

Answer A: Refer to Spec Section 099600 High Performance Coatings for painting.

Answer B: The 5/8" cement board is a cementitious backer unit for exterior sheathing installations.

Answer C: Waiting on Answer from A/E.

Answer D: Waiting on Answer from A/E.

Answer E: Waiting on Answer from A/E.

Drawing Items:

1. Replace Drawings A-600 Room Finish Schedule, with enclosed revised Drawings A-600 Room Finish Schedule.
2. Electrical Service Sketches, ESK-01A, ESK-01B, ESK-01C are provide to clarify electrical addendum questions.

00 11 13
Notice to Contractors

**Calais Armory Renovation, 119 Calais Avenue, Calais, Maine, Project Number 23SR14-444-D,
BGS Project Number 2147, Bid Number 15-035**

The Maine Army National Guard shall renovate the entire Calais Armory. The complete renovation shall consist of the building envelope, windows, doors, roof system, office areas, bathrooms, showers, kitchen and classrooms. The utility systems shall be upgraded to include HVAC mechanical systems, plumbing system and electrical system. The Contractor shall furnish and install all items in accordance with Plans and Specifications prepared by: Colby Company L.L.C..

The cost of the work is approximately \$ 4,000,000.00. The work to be performed under this contract shall be completed on or before *1 July 2016*.

1. Sealed Contractor bids for the project noted above, in envelopes plainly marked "Bid for *Calais Armory Renovation, Project Number 23SR14-444-D, Bid Number 15-035*" and addressed to:

*Directorate of Facilities Engineering
194 Winthrop Street, Building #8, Camp Keyes
Augusta, Maine 04330
Attn: Mrs. Sherrill Hallett*

will be opened and read aloud at *the address shown above* at **2:00 p.m.** on **25 June 2015**. Bids submitted after the noted time will not be considered and will be returned unopened.

2. The bid shall be submitted on the Contractor Bid Form (section 00 41 13) provided in the Bid Documents. The Owner reserves the right to accept or reject any or all bids as may best serve the interest of the Owner.
3. Bid security *is required* on this project.
The Bidder shall include a satisfactory Bid Bond (section 00 43 13) or a certified or cashier's check for 5% of the bid amount with the completed bid form submitted to the Owner.
4. Performance and Payment Bonds *are required* on this project.
The selected Contractor shall furnish a 100% contract Performance Bond (section 00 61 13.13) and a 100% contract Payment Bond (section 00 61 13.16) in the contract amount to cover the execution of the Work.
5. Filed Sub-bids *are not required* on this project.
6. There *are no* Pre-qualified General Contractors on this project.
7. An on-site pre-bid conference *will* be conducted for this project.
The pre-bid conference is *mandatory* for General Contractors and optional for Subcontractors and suppliers. Contractors who arrive late or leave the meeting early may be prohibited from participating in this meeting and bidding. *A Pre-bidding Conference is scheduled for 10:00 am on 21 May 2015 on site. The Contractors shall arrive at 119 Calais Ave, Calais Armory, Calais Maine. Latitude 45.1814303N, Longitude 67.2819547W. The Contractor shall park to the left side of the Armory in front of the MVSB building.*

**00 41 13
Contractor Bid Form**

Calais Armory Renovation, Calais, Maine, Project Number 23SR14-444-D, Bid Number 15-035

To: *DEPARTMENT OF DEFENSE VETERANS AND EMERGENCY MANAGEMENT*
MILITARY BUREAU
Joint Force Headquarters, Maine National Guard
194 Winthrop Street, BLDG8 Camp Keyes,
Augusta, Maine 04333 0033

1. The undersigned, or "Bidder", having carefully examined the form of contract, general conditions, specifications and drawings dated *9 March 2015*, prepared by *Coby Company L.L.C.* for *Directorate of Facilities Engineering*, as well as the premises and conditions relating to the work, proposes to furnish all labor, equipment and materials necessary for and reasonably incidental to the construction and completion of this project for the Base Bid amount of:

BASE BID:

Base Bid – Calais Armory Renovation:

The Contractor shall provide a complete renovation to the Calais Armory. The Contractor shall furnish and install all items in accordance with Plans and Specifications.

Base Bid.

Lump Sum. Dollars _____.
(written amount of base bid)

Base Bid.

Numeral Dollar Amount:

Lump Sum. Dollars (\$ _____ **).**

Allowances *are not included* on this project.

2. Alternate bids *are not included* on this project.
3. Unit Prices *are not included* on this project.
4. The Bidder acknowledges receipt of the following addenda to the specifications and drawings:

Addendum No. 1 Dated: 12 June 2015
Addendum No. Dated:
5. Bid security *is required* on this project.
The Bidder shall include a satisfactory Bid Bond (section 00 43 13) or a certified or cashier's check for 5% of the bid amount with this completed bid form submitted to the Owner.
6. Filed Sub-bids *are not required* on this project.
The bid amount includes the following Filed Sub-bids which were submitted to the Bidder and to the Maine Construction Bid Depository.
7. The Bidder agrees, if this bid is accepted by the Owner, to sign the designated Owner-Contractor contract and deliver it, with any and all bonds and affidavits of insurance specified in the Bid Documents, within twelve calendar days after the date of notification of such acceptance, except if the

00 41 13
Contractor Bid Form

twelfth day falls on a State of Maine government holiday or other closure day, a Saturday, or a Sunday, in which case the aforementioned documents must be received before 12:00 noon on the day following the holiday or other closure day, Saturday or Sunday.

As a guarantee thereof, the Bidder submits, together with this bid, a bid bond or other acceptable instrument as and if required by the Bid Documents.

**00 41 13
Contractor Bid Form**

8. This bid is hereby submitted by:

Signature: _____

Printed name and title: _____

Company name: _____

Mailing address: _____

City, state, zip code: _____

Phone number: _____

Email address: _____

State of incorporation,
if a corporation: _____

List of all partners,
if a partnership: _____

ARTICLE 4 CONTRACT BONDS

§ 4.1 Contract bonds are not required if the contract amount is less than \$125,000 unless bonds are specifically mandated by the contract documents.

§ 4.2 On this project, the *Contractor* ***shall*** furnish the *Owner* the appropriate contract bonds in the amount of 100% of the contract amount.

ARTICLE 5 PROGRESS PAYMENTS

§ 5.1 The *Owner* shall make payments on account of the contract as provided therein as follows: Each month 95% of the value, based on contract prices of labor and materials incorporated in the work and of materials suitably stored at the site thereof up to the first day of that month, as certified by the Architect or Engineer.

§ 5.2 The *Owner* may cause the *Contractor* to be paid such portion of the amount retained hereunder as he deems advisable.

ARTICLE 6 FINAL PAYMENT

§ 6.1 Final payment shall be due 30 days after completion and acceptance of the work, provided the *Contractor* has submitted evidence satisfactory to the *Owner* that all payrolls, material bills and other indebtedness connected with the work has been paid.

ARTICLE 7 CONTRACT DOCUMENTS

§ 7.1 The General Conditions of the contract, instructions to bidders, bid form, Special Provisions, the written specifications and the drawings, and any Addenda, together with this agreement, form the contract; they are as fully a part of the contract as if hereto attached or herein repeated.

§ 7.2 Specifications: *9 March 2016*

§ 7.3 Drawings: *9 March 2016*

§ 7.4 Addenda: *Addendum #1 - Dated 12 June 2015*

ARTICLE 8 OTHER PROVISIONS

§ 8.1 The *Owner* and the *Contractor* are required to comply with applicable provisions of the American Recovery and Reinvestment Act (ARRA), and the Qualified School Construction Bonds (QSCB) program, including, but not limited to, the Buy American criteria, federal wage rates, and program-specific reporting requirements, for those projects funded through ARRA and QSCB.

ARMORY – ROOM FINISH SCHEDULE

ROOM NUMBER	ROOM NAME	FLOOR MATERIAL	FLOOR FINISH	BASE/WAINSCOT	FINISH	HEIGHT	NORTH WALL	FINISH	EAST WALL	FINISH	SOUTH WALL	FINISH	WEST WALL	FINISH	CEILING MATERIAL	FINISH	CEILING HEIGHT	REMARKS
001	BASEMENT	EXST	CF STN	-	-	-	EXST/CMU	WPT/EPX PT	EXST/CMU	WPT/EPX PT	EXST/CMU	WPT/EPX PT	EXST/CMU	WPT/EPX PT	EXST	EPX PT	EXST	SEE NOTE 1 AND 2
002	ELECT ROOM	EXST	CF STN	-	-	-	EXST	WPT	EXST	WPT	CMU	EPX PT	CMU	EPX PT	EXST	EPX PT	EXST	SEE NOTE 1 AND 2
003	IT ROOM	EXST	CF STN	-	-	-	EXST	WPT	CMU	EPX PT	CMU	EPX PT	CMU	EPX PT	EXST	EPX PT	EXST	SEE NOTE 1, 2 AND 5
100	LOBBY	EXST	-	-	-	-	EXST/CMU	EPX PT	EXST	EPX PT	EXST/CMU	EPX PT	EXST	EPX PT	MR GYP	EPX PT	9'-0"	-
101	ASSEMBLY HALL	VCT	-	RB	-	4"	EXST	EPX PT	EXST/CMU	EPX PT	EXST/CMU	EPX PT	EXST	EPX PT	EXPS	EPX PT	EXST	SEE NOTE 3
102	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
103	WOMEN'S BATHROOM	PFT	-	CWT-1	-	5'-0"	CWT-1/MR GYP	EPX PT	CMT BD/MR GYP	EPX PT	CMT BD/MR GYP	EPX PT	CMT BD/MR GYP	EPX PT	MR GYP	EPX PT	9'-0"	SEE NOTE 4
104	WOMEN'S SHOWER	PFT	-	CWT-1	-	5'-0"	CWT-1/MR GYP	EPX PT	CMT BD/MR GYP	EPX PT	CMT BD/MR GYP	EPX PT	CMT BD/MR GYP	EPX PT	MR GYP	EPX PT	9'-0"	SEE NOTE 4
104A	WOMEN'S CLOSET	PFT	-	RB	-	4"	MR GYP	EPX PT	MR GYP	EPX PT	MR GYP	EPX PT	MR GYP	EPX PT	MR GYP	EPX PT	9'-0"	-
105	LOCKER ROOM	VCT	-	RB	-	4"	CMU	EPX PT	EXST/CMU	EPX PT	CMU	EPX PT	EXST	EPX PT	EXPS	EPX PT	EXST	-
106	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
107	MEN'S SHOWER	PFT	-	CWT-1	-	5'-0"	CWT-1/MR GYP	EPX PT	CMT BD/MR GYP	EPX PT	CMT BD/MR GYP	EPX PT	CMT BD/MR GYP	EPX PT	MR GYP	EPX PT	9'-0"	SEE NOTE 4
107A	MEN'S CLOSET	PFT	-	RB	-	4"	MR GYP	EPX PT	MR GYP	EPX PT	MR GYP	EPX PT	MR GYP	EPX PT	MR GYP	EPX PT	9'-0"	-
108	MEN'S BATHROOM	PFT	-	CWT-1	-	5'-0"	CWT-1/MR GYP	EPX PT	CMT BD/MR GYP	EPX PT	CMT BD/MR GYP	EPX PT	CMT BD/MR GYP	EPX PT	MR GYP	EPX PT	8'-4"	SEE NOTE 4
109	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
110	FITNESS	VCT	-	RB	-	4"	EXST	EPX PT	CMU	EPX PT	EXST/GYP	EPX PT	EXST	EPX PT	APC	-	9'-0"	-
111	SCULLERY	QT	-	CWT-1	-	5'-0"	CWT-1/MR GYP	EPX PT	CWT-1/MR GYP	EPX PT	CWT-1/MR GYP	EPX PT	CWT-1/MR GYP	EPX PT	MR GYP	EPX PT	9'-0"	SEE NOTE 4
112	DISH DROP	VCT	-	RB	-	4"	-	-	GYP	EPX PT	GYP	EPX PT	GYP	EPX PT	MR GYP	EPX PT	9'-0"	-
113	SERVING CORRIDOR	QT	-	QT	-	6"	EXST	EPX PT	MR GYP	EPX PT	MR GYP	EPX PT	MR GYP	EPX PT	MR GWB	EPX PT	9'-0"	-
114	KITCHEN	QT	-	CWT-1	-	5'-0"	CWT-1/MR GYP	EPX PT	CWT-1/MR GYP	EPX PT	CWT-1/MR GYP	EPX PT	CWT-1/MR GYP	EPX PT	MR GYP	EPX PT	9'-0"	SEE NOTE 4
114A	KITCHEN CLOSET	QT	-	RB	-	4"	MR GYP	EPX PT	MR GYP	EPX PT	MR GYP	EPX PT	MR GYP	EPX PT	MR GYP	EPX PT	9'-0"	-
115	STORAGE	QT	-	QT	-	6"	EXST/CMU	EPX PT	EXST	EPX PT	GYP	EPX PT	GYP	EPX PT	GYP	EPX PT	9'-0"	-
116	KITCHEN OFFICE	VCT	-	RB	-	4"	GYP	EPX PT	GYP	EPX PT	GYP	EPX PT	GYP	EPX PT	GYP	EPX PT	9'-0"	-
117	RECRUITING OFFICE	VCT	-	RB	-	4"	GYP	EPX PT	GYP	EPX PT	GYP	EPX PT	GYP	EPX PT	APC	-	9'-0"	-
118	RAPIDS OFFICE	VCT	-	RB	-	4"	GYP	EPX PT	GYP	EPX PT	GYP	EPX PT	GYP	EPX PT	APC	-	9'-0"	-
119	HALL	VCT	-	RB	-	4"	GYP	EPX PT	GYP	EPX PT	GYP	EPX PT	GYP	EPX PT	APC	-	9'-0"	-
120	CUSTODIAL CLOSET	VCT	-	RB	-	4"	EXST/CMU	EPX PT	GYP	EPX PT	GYP	EPX PT	EXST/CMU	EPX PT	GYP	EPX PT	9'-0"	-
121	UNISEX BATHROOM	PFT	-	CT-1	-	5'-0"	CWT-1/MR GYP	EPX PT	CWT-1/MR GYP	EPX PT	CWT-1/MR GYP	EPX PT	CWT-1/MR GYP	EPX PT	MR GYP	EPX PT	9'-0"	SEE NOTE 4
122	TABLE & CHAIR STORAGE	VCT	-	RB	-	4"	EXST	EPX PT	CMU	EPX PT	EXST/CMU	EPX PT	EXST	EPX PT	APC	-	9'-0"	-
123	ADMIN & FAMILY READINESS OFFICE	VCT	-	RB	-	4"	GYP	EPX PT	GYP	EPX PT	GYP	EPX PT	GYP	EPX PT	APC	-	9'-0"	-
124	UNISEX BATHROOM	EXST/CFT-1	-	EXST/CWT-1	-	5'-0"	CWT-1/MR GYP	EPX PT	EXST/CWT-1	EPX PT	EXST	EPX PT	EXST/CWT-1	EPX PT	MR GWB	EPX PT	9'-0"	SEE NOTE 4
125	JANITORS CLOSET	VCT	-	RB	-	4"	EXST	EPX PT	EXST/GYP	EPX PT	EXST	EPX PT	EXST	EPX PT	MR GWB	EPX PT	9'-0"	-
126	STORAGE CLOSET	VCT	-	RB	-	4"	EXST	EPX PT	EXST	EPX PT	EXST	EPX PT	EXST/GYP	EPX PT	GWB	EPX PT	9'-0"	-
127	VAULT	EXST	-	EXST	-	-	EXST	-	EXST	-	EXST	-	EXST	-	EXST	-	EXST	-
128	UNIT OFFICE & UNIT STORAGE	VCT	-	RB	-	4"	EXST	EPX PT	EXST	EPX PT	EXST	EPX PT	EXST	EPX PT	APC	-	9'-0"	-
129	HALL	VCT	-	RB	-	4"	EXST/CMU	EPX PT	EXST/CMU	EPX PT	EXST	EPX PT	EXST	EPX PT	APC	-	8'-4"	-
130	BREAK & VENDING	VCT	-	RB	-	4"	EXST/CMU	EPX PT	CMU	EPX PT	EXST	EPX PT	EXST/CMU	EPX PT	APC	-	8'-4"	-
131	LEARNING CENTER & LIBRARY	VCT	-	RB	-	4"	GYP	EPX PT	GYP	EPX PT	GYP	EPX PT	GYP	EPX PT	APC	-	9'-0"	-
132	CLASSROOM	VCT	-	RB	-	4"	GYP	EPX PT	GYP	EPX PT	GYP	EPX PT	GYP	EPX PT	APC	-	9'-0"	-
133	CLASSROOM	VCT	-	RB	-	4"	EXST	EPX PT	EXST	EPX PT	CMU	EPX PT	EXST/CMU	EPX PT	APC	-	9'-0"	-
134	CLASSROOM	VCT	-	RB	-	4"	CMU	EPX PT	EXST	EPX PT	GYP	EPX PT	EXST/CMU	EPX PT	APC	-	9'-0"	-
135	MECHANICAL ROOM	EXST	CF STN	EXST	-	-	EXST/CMU	EPX PT	EXST	EPX PT	EXST	EPX PT	EXST	EPX PT	EXPS	EPX PT	-	-

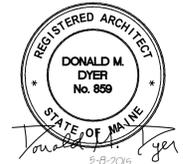
NOTES:

1. PROVIDE AND INSTALL WATER PROOFING TREATMENT (WPT) AT EXISTING CONCRETE WALLS IN THE BASEMENT.
2. PROVIDE AND INSTALL EPOXY PAINT (EPX PT) AT NEW CMU WALLS IN THE BASEMENT.
3. REPAINT EXISTING WALLS, RED AND BLUE PAINTED BAND AND MURAL/LOGO IN ASSEMBLY HALL. PAINT WITH COLORS TO MATCH EXISTING.
4. PROVIDE AND INSTALL CEMENT BOARD TO HEIGHT OF WALL TILE. CONTINUE WALL WITH MOISTURE RESISTANT GYPSUM (MR GYP) TO 6" ABOVE CEILING LINE UNLESS NOTED/SHOWN OTHERWISE.
5. PROVIDE AND INSTALL 3/4" PLYWOOD BACK BOARD FULL HEIGHT FROM FLOOR TO CEILING AND FULL WIDTH FROM WALL TO WALL, (ALL WALLS WITHIN ROOM) PAINT BLACK.

FINISH SCHEDULE ABBREVIATIONS:

EXST	EXISTING
APC	ACOUSTICAL PANEL CEILING
CF STN	CONCRETE FLOOR STAIN – WHITE
CMT BD	CEMENT BOARD
CONC	CONCRETE
CMU	CONCRETE MASONRY UNITS
CFT-1	CERAMIC FLOOR TILE 12"x12"
CWT-1	CERAMIC WALL TILE 6"x6"
EPX PT	EPOXY PAINT
EXPS	EXPOSED CONSTRUCTION
GYP	GYPSUM BOARD
MR GYP	MOISTURE RESISTANT GYPSUM
PFT	PORCELAIN FLOOR TILE 12"x12"
QT	QUARRY TILE – 12"x12"
RB	RESILIENT BASE
VCT	VINYL COMPOSITION TILE
WPT	WATER PROOFING TREATMENT – WHITE

ISSUED FOR BIDDING
NOT FOR CONSTRUCTION
 MAY 8, 2015



DESIGNED BY: BLB	CHECKED BY: DM	DATE: 07/21/14	SCALE: AS NOTED
DRAWN BY: EEF	DATE: 07/21/14	SCALE: AS NOTED	ONE PROJECT NO: 23SR14-444-D
PLAN REVISIONS	6/10/15	CBC	6/10/15
	5/28/15	CBC	5/28/15
		Appr.	

STATE OF MAINE
 DEPARTMENT OF DEFENSE, VETERANS
 AND EMERGENCY MANAGEMENT
 COLBY COMPANY ENGINEERING
 CCE JOB #44-041.001
 47A YORK STREET
 PORTLAND, MAINE
 207.553.7753

CALAIS ARMY
 CALAIS, MAINE
 RENOVATION OF THE CALAIS ARMY
 ROOM FINISH SCHEDULE

- PLAN PROGRESS
- DRAFT
 - 35% REVIEW
 - 65% REVIEW
 - 95% REVIEW
 - FINAL REVIEW
 - FOR BIDDING
 - ISSUED FOR CONSTRUCTION
 - RECORD DRAWINGS

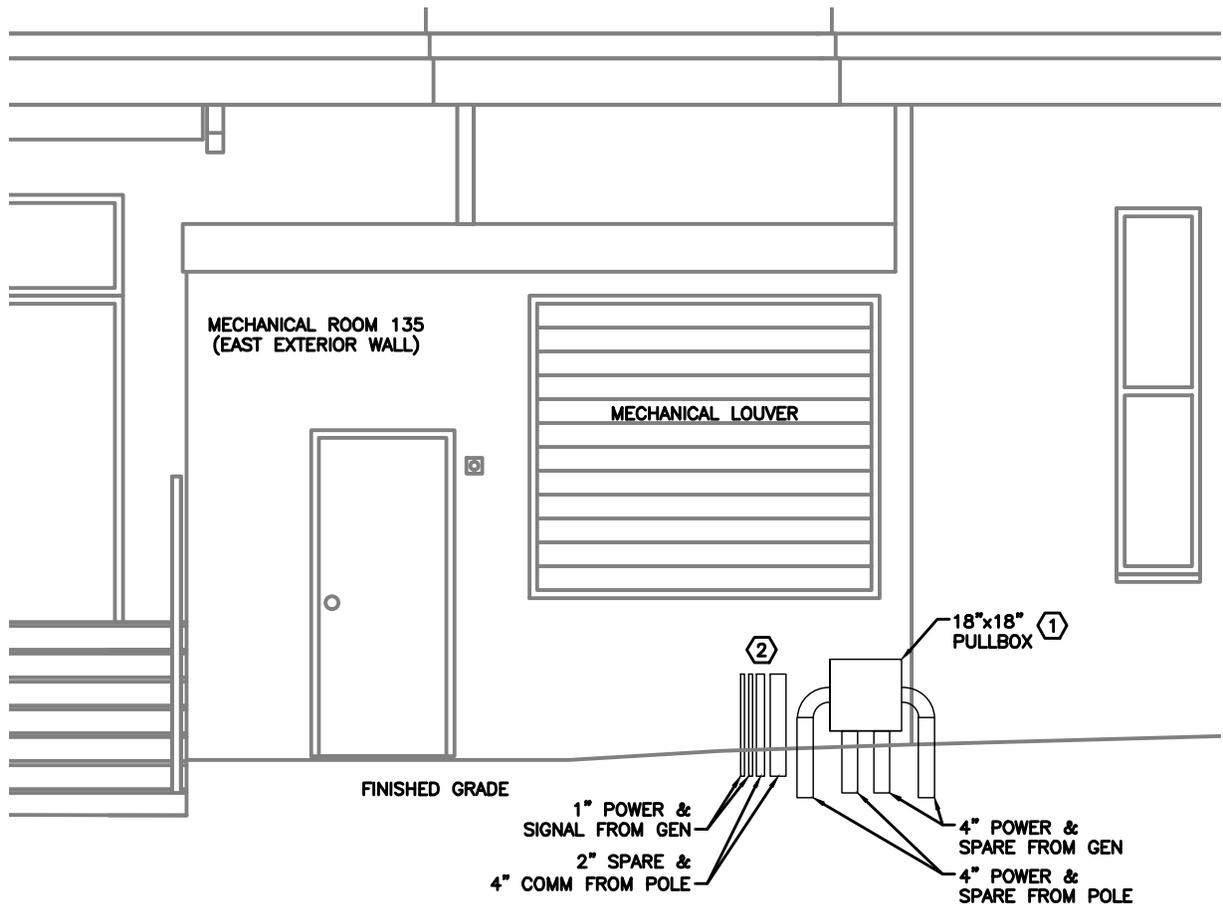
SHEET ID:
A-600
 SHEET: 39 OF 108

NOTES:

1. REFERENCE SHEETS A-203 FOR EAST ELEVATION AND E-100 & E-101 FOR ELECTRICAL SERVICE ENTRANCES.
2. LB FITTINGS NOT SHOWN FOR CLARITY. PROVIDE AS NECESSARY. PROVIDE CONDUIT SLEEVES FOR WALL PENETRATIONS IN ACCORDANCE WITH SPECIFICATIONS.
3. CONDUIT SEQUENCING IS SUGGESTED ONLY. CONTRACTOR SHALL COORDINATE IN FIELD. HOWEVER, FOUR (4) 4" SERVICE ENTRANCE CONDUITS SHALL BE ROUTED THROUGH CONCRETE ENCASUREMENT ADJACENT TO NORTH WALL OF MECHANICAL ROOM AT FLOOR LEVEL. SEE SKETCH ESK-01B FOR CONTINUATION.

KEYED NOTES:

- ① PROVIDE NEMA 4X WEATHERTIGHT PULLBOX FOR SERVICE ENTRANCE CONDUITS.
- ② CONDUITS STUB UP AND ELBOW/90 INTO MECHANICAL ROOM WALL. PROVIDE LB FITTINGS AS NECESSARY.

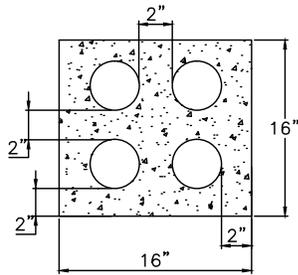


ELECTRICAL SERVICE ENTRANCE EAST EXTERIOR ELEVATION
 SCALE: 1/4" = 1'-0"

					STATE OF MAINE - DVEM CALAIS, ME	
					RENOVATION OF THE CALAIS ARMORY	
A	ADDENDUM #1	MRL	MRL	CBC	6/12/15	ELECTRICAL SERVICE ENTRANCE EAST EXTERIOR ELEVATION
REV	DESCRIPTION	DWN BY	CKD BY	APP BY	DATE	
PLEASE NOTE: THIS DOCUMENT MAY NOT ACCURATELY REPRESENT THE FINAL DOCUMENT. ONLY AN ENGINEER, ARCHITECT OR SURVEYOR SIGNED, SEALED AND DATED PAPER COPY, PROVIDED BY THIS OFFICE, MAY BE UTILIZED FOR BIDDING OR CONSTRUCTION PURPOSES.		47A York Street Portland, Maine 04101 207.553.7753 colbycoengineering.com		SIZE: ANSI A DATE: 06/12/2015 DES BY: MRL DWN BY: MRL CKD BY: CBC	PROJECT NO. 144.041.002 SHEET 1 OF 3	DRAWING NO. ESK-01A

NOTES:

1. REFERENCE SHEETS E-100 & E-101 FOR ELECTRICAL SERVICE ENTRANCES.
2. LB FITTINGS AND JUNCTION BOXES NOT SHOWN FOR CLARITY. PROVIDE AS NECESSARY. PROVIDE CONDUIT SLEEVES FOR WALL PENETRATIONS IN ACCORDANCE WITH SPECIFICATIONS.

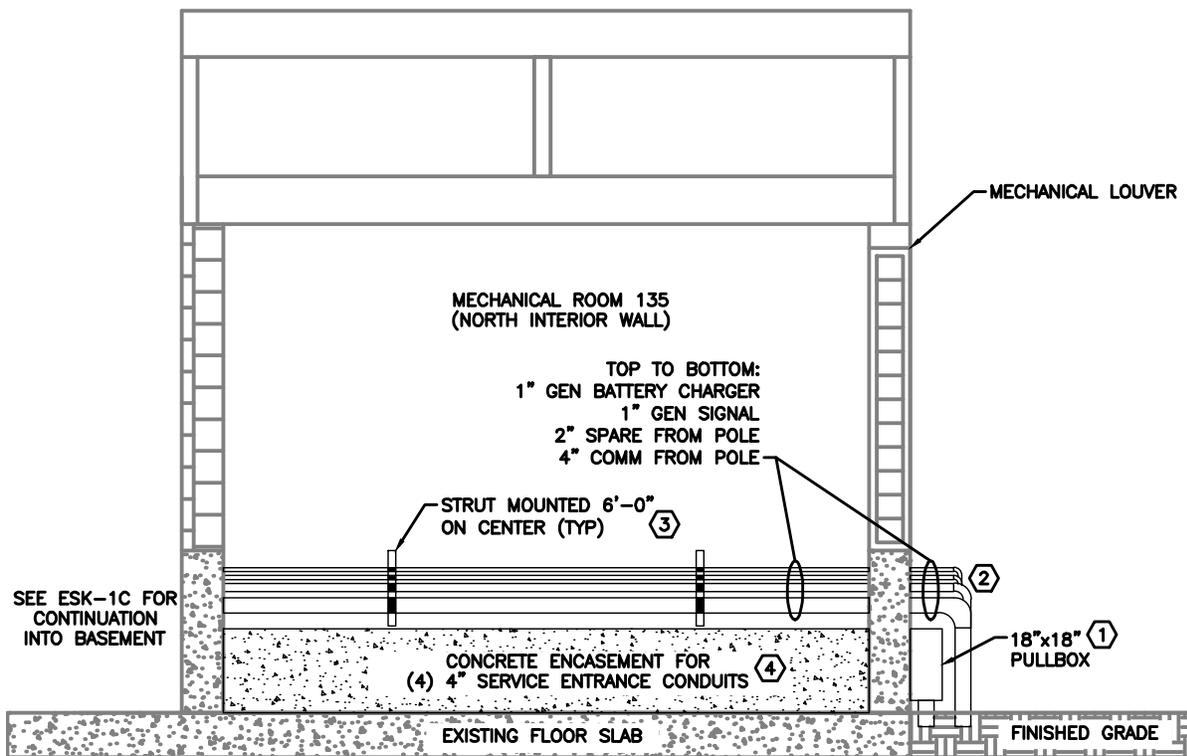


**SERVICE ENTRANCE
CONCRETE CURB SECTION**

SCALE: NTS

KEYED NOTES:

- ① REPRESENTS 4" POWER & 4" SPARE FROM GENERATOR AND 4" POWER AND 4" SPARE FROM POLE.
- ② CONDUITS SPACED AWAY FROM EXTERIOR WALL FOR CLARITY; CONDUITS SHALL STUB UP IMMEDIATELY ADJACENT TO EXTERIOR WALL.
- ③ ANCHOR STRUT FRAMING TO INTERIOR WALL AT 6'-0" (MAX) ON CENTER. PROVIDE CONDUIT CLAMPS TO SUPPORT CONDUIT ALONG INTERIOR WALL.
- ④ ENCASE FOUR (4) 4" SERVICE ENTRANCE CONDUITS IN CONCRETE CURB ALONG FLOOR ADJACENT TO NORTH INTERIOR WALL. SEE CURB SECTION THIS SHEET.



ELECTRICAL SERVICE ENTRANCE ROOM 135 ELEVATION

SCALE: 1/4" = 1'-0"

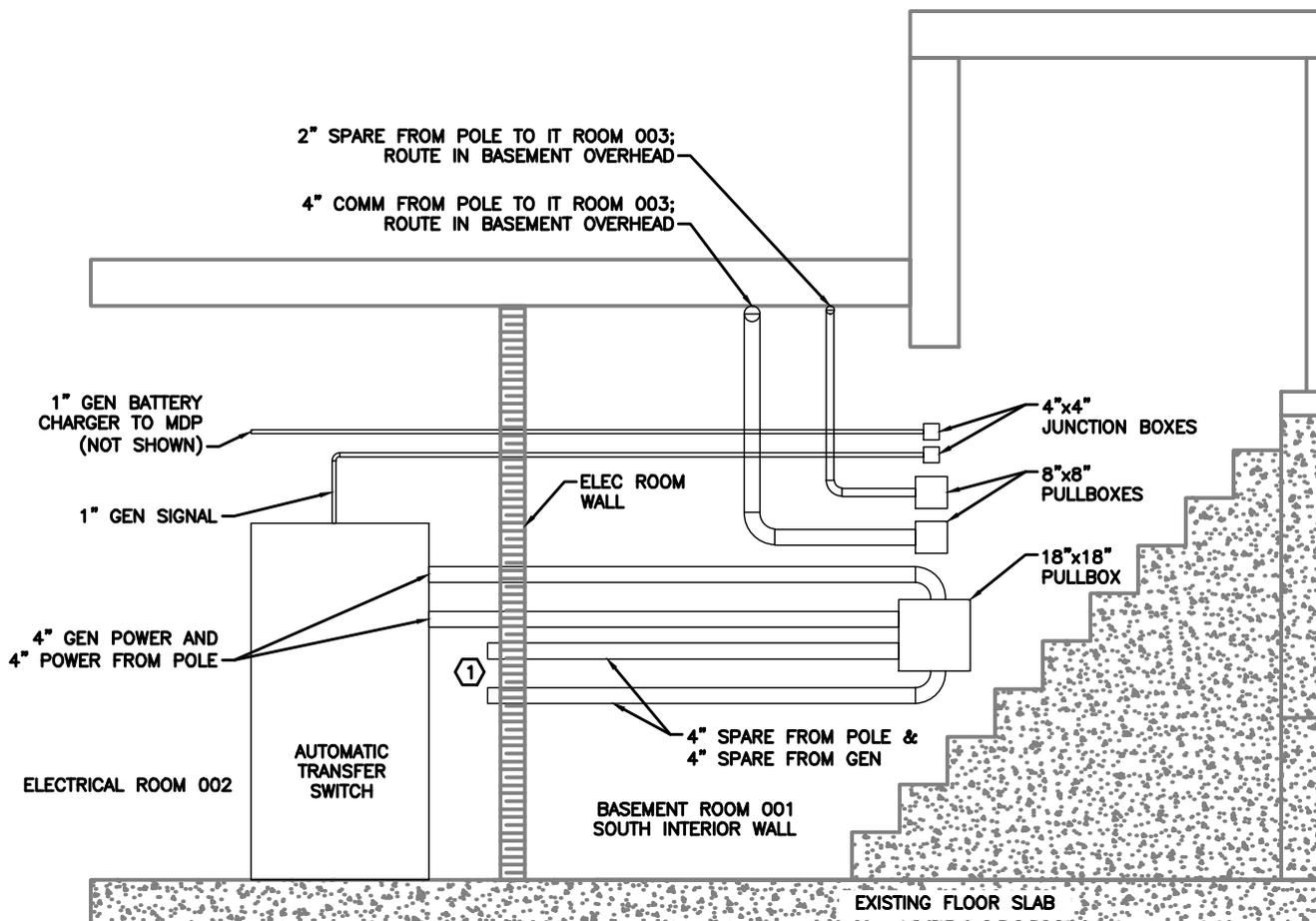
				STATE OF MAINE - DVEM CALAIS, ME					
				RENOVATION OF THE CALAIS ARMORY					
A ADDENDUM #1				MRL	MRL	CBC	6/12/15	ELECTRICAL SERVICE ENTRANCE ROOM 135 INTERIOR ELEVATION	
REV	DESCRIPTION			DWN BY	CKD BY	APP BY	DATE		
				47A York Street Portland, Maine 04101 207.553.7753 colbycoengineering.com		SIZE: ANSI A DATE: 06/12/2015 DES BY: MRL DWN BY: MRL CKD BY: CBC		PROJECT NO. 144.041.002 SHEET 2 OF 3	
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NOTES:

1. REFERENCE SHEETS E-100 & E-101 FOR ELECTRICAL SERVICE ENTRANCES.
2. CONDUIT ROUTING, CONDUIT ELBOWS, PULLBOXES AND JUNCTION BOXES REPRESENT POTENTIAL SERVICE ENTRANCE INSTALLATION LAYOUT. CONTRACTOR SHALL COORDINATE EXACT ROUTING IN THE FIELD AND PROVIDE ALL BOXES, FITTINGS, AND HANGERS NECESSARY FOR A COMPLETE INSTALLATION.
3. SUPPORT/SECURE 4" CONDUITS AT 6'-0" INTERVALS (MIN).
SUPPORT/SECURE 2" AND 1" CONDUITS AT 10'-0" INTERVALS (MIN).

KEYED NOTES:

- ① CAP SPARE 4" CONDUITS FROM POLE AND GENERATOR IN ELECTRICAL ROOM. LABEL CONDUITS WITH SOURCE LOCATION.



ELECTRICAL SERVICE ENTRANCE ROOM 001 ELEVATION

SCALE: 1/4" = 1'-0"

					STATE OF MAINE - DVEM CALAIS, ME	
					RENOVATION OF THE CALAIS ARMORY	
A	ADDENDUM #1	MRL	MRL	CBC	6/12/15	ELECTRICAL SERVICE ENTRANCE ROOM 001 INTERIOR ELEVATION
REV	DESCRIPTION	DWN BY	CKD BY	APP BY	DATE	
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